#### MEMO

## **Disclaimer for Review of Plans**

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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Planning Information: 415.558.6377 1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, October 26, 2011

Time: **9:30 AM** 

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance(Rear Yard and Noncomplying Structure)

Hearing Body: **Zoning Administrator** 

PORPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	235-237 Laussat St	Case No.:	2011.0860V
Cross Street(s):	Fillmore And Steiner Streets	Building Permit:	201109164871
Block / Lot No.:	0860/046	Applicant:	Nils Welin
Zoning District(s):	RH-3 / 40-X	Telephone:	415-672-0186
Area Plan:	N/A	E-Mail:	nwelin@cypress- security.com

### PROJECT DESCRIPTION

The proposal includes the demolition of the existing noncomplying three-story deck and staircase and the construction of new decks at the rear of the first, second, and third floors of the four-story two-unit building; a new spiral staircase at the rear of the first and second floors; and a new horizontal rear addition (glass enclosure) at the basement and first floor. Although the new horizontal rear addition and decks will not extend beyond the existing deck and staircase, they will be located within the required rear yard, necessitating the granting of rear yard and noncomplying structure variances.

**PER SECTIONS 134 AND 188 OF THE PLANNING CODE** the Subject Property is required to maintain a rear yard of 15'-0", measured parallel to the rear property line. The existing development on the lot (building, rear decks and staircase) encroaches into the required rear yard by approximately 11'-6", extending to within approximately 3'-6" of the rear property line. The proposed addition and decks encroach into the required rear yard by approximately 9'-0", extending to within approximately 6'-0" of the rear property line; the proposed spiral staircase is located to the rear of the proposed addition and decks, encroaching an additional 5'-0" into the required rear yard and extending to within 1'-0" of the rear property line. These rear yard encroachments necessitate rear yard and noncomplying structure variances, pursuant to Planning Code Sections 134 and 188, respectively.

#### ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Elizabeth Watty Telephone: 415-558-6620 E-mail: elizabeth.watty@sfgov.org

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2011.0860V.pdf">http://sf-planning.org/ftp/files/notice/2011.0860V.pdf</a>

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

#### **GENERAL INFORMATION ABOUT PROCEDURES**

#### **VARIANCE HEARING INFORMATION**

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

#### **BUILDING PERMIT APPLICATION INFORMATION**

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. On October 7, 2011, the Department issued the required Section 311 notification for this project (expires November 5, 2011).

#### **BOARD OF APPEALS**

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

#### **ABOUT THIS NOTICE**

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <a href="http://upn.sfplanning.org">http://upn.sfplanning.org</a> for more information.

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All work shall conform to requirements of the 2010 California and San archico Building Code and oil other applicable local and state codes, ordinances of regulations, or shall welf oil dimensions and all conditions at the site. Any ordinations or conflicts in the drawings, conflict in the drawings, conditions are conflict and the architecture. The conditions shall always tide presentance over scade.

The property time of the conditions are conditions and always tide presentance over scade.

work. work or required drowings shall be issued by the designer, conflictations or required drowings shall be issued by the designer, where e contraction shall obtain and pay for all permits and itenses required for. The contraction shall obtain and pay for all permits and issuesses required by constituted authorities. The contraction shall obtain a perfilicate of any or and the reduces or items and intention and above on the completion of any or any or

or contractor shall furnish a written guarantee for all work for a period of one or adde of completion as evidenced by final payment. Upon receipt of notice from architect, contractor shall make all repairs due to faulty lig, installation or construction or inadequate maintenance or supervision at

designer:
Glass doors, adjacent panels and all glazed openings within 18" of the adjacent or enclosing a tub or shower shall comply with Port I of U.B.C. Standard No. distitional costs shall adequately share all existing construction for which the The contractor shall adequately share all points. Where wails are removed by provide lateral support for the building, a sequence of construction shall be test which allows lateral forces to be supported by new waits prior to removal thing which lateral supports plated through shall be provided until all new frequencies for charges orders and substitutions shall be approved in advance by requencies for charges orders and substitutions shall be approved in advance by

Toilet shall use no more than 1.5 gallons per flush and shower head shall have maximum flow rate of 2.5 gallons per mitule.

All operating manuals, warranties and consumer information for equipment and All operating manuals, warranties and consumer information for equipment and constant and the state of the state of the state of the state of the content of the state of the sta All new windows and glazed doors shall be N.F.R.C. certified with a minimum blue of 0.68 in conformance with current California Energy Commission nary lighting for bathroom & kitchen shall have a minimum efficiency of 40 per watt in conformance with current California Energy Commission

(Supplation NOTES production steel shall be Grade 60 min. and conform to ASTM A615-86 geoffications, and steel shall be Type II Portland cement concrete, minimum 2500 psi., with a minimum slump of 6 lin. e project.

i. Partitions around bathrooms, laundry and kitchen shall be sound-proofed with numd attenuating both resultion and of water resistant materials.

j. All exterior doors to be searily openings and shall be openable from the state without special knowledge or the use of a key.

Journal of this proof was of a key.

July exterior trim and mouldings shall be backprimed with point or varnish as

meral Requirements:
Observation visits to the site by representatives of the designer do not include observation visits to the microsia nor safety measures. Such visit are performed specifically only the property of the pr

umber content 16%.

All dimensional framing members to be Douglas Fir-Larch, maximum moisture content 16%.

2. Minimum lumber grades (UCN).

2. Minimum lumber strates Douglas for of foundation grade research of the lumber in content with concrete within 4-feet of grade.

3. Provide grassure treates Douglas Fir or foundation grade research of lumber in content with concrete within 4-feet of grade.

4. Provide 2 from full height booking at each support pluss on an individual provide strategy of the strategy

All connectors shall be by Simpson Strong-Tie Co., Inc. or equivalent unless therwise noted. Plywood shall meet requirements of PS 1-83 and be APA stamped. Minimum grade plywood shall be CDX exposure 1 (UCN). NNECTORS.

REAR YARD SETBACK OUTLINE OF EXISTING DECK & STAIRS
ADJACENT
REAR YARD ADJACENT ONE STORY SHED NEW DECK & -5'-0" P.L. 25.0 Þ. (E) THREE STORY
TWO FAMILY DWELLING
235-7 LAUSSAT STREET
AP 860 046 LAUSSAT STREET WALLER STREET TWO STORY
TWO FAMILY
DWELLING P.L. 42.75 REAR ADJACENT ONE STORY SINGLE FAMILY 27'-9" DWELLING THREE STORY
TWO FAMILY
DWELLING SETBACK

A SCALE: 1/8" = 1'-0"

# SCOPE OF WORK

REPLACEMENT OF REAR DECKS AND STARS,
NEW THIRD FLOOR DECK SECOND FLOOR DECK WITH
SPIRAL STAIR TO REAR YARD.
CONNECT FIRST FLOOR UNIT TO BASEMENT SPACE
WITH NEW INTERNAL SPIRAL STAIR.

665 Minna Street #C San Francisco, CA 94103 phone: 415.336.1225

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## PROJECT DATA

APN

860 046

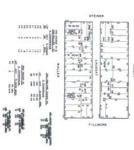
ZONING DESIGNATION	CLIMATE ZONE	SEISMIC ZONE	PROPOSED OCCUPANCY GROUP	EXISTING OCCUPANCY GROUP	BUILDING TYPE
RH-3	Z	₹	R-2 TWO FAMILY	R-2 TWO FAMILY	V-B

## SHEET INDEX

A6	A5	A 4	A3	A2	≥
A6 SITE PHOTOS	A5 BUILDING SECTIONS	A4 ELEVATIONS - EXISTING & PROPOSED	A3 PROPOSED FLOOR PLANS	A2 EXISTING FLOOR PLANS - DEMOLITION	A1 SITE PLAN & GEN. NOTES







# (B) ASSESSOR MAP

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0 × 0 × 0	REAR DECK & STAIF REPLACEMENT 235 LAUSSAT STREET SAN FRANCISCO C SAN FRANCISCO C	
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09/21/2011 issue

SITE PLAN, INDEX GENERAL NOTES

ASNOTED

HEET 1 of 6 Sheets



