



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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Suite 400
San Francisco,
CA 94103-2479

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415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 27, 2011**

Time: **Beginning at 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance (Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	3781 23rd Street	Case No.:	2011.0303V
Cross Street(s):	Church and Chattanooga	Building Permit:	n/a
Block /Lot No.:	3650/037A	Applicant/Agent:	Ian Glidden
Zoning District(s):	RH-2 / 40-X	Telephone:	(415) 279-4644
Area Plan:	n/a	E-Mail:	iang@ianglidden.com
PROJECT DESCRIPTION			
<p>The proposal is to add a horizontal addition to the second floor of the rear of the subject building in order to accommodate an internal elevator and caregiver's room. The proposed addition would not extend beyond the existing rear building wall.</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard that measures 15' in length. The proposed rear addition would encroach approximately 8'10" into the required rear yard at the second level above grade, and would result in a rear yard of 6'2" in length; therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</p> <p>Planner: Sophie Hayward Telephone: (415) 558-6334 E-Mail: sophie.hayward@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0303V.pdf</p>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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23RD STREET RESIDENCE REMODEL

3781 23RD STREET
SAN FRANCISCO, CA
94114

All Construction, regardless
of details on plans, shall
comply with:
2010 CA Building Code
2010 CA Plumbing Code
2010 CA Mechanical Code
2010 CA Electrical Code, and
2010 CA Building Energy
Standards.

GENERAL CONTRACTOR
JEFF KING & COMPANY
251 BALBOA STREET
SAN FRANCISCO, CA 94118
415-221-5012

ARCHITECT
IAN GLIDDEN
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date	04.01.2011
phase	PLANNING
issued for	REVIEW
project number	11007
sheet title	

COVER SHEET

sheet number

A000

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SAN FRANCISCO AND THE UNIFORM BUILDING CODE, CURRENT EDITIONS.
- ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH:
2010 CALIFORNIA BUILDING CODE
2010 CALIFORNIA PLUMBING CODE
2010 CALIFORNIA ELECTRICAL CODE
2010 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA BUILDING ENERGY STANDARDS
- THE BUILDING SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN FRANCISCO AND THE PROVISIONS OF THE UNIFORM BUILDING CODE FOR SECURITY WITH NOMINAL RESISTANCE TO UNLAWFUL ENTRY.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MEASUREMENTS AT THE PROJECT SITE AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
- WHERE REFERENCES IN DOCUMENTS ARE MADE TO VERIFICATIONS, THE CONTRACTOR SHALL REPORT IN WRITING TO THE ARCHITECT.
- VERIFY ROUGH OPENING REQUIREMENTS WITH MANUFACTURER'S UNIT DIMENSIONS. PROVIDE BLOCKING OR SHIMS AS REQUIRED FOR INSTALLATION. WHERE CONDITIONS PREVENT PROVISION OF REQUIRED ROUGH OPENING REPORT SPECIFICS OF THE SITUATION TO THE ARCHITECT.
- ALL MOUNTING OF EQUIPMENT, FIXTURES, OR ACCESSORIES SHALL BE AS REQUIRED TO MEET PROVISIONS OF THE UNIFORM BUILDING CODE, AND CALIFORNIA BUILDING CODE. ALL CASEWORK SHALL BE SECURED TO SUPPORT BLOCKING AT WALLS.
- ALL SETBACKS ARE TO REMAIN AS EXISTING. THERE IS NO PROPOSED WORK THAT WILL ENCROACH INTO EXISTING DISTANCES FROM PROPERTY LINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION IN CONFORMANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND ALL CODE REQUIREMENTS UNDER WHICH THE PLANS AND SPECIFICATIONS WERE APPROVED.
- PROVIDE SMOKE DETECTORS AT ALL SLEEPING ROOMS AND OUTSIDE ALL SLEEPING ROOMS CENTRALLY LOCATED IN CORRIDORS.

PROJECT INFORMATION

ADDRESS: 3781 23rd STREET, SAN FRANCISCO, CA 94114
BLOCK: 3650
LOT: 037A

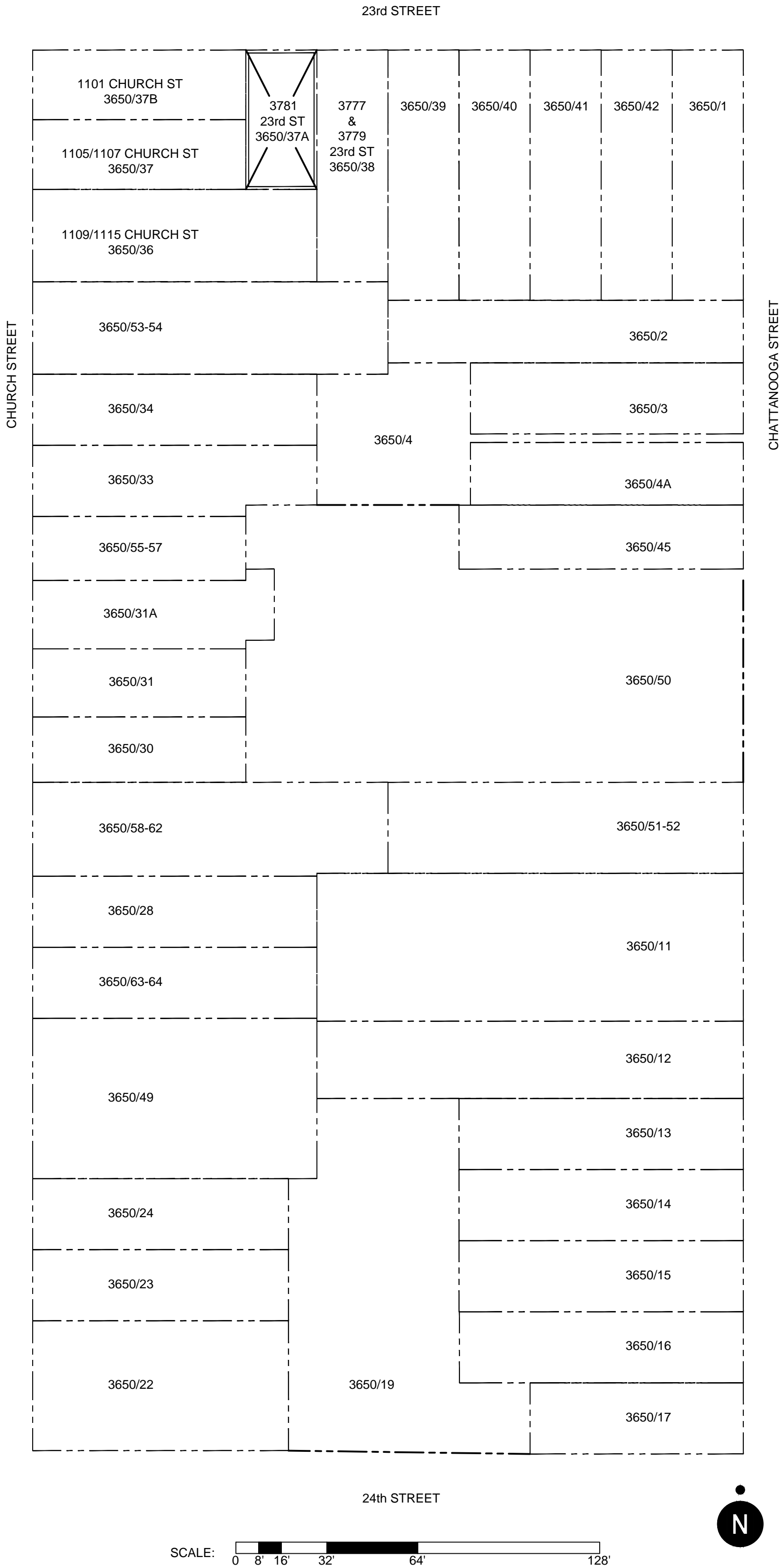
OWNER: S. LAMPERT & B. BRENNER
ADDRESS: 3781 23rd STREET
SAN FRANCISCO, CA 94114

ZONING: RH-2
HEIGHT LIMIT: 40-X

PROJECT SCOPE:
GENERAL PROPOSED IMPROVEMENTS TO INCLUDE:
NEW RAMP IN EXISTING GARAGE.
49.5 SQUARE FOOT ADDITION AT REAR OF HOUSE.
REMOVAL OF NON-STRUCTURAL, NON-LOAD BEARING WALL AT BEDROOM.
ADDITION OF ELEVATOR.

SHEET INDEX

SHEET	SHEET DESCRIPTION
A000	COVER SHEET / VICINITY MAP
A100	SITE PLAN
A200	GROUND LEVEL PLANS
A201	FIRST LEVEL PLANS
A202	SECOND LEVEL PLANS
A301	EXTERIOR ELEVATIONS
A302	EXTERIOR ELEVATIONS
A401	SECTION
PS-1	PHOTO SHEET-FRONT ELEVATION & REAR ELEVATIONS
PS-2	PHOTO SHEET - BLOCK LONG STREET VIEWS



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23RD STREET
RESIDENCE
REMODEL

3781 23RD STREET
SAN FRANCISCO, CA
94114

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2010 CA Building Code
2010 CA Plumbing Code
2010 CA Mechanical Code
2010 CA Electrical Code, and
2010 CA Building Energy
Standards.

GENERAL CONTRACTOR
JEFF KING & COMPANY
251 BALBOA STREET
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SITE PLAN

sheet number

A100

23rd STREET

CHURCH STREET

SIDEWALK

SIDEWALK

(E) DRIVEWAY
CURB CUT

SIDEWALK

25'-0"

SUBJECT PROPERTY
(E) 2-STORY RESIDENCE
3781 23rd ST
3650/37A

P.L.

(E) 3-STORY APARTMENT BLDG
1101 CHURCH ST
3650/37B

(E) 2-STORY
TWO-UNIT DWELLING
3777 & 3779
23rd ST
3650/38

(E) 2-STORY TWO-UNIT DWELLING
1105-1107 CHURCH ST
3650/37

15'-0"
REAR YARD
SET BACK LINE

49'-0"

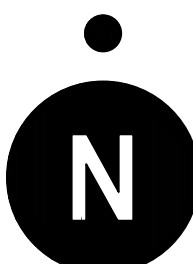
PROPERTY LINE

PROPERTY LINE

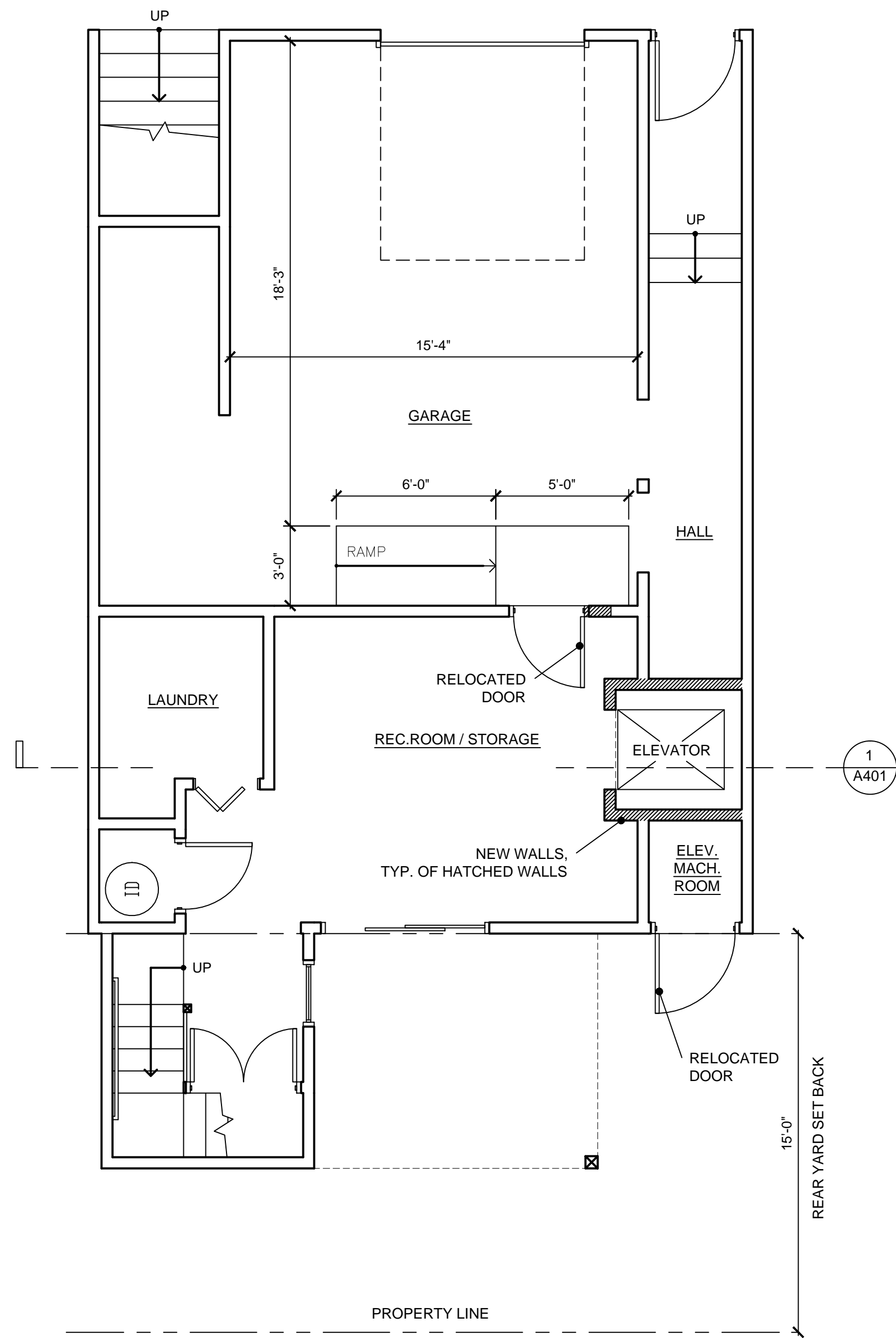
AREA OF WORK
UNDER THIS PERMIT

(E) 2-STORY TWO-UNIT DWELLING
1109-1115 CHURCH ST
3650/36

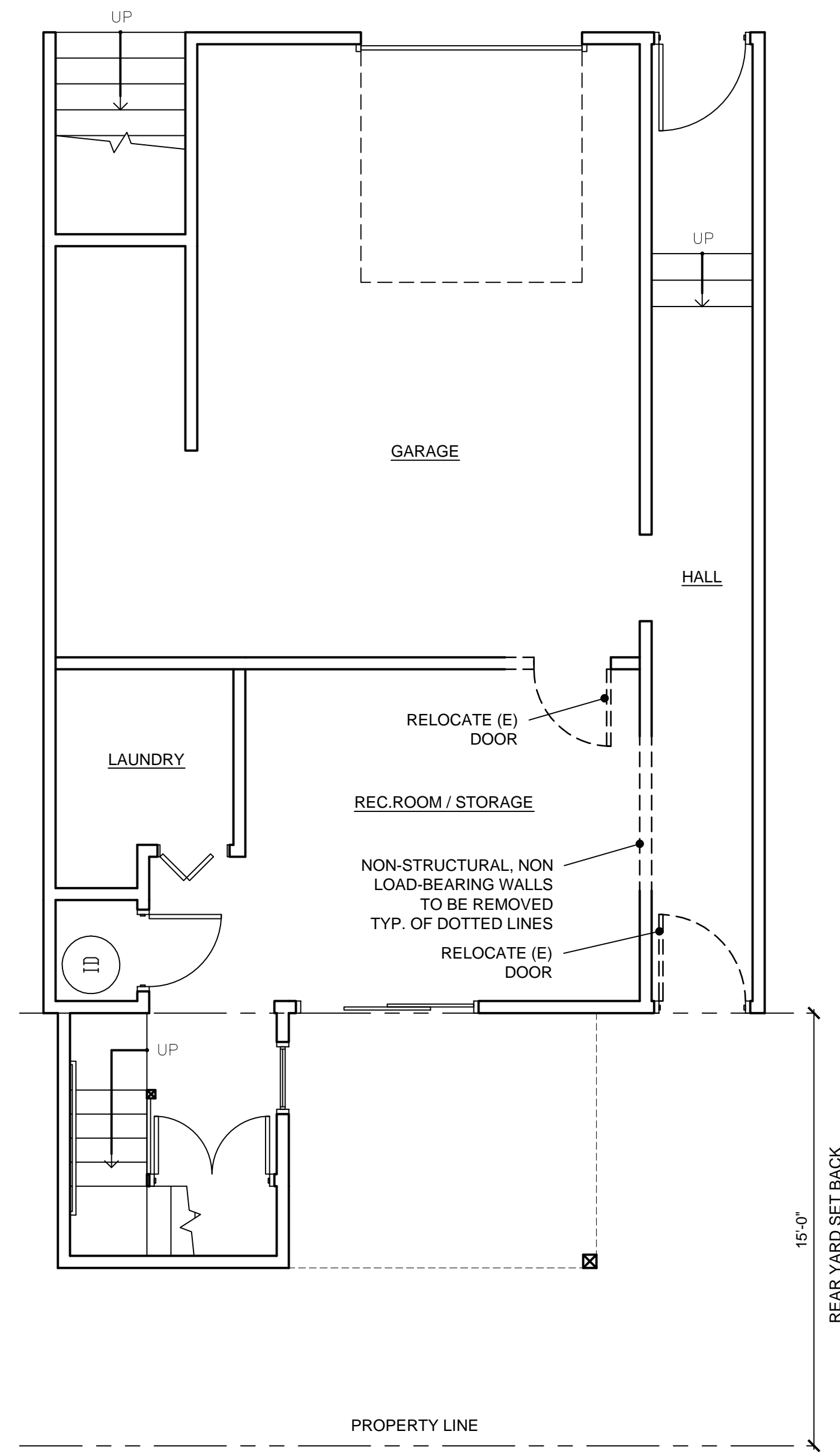
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2 PROPOSED GROUND FLOOR PLAN



1 GROUND FLOOR DEMOLITION PLAN

SCALE: 0 1' 2' 4' 8' 16'



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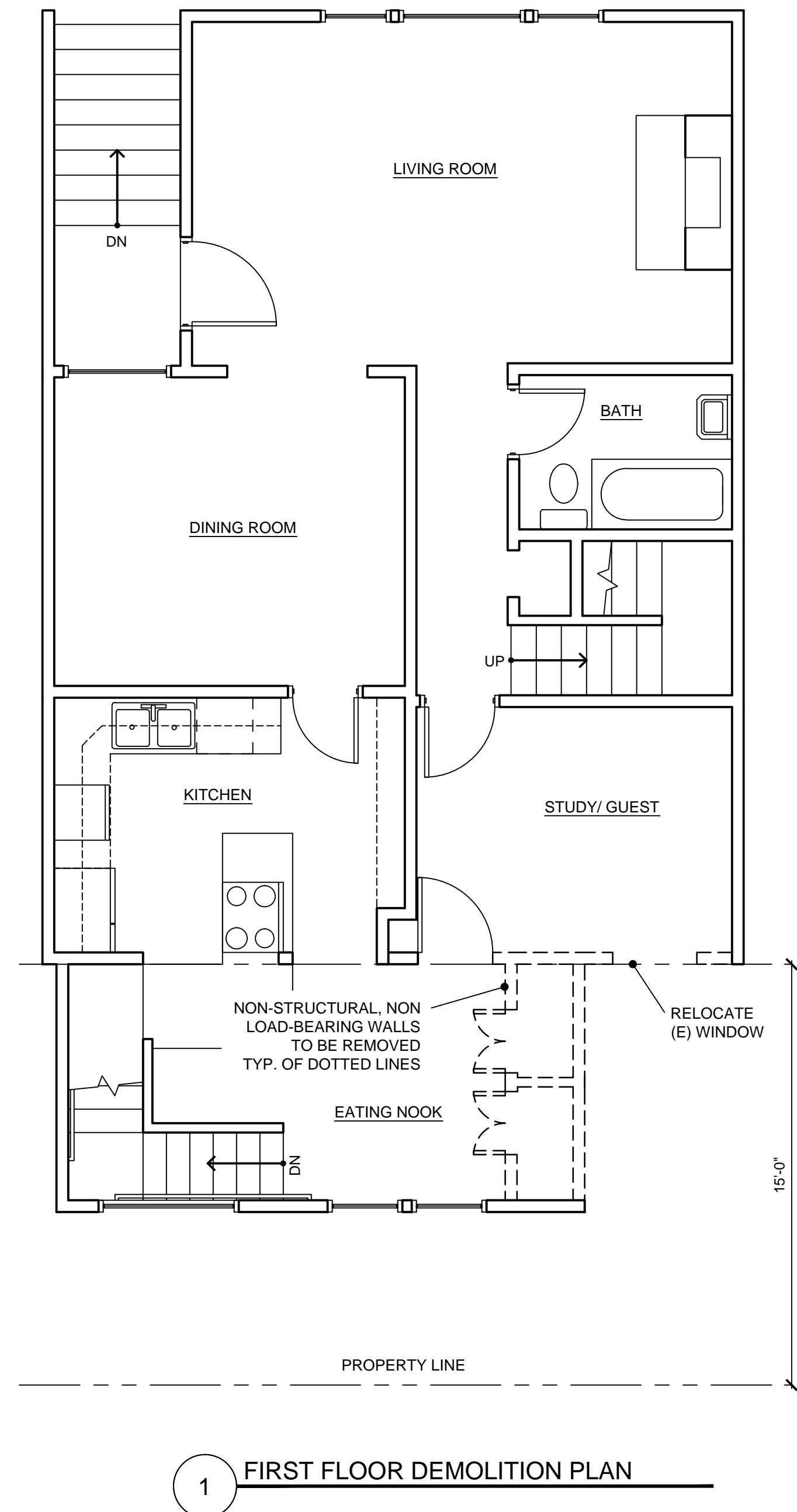
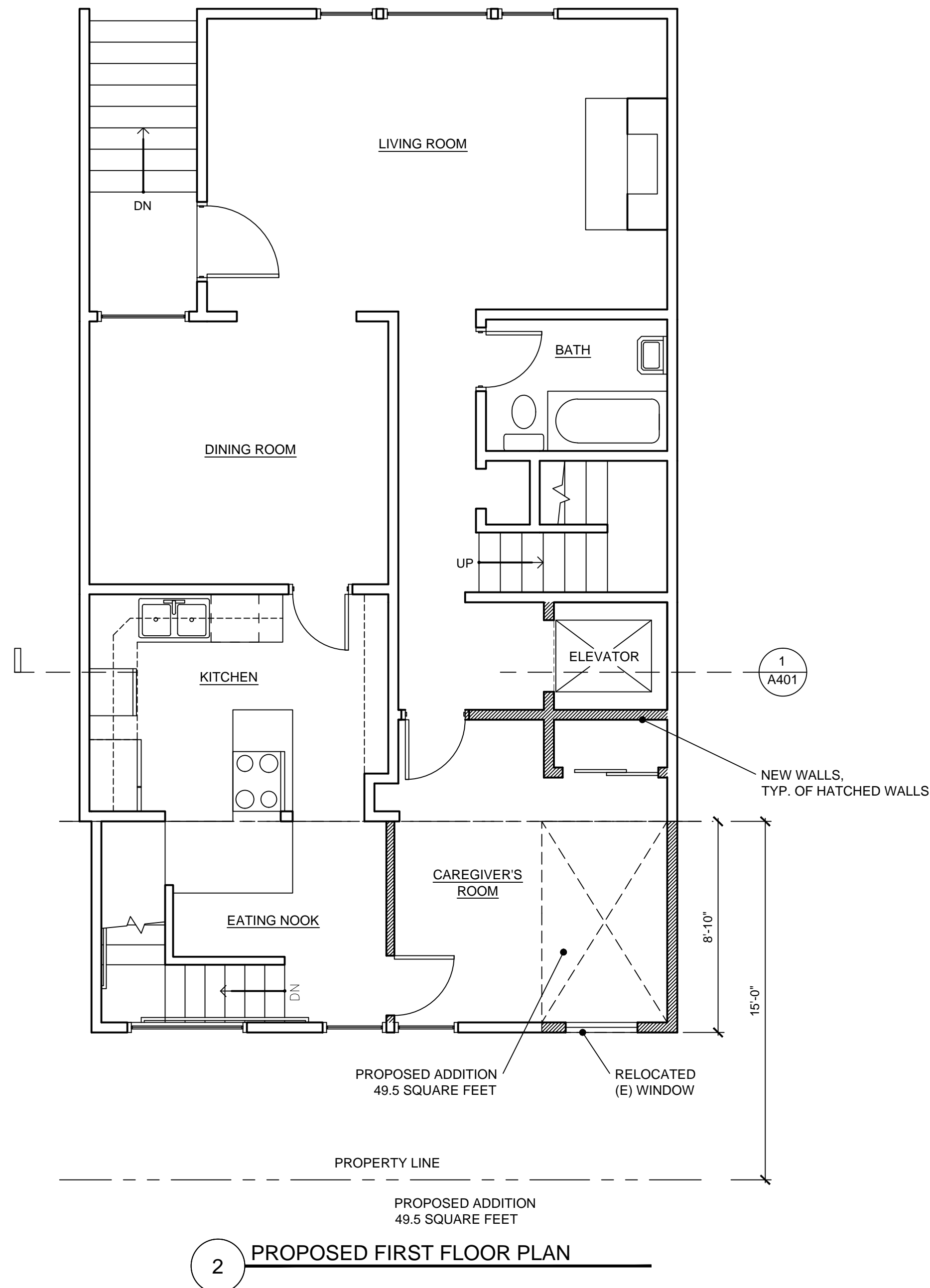
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GROUND
FLOOR PLANS

sheet number
A200

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SCALE: 0 1' 2' 4' 8' 16'



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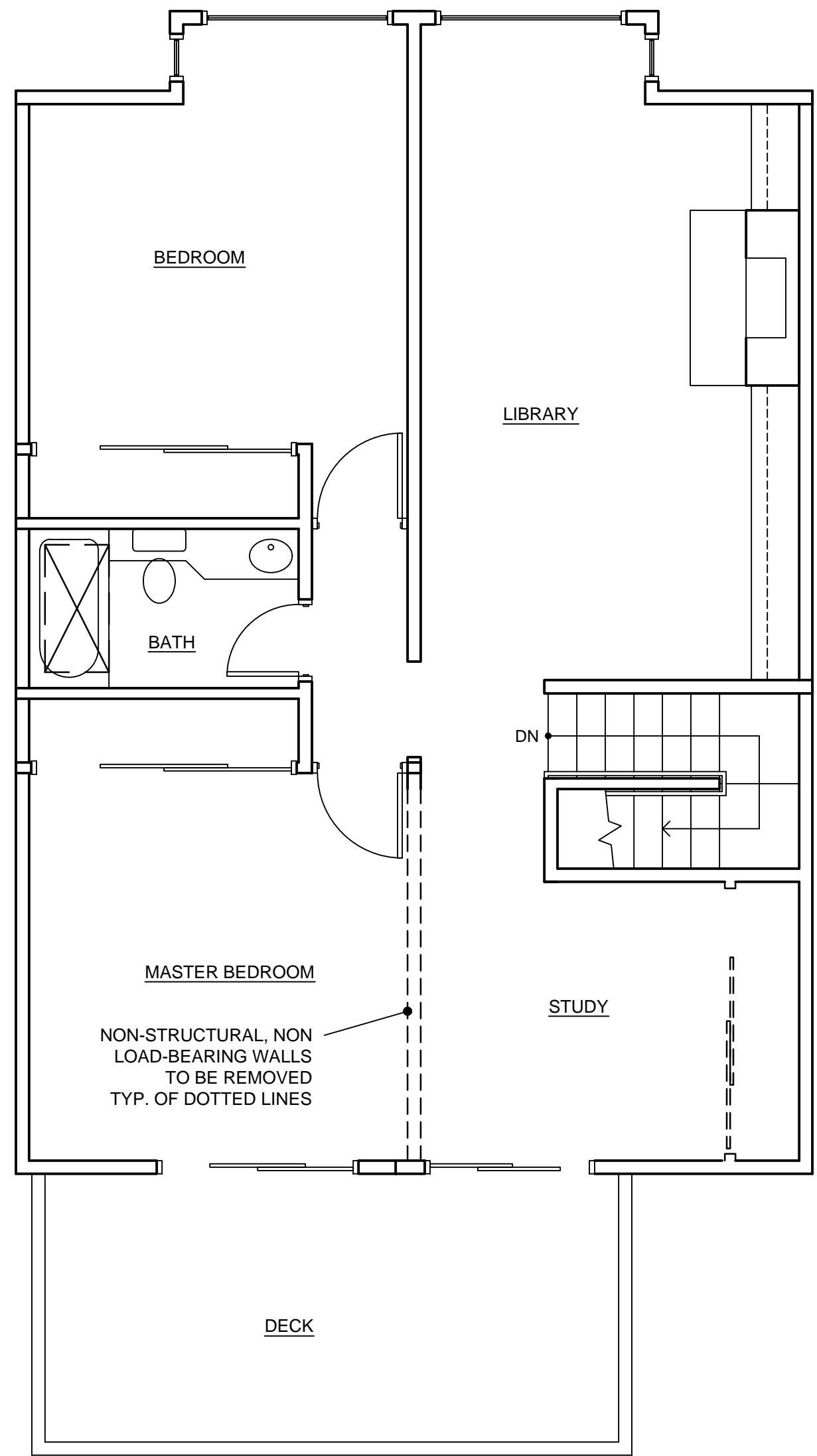
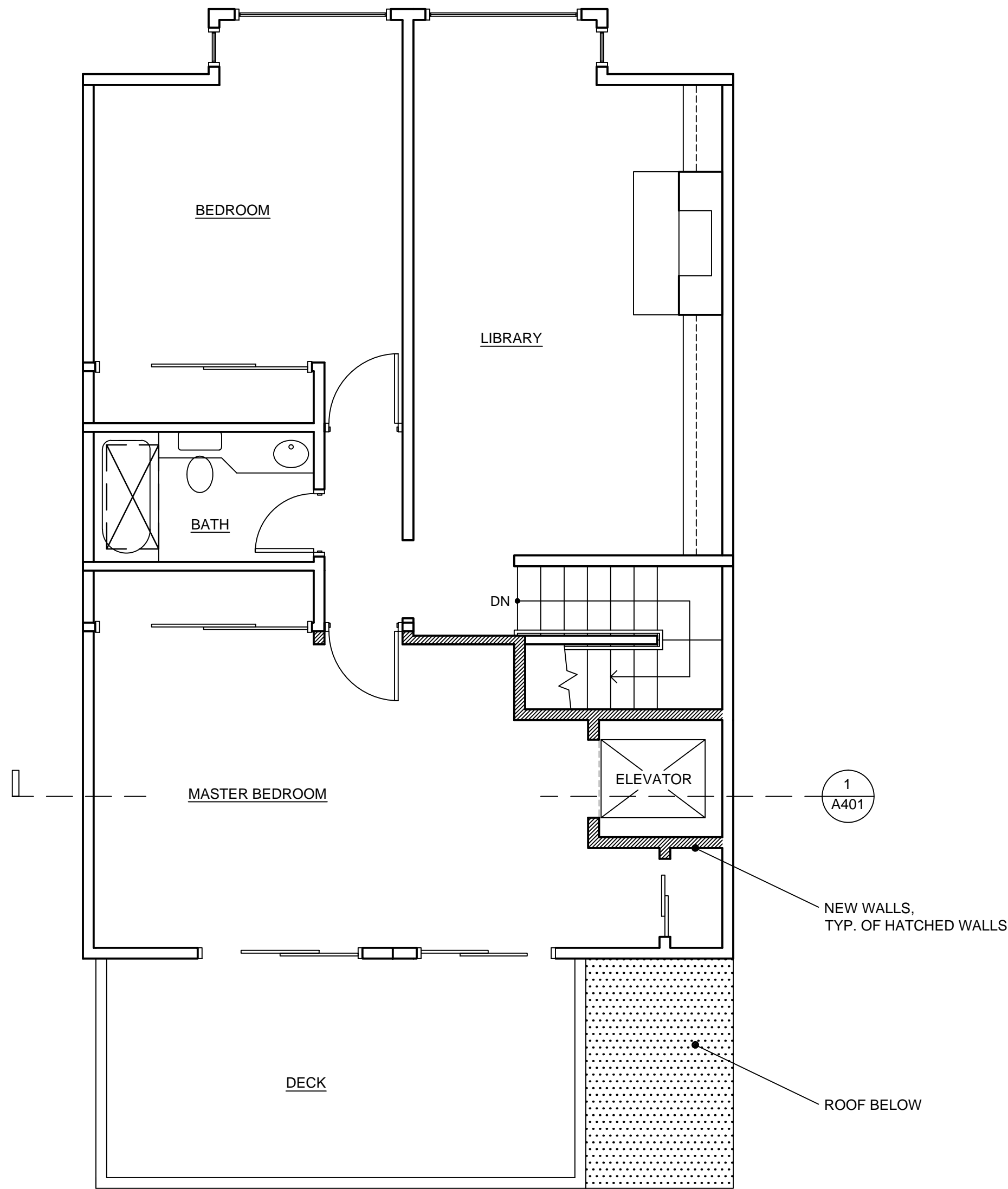
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FIRST LEVEL
FLOOR PLANS

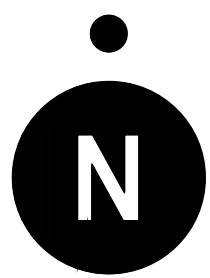
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A201

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SCALE: 0 1' 2' 4' 8' 16'



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SECOND LEVEL
FLOOR PLANS

sheet number

A202

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EXTERIOR
ELEVATIONS

sheet number

A301

PROPERTY LINE

NO CHANGE TO THESE ELEVATIONS

2 WEST ELEVATION

1 NORTH ELEVATION

SCALE: 0 1' 2' 4' 8' 16'

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EXTERIOR
ELEVATIONS

sheet number

A302

2 WEST ELEVATION

1 NORTH ELEVATION

SCALE: 0 1' 2' 4' 8' 16'

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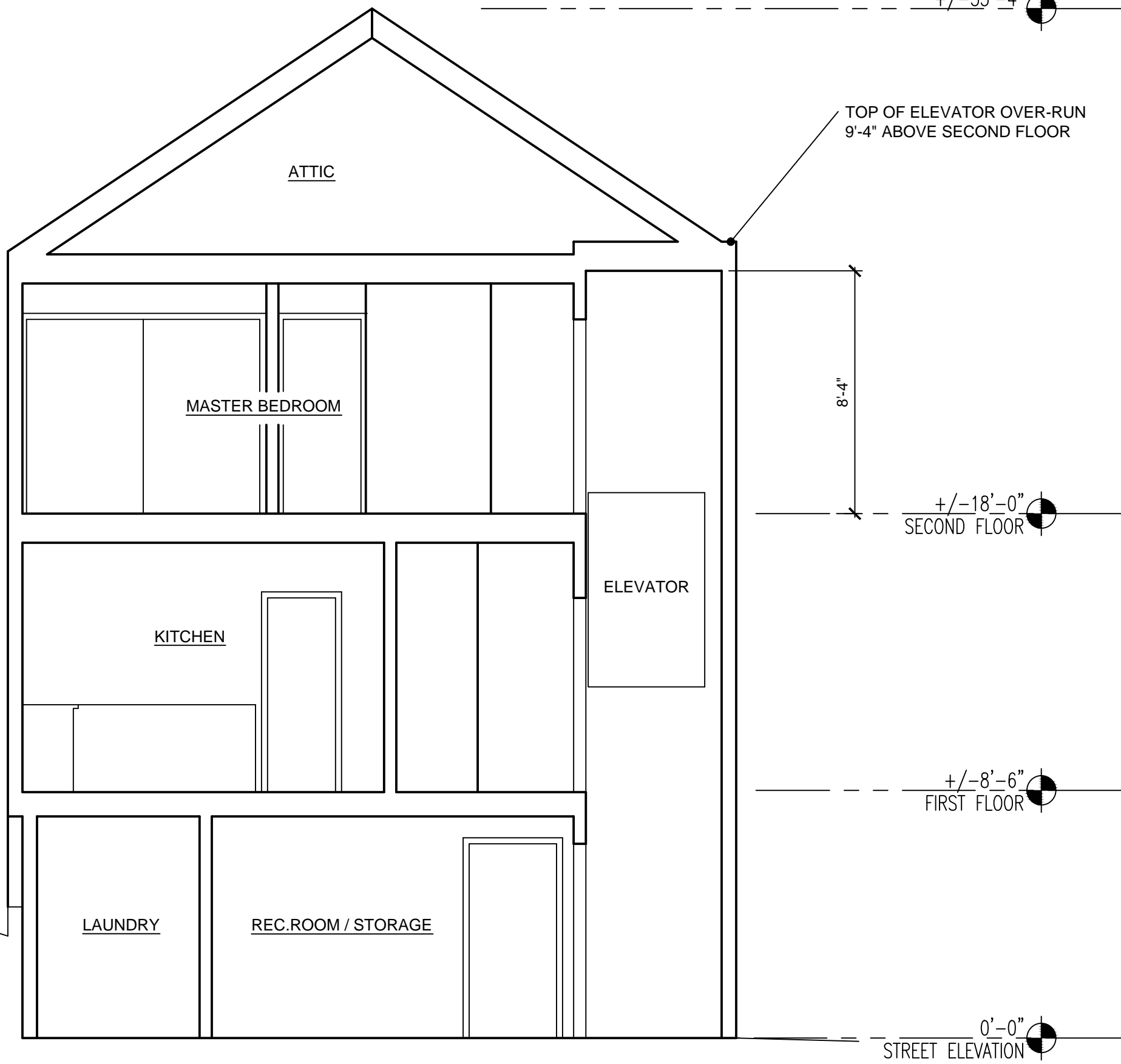
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SECTION

sheet number

A401



1 SECTION THROUGH ELEVATOR

SCALE: 0 1' 2' 4' 8' 16'

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1097 CHURCH STREET



3780 23RD STREET



3774 23RD STREET



3768 23RD STREET

3762 23RD STREET



3756 23RD STREET

198 CHATTANOOGA STREET

2 23rd STREET LOOKING NORTH



3751 23RD STREET

3755 23RD STREET



3761 23RD STREET



3767 23RD STREET

3771 23RD STREET



3777 23RD STREET



3781 23RD STREET



1101 CHURCH STREET

1 23rd STREET LOOKING SOUTH

23RD STREET
RESIDENCE
REMODEL

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SAN FRANCISCO, CA
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PHOTOGRAPH
SHEET

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PS-2

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2 GARAGE DOOR & ENTRY STEPS



1 REAR YARD LOOKING NORTH

23RD STREET RESIDENCE REMODEL

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PHOTOGRAPH
SHEET

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PS-1