

SAN FRANCISCO PLANNING DEPARTMENT

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Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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Area Plan:

SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Time: Locati Case	Туре:	9:30 AM	Carlton B. Good Area and Ope	dlett Place, Room 408		
PORPERTY INFORMATION			APPLICATION INFORMATION			
Project Address:	141 Albior	n St	Case No.:	2011.0137V		
Cross Street(s):	16th and 1	7th Streets	Building Permit:	N/A		
Block / Lot No.:	3568/068		Applicant/Agent:	Sarina Bowen Kennerly		
Zoning District(s):	RTO-Miss	ion / 45-X	Telephone:	415-285-2880		

E-Mail:

sarina@kennerlyarchitectur

e.com

PROJECT DESCRIPTION

The proposal is to subdivide Lot 068 into two separate lots. The subdivision will result in two lots of irregular shape.

PER SECTION 121(d) and (e) OF THE PLANNING CODE the proposed new lots must have a minimum width of 25 feet and a minimum area of 2,500 sqaure feet. The irregular nature of the proposed new properly line will cause portions of the new southern lot to have a width of less than 25 feet and an area of less than 2,500 square feet; therefore, a variance is required.

PER SECTION 135 OF THE PLANNING CODE each dwelling unit must have a minimum amount of private and/or common open space. The proposed subdivision will separate 141 Albion Street in the existing building from its useable common open space on the souther portion of the existing lot; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:Planner: Corey TeagueTelephone: 415-575-9081Mail: corey.teague@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0137V.pdf

Mission

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

There is no associated Building Permit Application with this Variance request.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

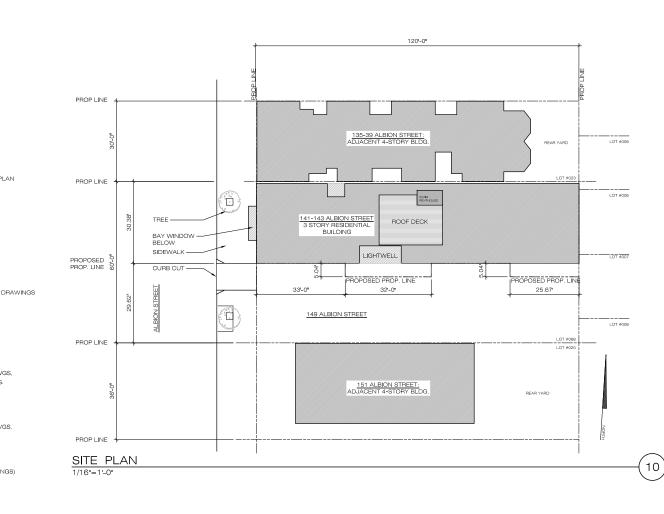
Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

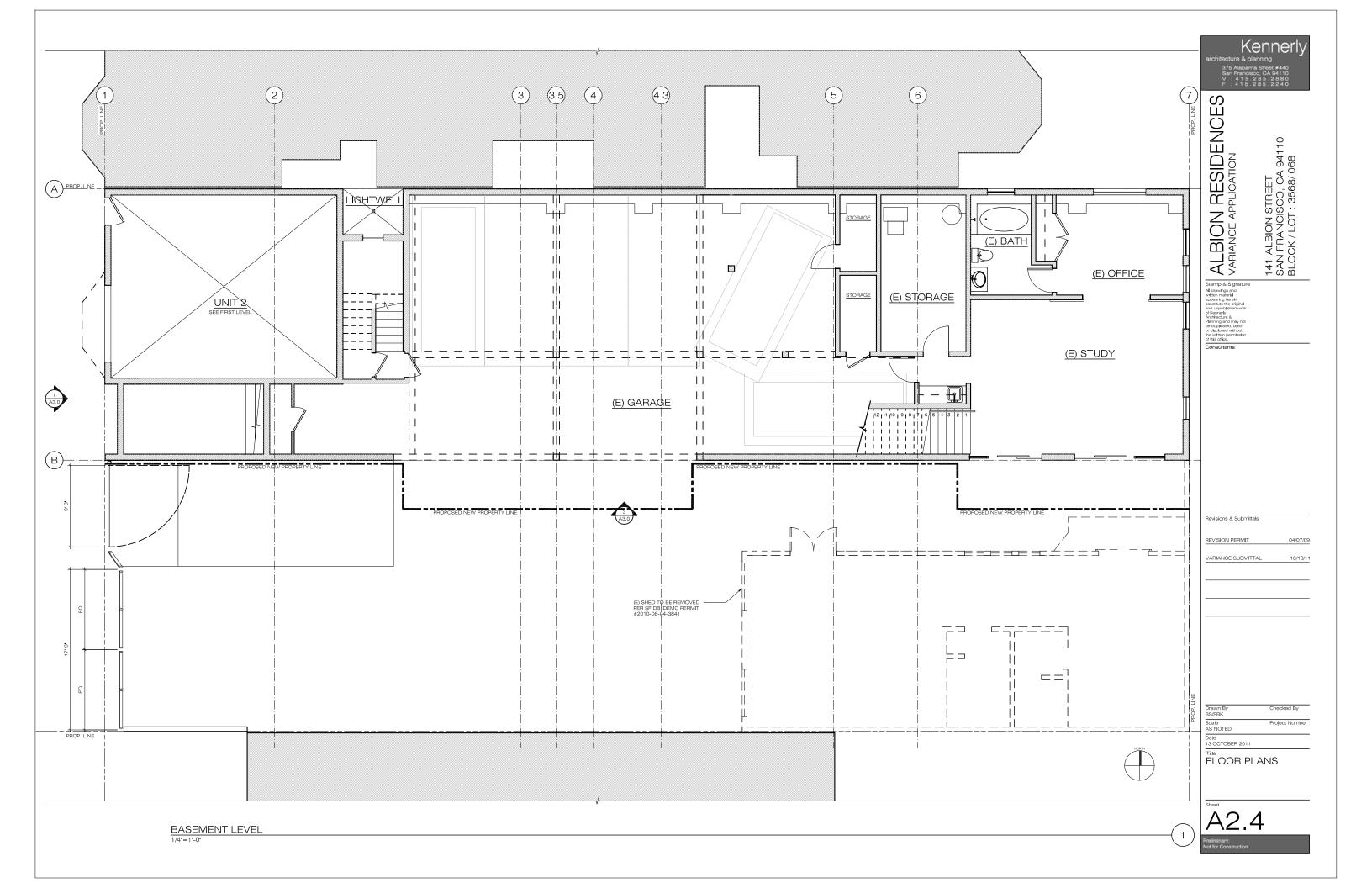
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <u>http://upn.sfplanning.org</u> for more information.

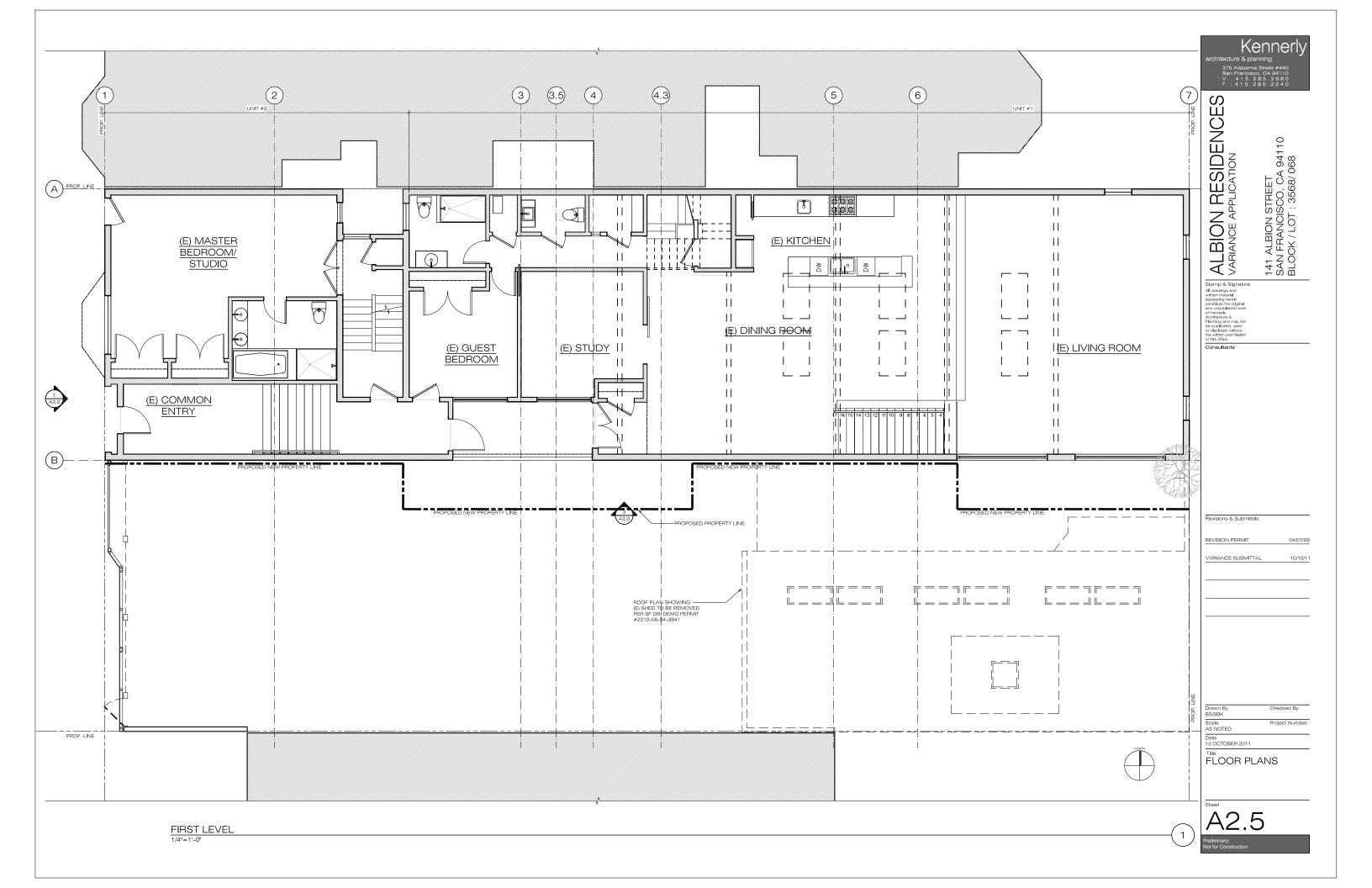
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ARCH	ARCHITECTURAL	oc	ON CENTER
BD	BOARD	OD	OUTSIDE DIAMETER
BTWN	BETWEEN	OH	OPPOSITE HAND
BLKG	BLOCKING	OPNG	OPENING
BOT	BOTTOM	OPP	OPPOSITE
CAB	CABINET	PL	PLATE
CEM	CEMENT	PLBG	PLUMBING
CL CLG	CENTER LINE CEILING	PLYWD	PLYWOOD
CLR	CLEAR		
COL	COLUMN	PR	PAIR
CONC	CONCRETE	PREFAB	PREFABRICATED
CONN	CONNECT	PRELIM	PRELIMINARY
CONSTR	CONSTRUCTION	PTD	PAINTED
CONT	CONTINUOUS	_	
CPT	CARPET	R	RISER; RELOCATE
СТ	CERAMIC TILE	RAD RCP	RADIUS REFLECTED CEILING PLAN
CTR	CENTER	REF	REFERENCE
CTSK	COUNTERSUNK	REF PT	REFERENCE POINT
		REFR	REFRIGERATOR
DBL	DOUBLE	REG	BEGISTER
DET	DETAIL	REINF	REINFORCE(MENT)
DIA	DIAMETER	REINF	REQUIRED
DIAG	DIAGONAL	REQU	REQUIREMENT
DIM	DIMENSION	RESIL	REQUIREMENT
DN	DOWN	RESIL	RIGHT HAND
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EVIOL	EXISTING	SHTG	SHEATHING
FB	FLAT BAR	SIM	SIMILAR
FIN	FINISH	SMD	SEE MECHANICAL DWGS.
FLR	FLOOR	SPD	SEE PLUMBING DWGS.
FLOUR	FLOURESCENT	SPEC	SPECIFICATIONS
FO	FACE OF	SPKR	SPEAKER
	F-FINISH, S-STUD,	SPR	SPRINKLER
	C-CONCRETE, P-PLYWOOD	SQ	SQUARE
FTG	FOOTING	SSD	SEE STRUCTURAL DWGS.
		ST.STL	STAINLESS STEEL
GA	GAGE	STD	STANDARD
GALV	GALVANIZED	STL	STEEL
GL	GLASS	STN	STONE
GL BLK	GLASS BLOCK	STRUCT	STRUCTURAL (DRAWINGS)
GND	GROUND	SUSP	SUSPENDED
GSM	GALVANIZED SHEET METAL	SYMM	SYMMETRICAL
GWB	GYPSUM WALLBOARD		
HDWD	HARDWOOD	т	TREAD
HDWB	HARDWOOD	TEL	TELEPHONE
HGT	HEIGHT	THK	THICK
HM		TO_	TOP OF
HNDRL	HOLLOW METAL HANDRAIL		C-CURB, S-STEEL, W-WALL
		TOL	TOLERANCE
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ID	INSIDE DIAMETER		
IF	INSIDE FACE	UNFIN	UNFINISHED
INT	INTERIOR	UON	UNLESS OTHERWISE NOTED
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		VEST	VESTIBULE
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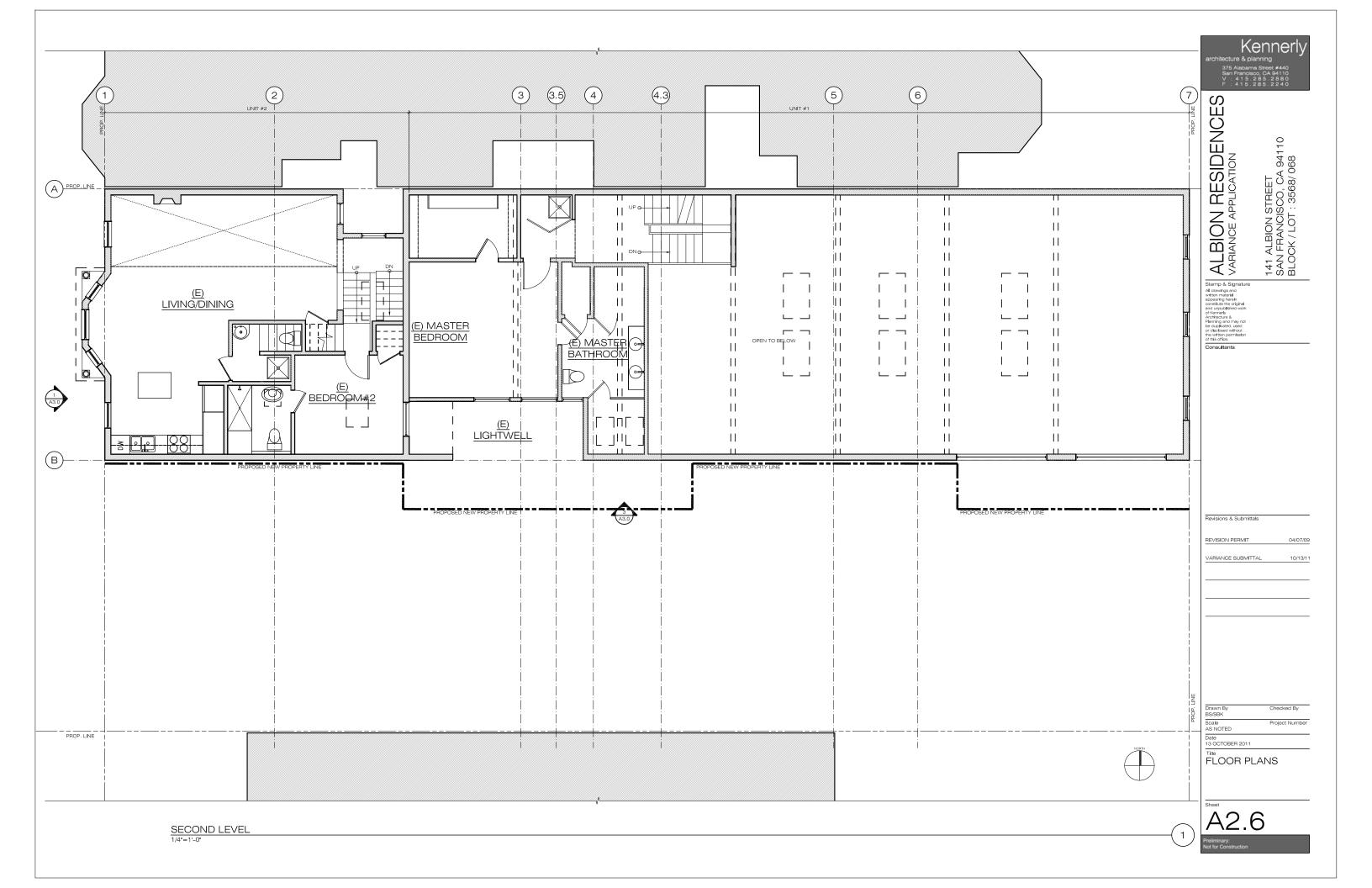


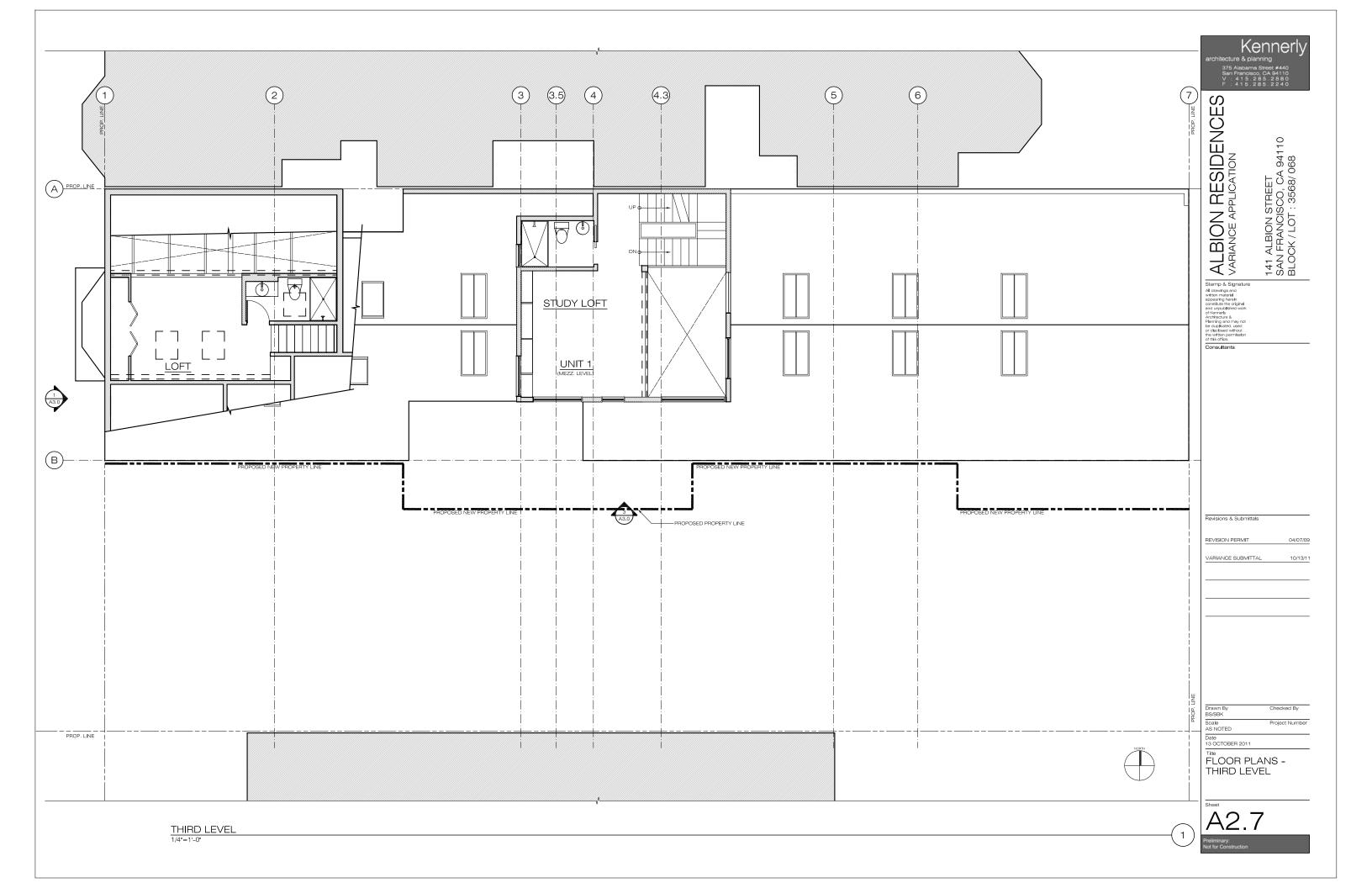


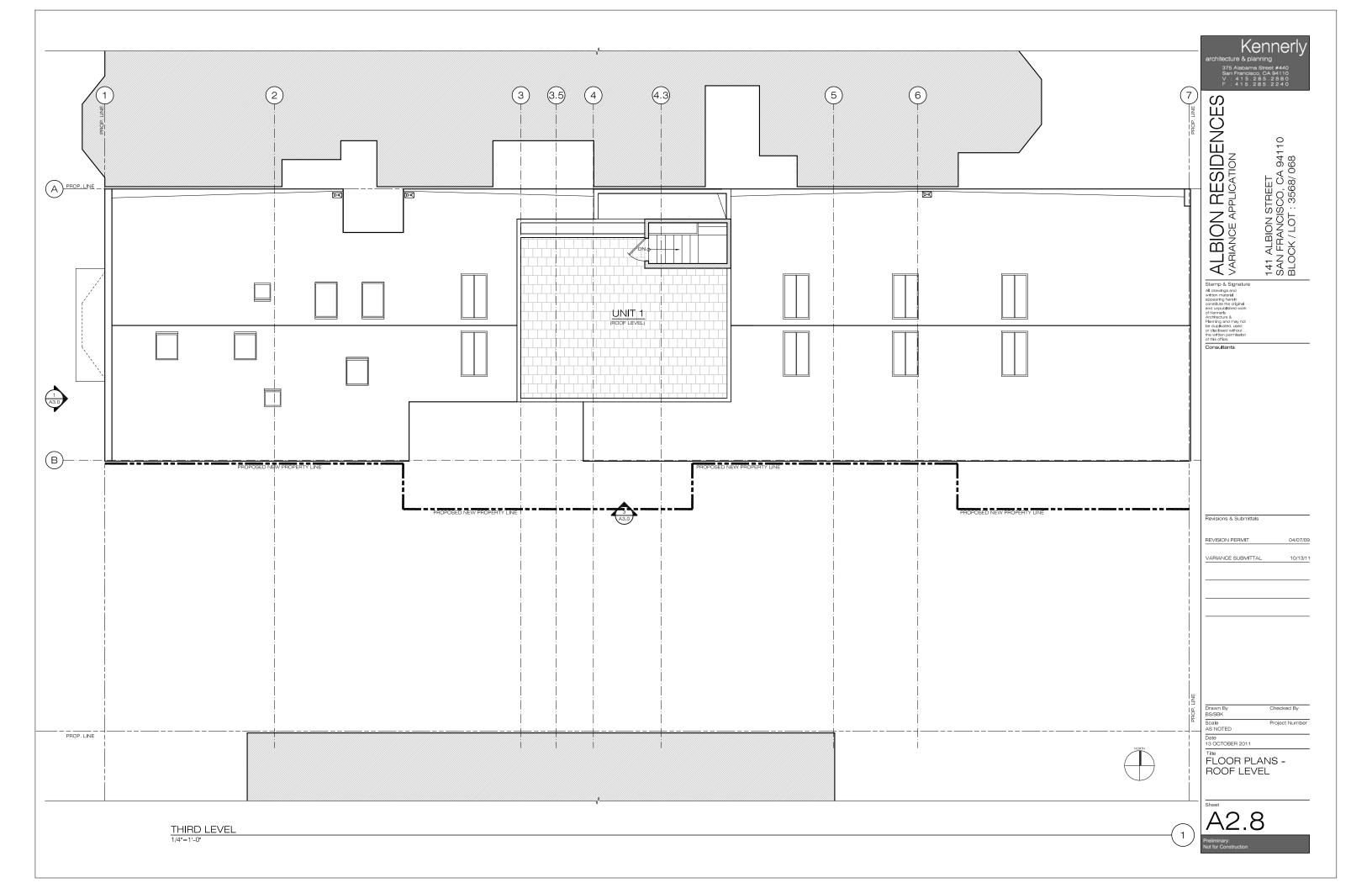
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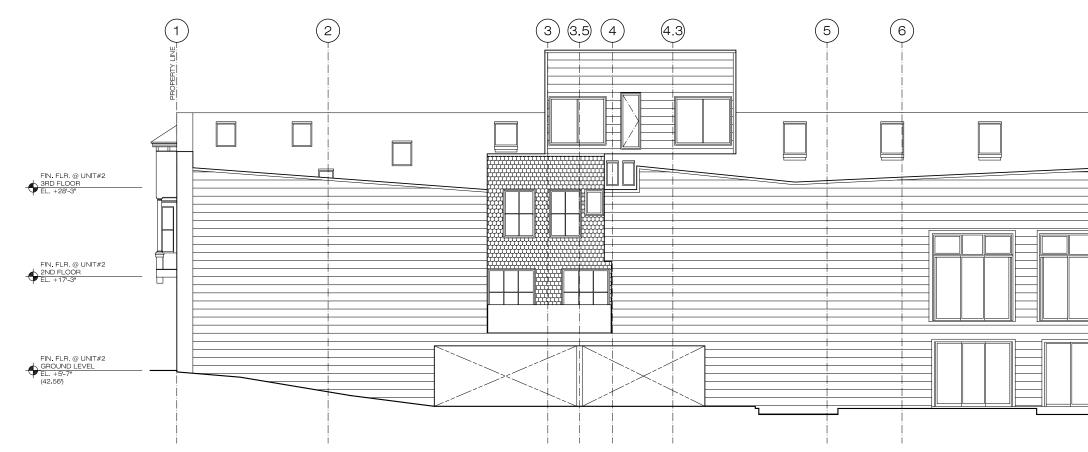












SOUTH (SIDE) ELEVATION: EXISTING BUILDING

3/16"=1'-0"







EAST SIDE VIEW



WEST SIDE VIEW