



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 24, 2011**
 Time: **Beginning at 9:30 AM**
 Location: **1650 Mission Street, Room 431**
 Case Type: **Variance (Rear Yard and Noncomplying Structure)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1520 Shrader Street	Case No.: 2011.0624V
Cross Street(s): 17th St. & Carmel St.	Building Permit: 2011.04.01.3295
Block /Lot No.: 1290/019	Applicant/Agent: Alex Chiappetta
Zoning District(s): RH-2/40-X	Telephone: (510) 849-1698
	E-Mail: alex@acastudio.com

PROJECT DESCRIPTION

The proposal is to extend an existing rear deck approximately 32 square feet (4 feet deep by 8 feet wide) for a total deck size of approximately 64 square feet (4 feet deep by 16 feet wide). The proposal also includes legalizing an existing exterior staircase from the existing deck to grade.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard that measures 60 feet in depth. The proposed rear deck would be located entirely within the rear yard.

PER SECTION 188 OF THE PLANNING CODE a noncomplying structure may be altered provided no new discrepancy is created. The rear portion of the existing building as well as the existing deck and stairs are noncomplying structures as they were constructed within the required rear yard area. The proposed deck expansion would be contrary to Section 188.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Christine Lamorena** Telephone: **(415) 575-9085** E-Mail: christine.lamorena@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0624V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

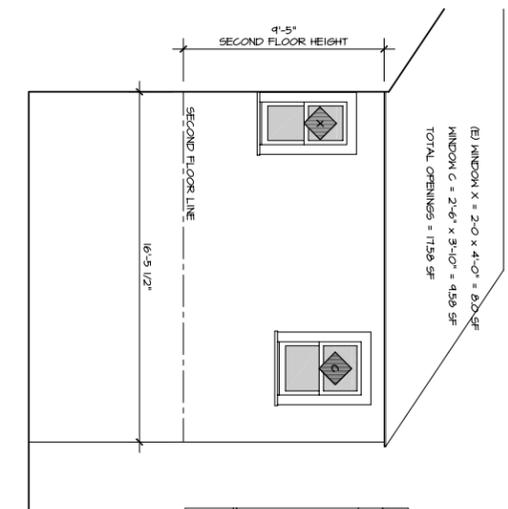
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

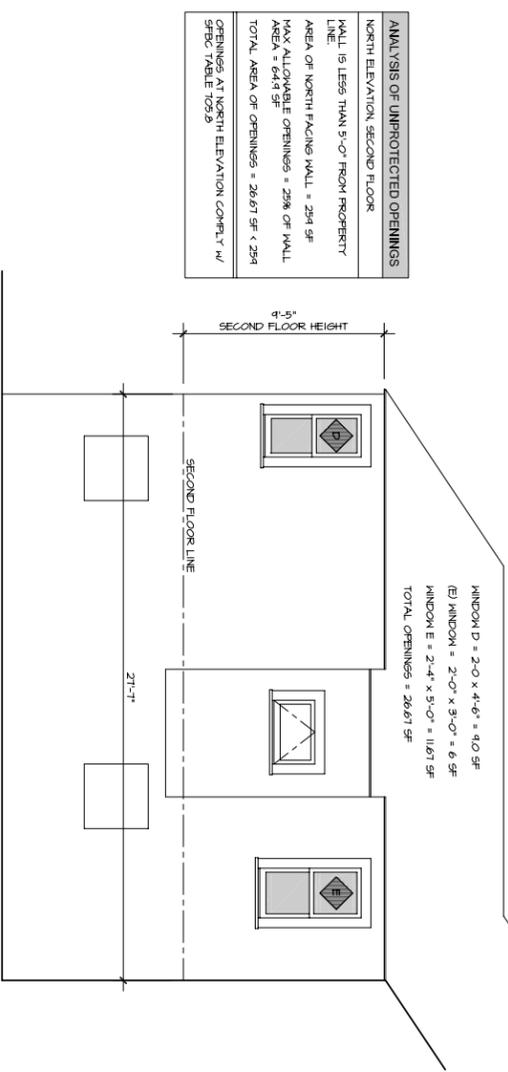
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



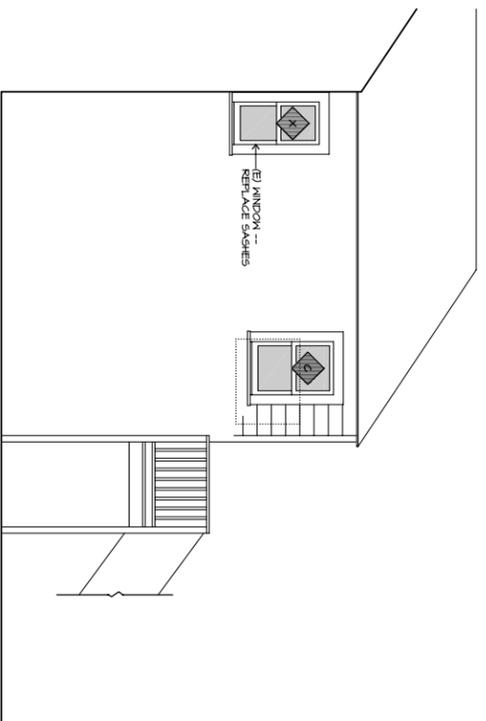
ANALYSIS OF UNPROTECTED OPENINGS	
SOUTH ELEVATION SECOND FLOOR	
WALL IS LESS THAN 5'-0" FROM PROPERTY LINE	
AREA OF SOUTH FACING WALL	= 195 SF
MAX ALLOWABLE OPENINGS	= 28% OF WALL AREA = 36.74 SF
TOTAL AREA OF OPENINGS	= 12.50 SF < 36.74 SF
OPENINGS AT SOUTH ELEVATION COMPLETELY W/ 5'-0" W/SET 1029	

6 ANALYSIS OF UNPROTECTED OPENINGS AT SOUTH
A4.1

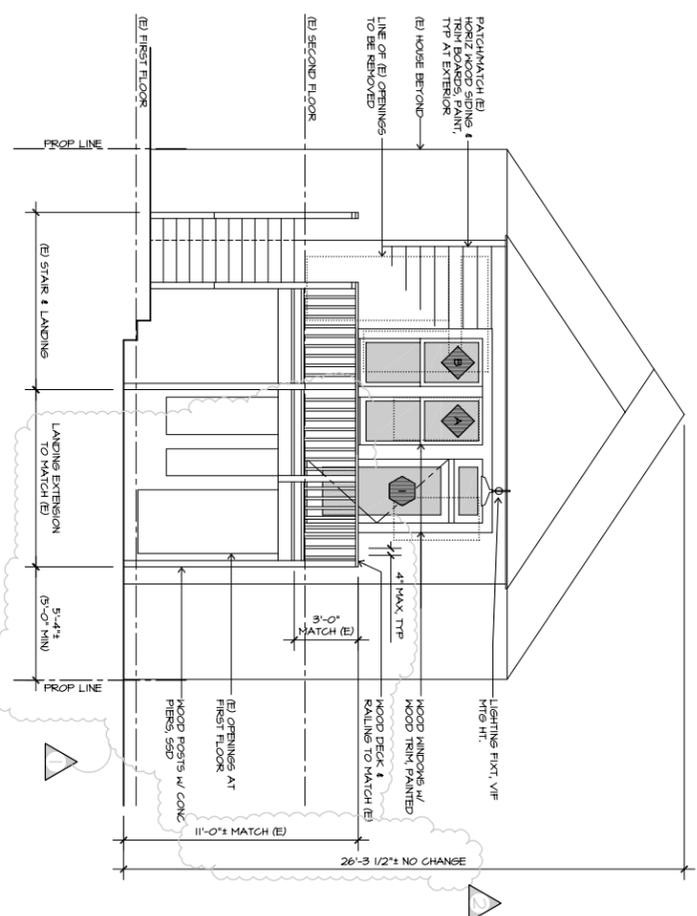


ANALYSIS OF UNPROTECTED OPENINGS	
NORTH ELEVATION SECOND FLOOR	
WALL IS LESS THAN 5'-0" FROM PROPERTY LINE	
AREA OF NORTH FACING WALL	= 294 SF
MAX ALLOWABLE OPENINGS	= 28% OF WALL AREA = 64.9 SF
TOTAL AREA OF OPENINGS	= 26.67 SF < 64.9 SF
OPENINGS AT NORTH ELEVATION COMPLETELY W/ 5'-0" W/SET 1029	

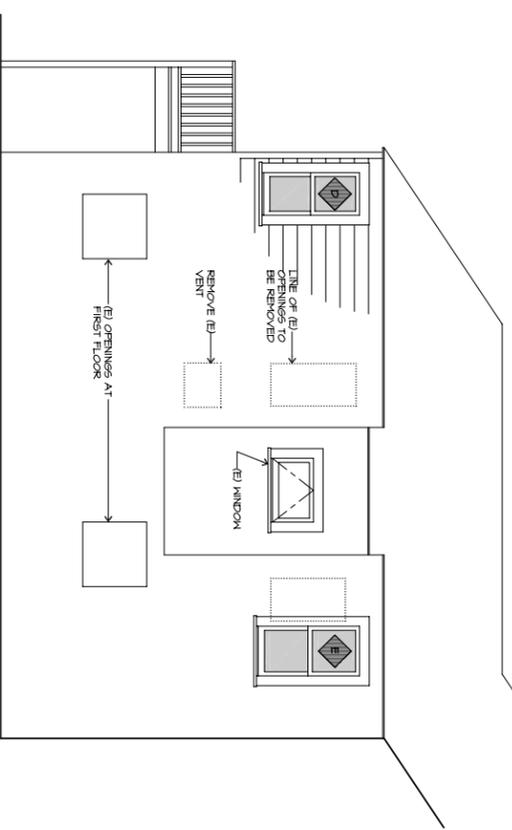
4 ANALYSIS OF UNPROTECTED OPENINGS AT NORTH
A4.1



3 SOUTH ELEVATION
A4.1



2 EAST ELEVATION
A4.1



1 NORTH ELEVATION
A4.1

KITCHEN
REMODEL

Rippy Residence

1520 Shrader St.
San Francisco
Block 1290 Lot 19

EXTERIOR
ELEVATIONS

Drawing Title
By AC Scale 1/4"=1'-0"
Date 4/01/11 Job 1014
Drawing No.

A4.1