



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 25, 2012**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard & Non-conforming structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	20-22 Darrell Place	Case No.:	2011.0918V
Cross Street(s):	Filbert	Building Permit:	2011.08.01.1402
Block /Lot No.:	0085/017	Applicant/Agent:	Lewis Butler
Zoning District(s):	RH-3 / 40-X	Telephone:	(415) 674-5554
Area Plan:	N/A	E-Mail:	butler@butlerarmsden.com
PROJECT DESCRIPTION			
<p>The proposal is for exterior alterations to the existing residential building that includes installing horizontal wood siding, replacing windows and installing new window openings, infill of lightwell at south (side) elevation, and reconstruction of non-conforming rear decks and construction of new rear deck at first floor. A Certificate of Appropriateness for the proposed project was approved by the Historic Preservation Commission at a regularly scheduled public hearing on June 6, 2012 (Case No. 2011.0918A, Motion No. 0160).</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 25 feet with a reduction to 16 feet through averaging. The proposed reconstructed decks would encroach approximately 4 feet into the required rear yard and result in a rear yard of approximately 12 feet; therefore, the project requires a variance from the rear yard requirement of the Planning Code.</p> <p>PER SECTION 188 OF THE PLANNING CODE a non-complying structure may be altered provided no new discrepancy is created. The original deck on the existing building is a non-complying structure as it was constructed within the required rear yard. The proposed new deck would reconstruct the non-complying feature, and add another deck level, and thus would be contrary to Section 188.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Pilar LaValley Telephone: (415) 575-9084 E-Mail: pilar.lavalley@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0918V.pdf</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On July 13, 2012, the Department issued the required Section 311/312 notification for this project, which will expire on August 11, 2012.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

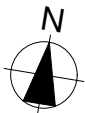
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

311 NOTIFICATION

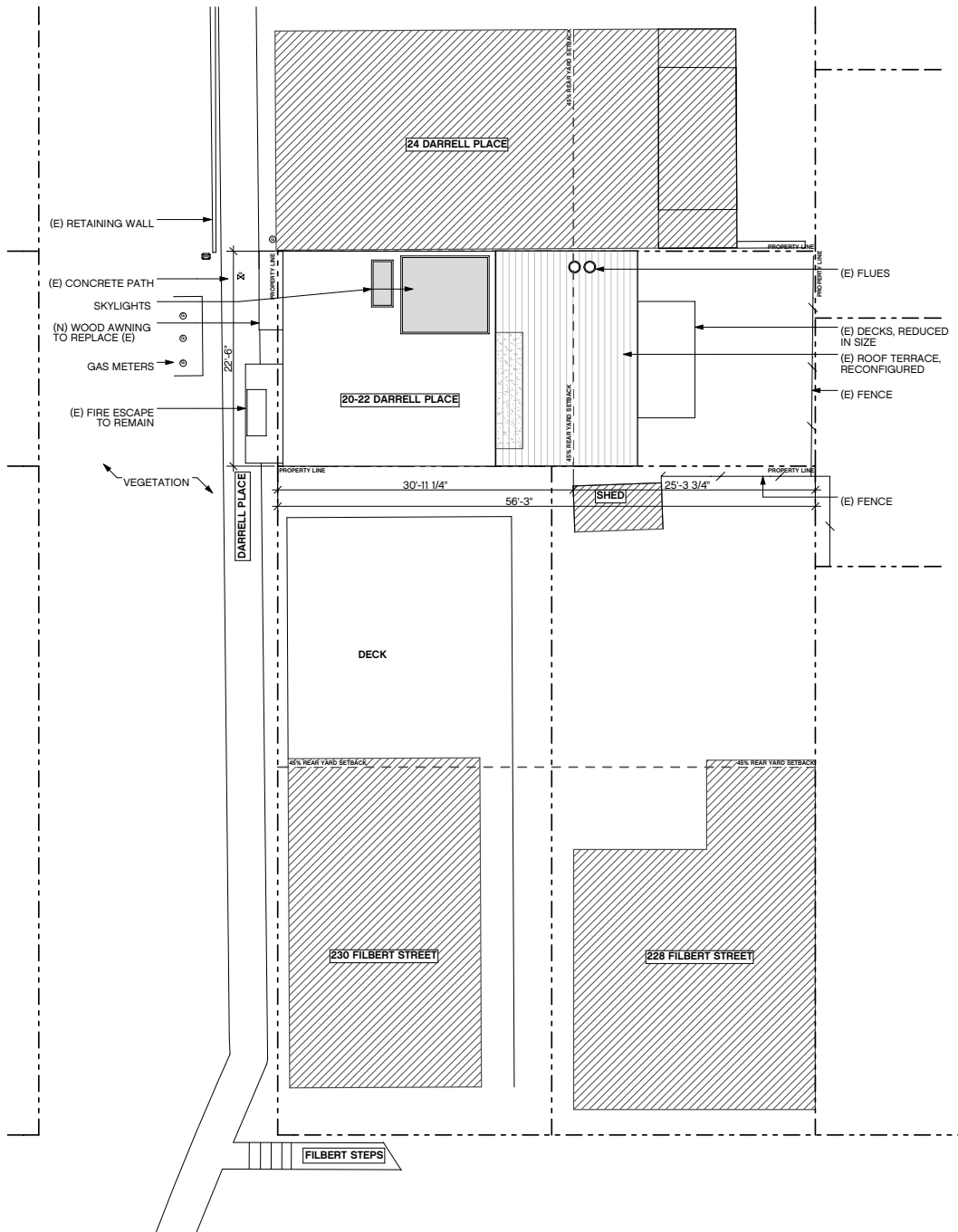
revisions	by:

job #:	1105
date:	JUN 29, 2012
drawn:	MM
checked:	GF
scale:	AS NOTED

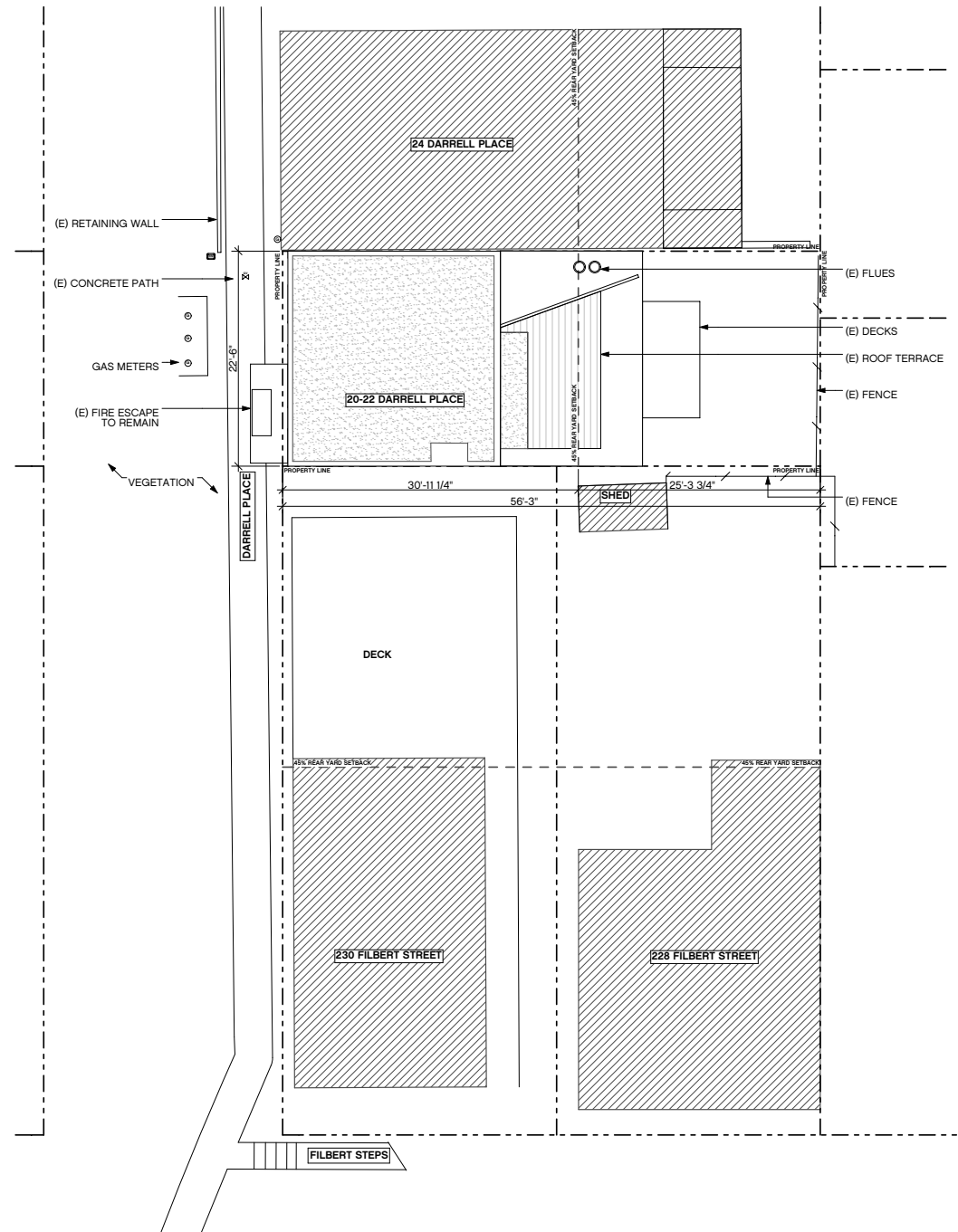
EXISTING &
PROPOSED SITE
PLANS



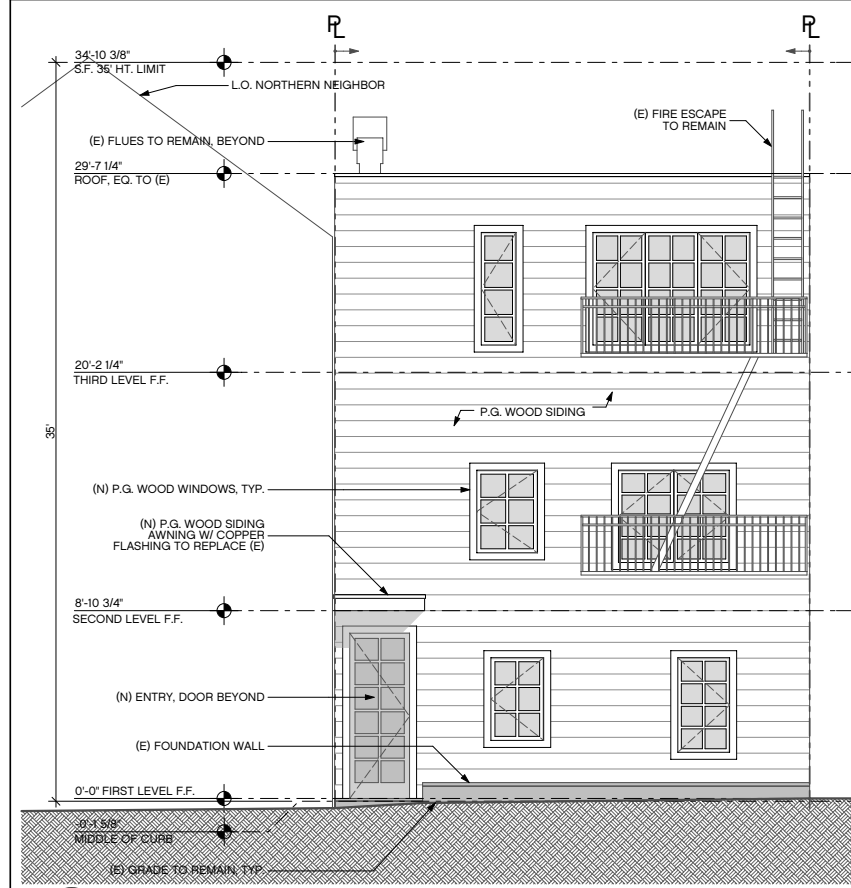
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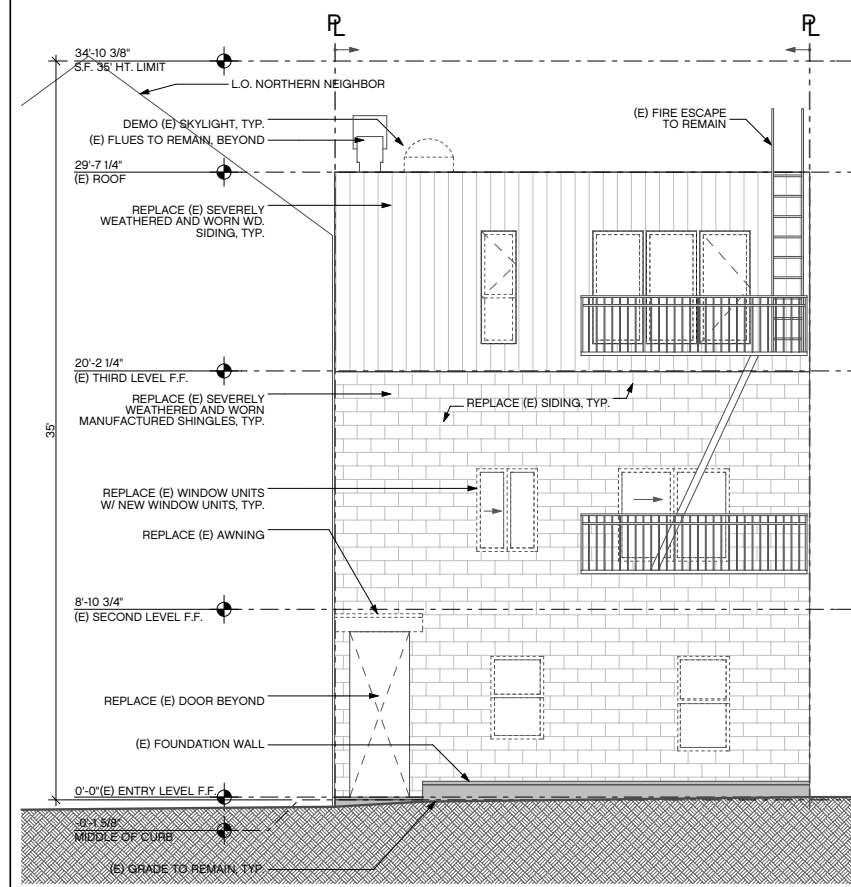
2 PROPOSED SITE PLAN
SCALE 1/8" = 1'-0"



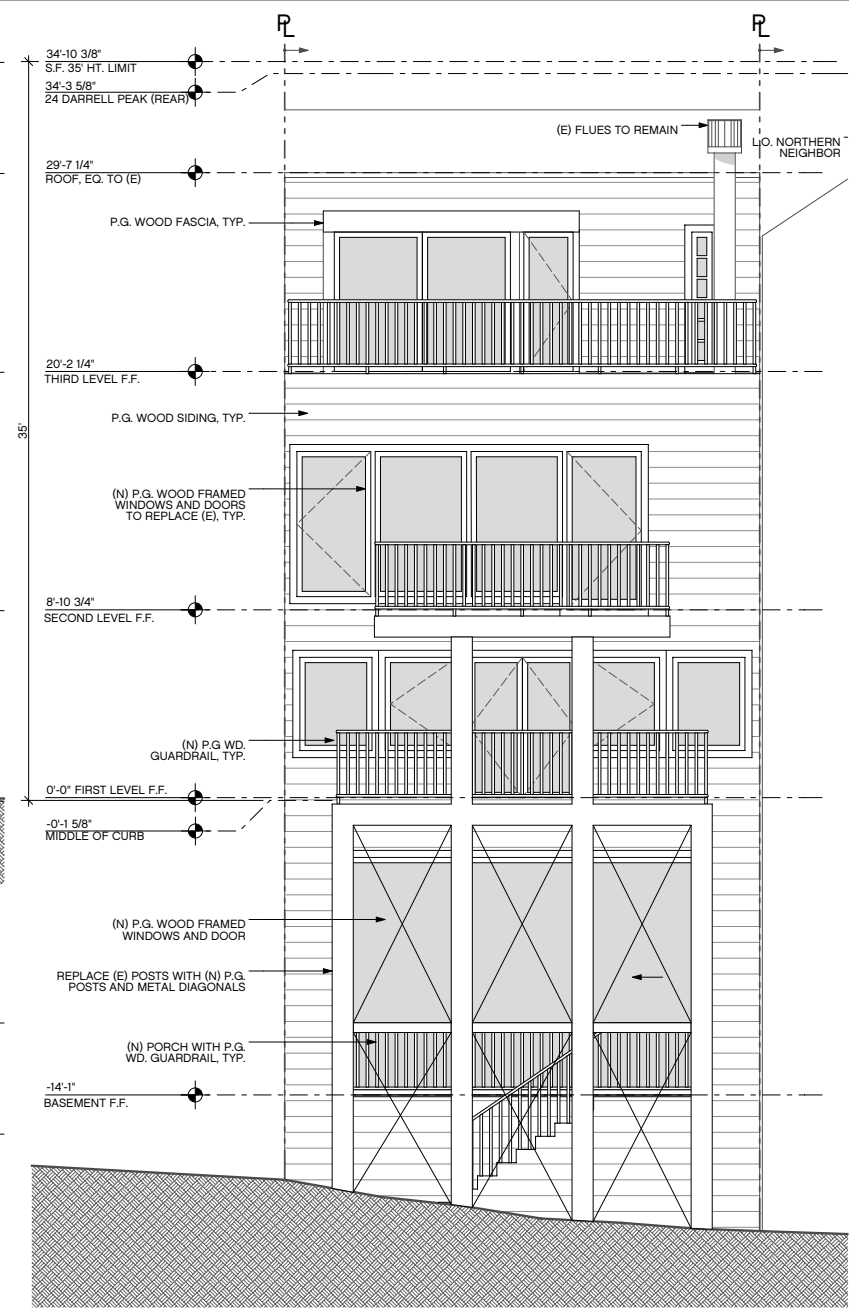
1 EXISTING SITE PLAN
SCALE 1/8" = 1'-0"



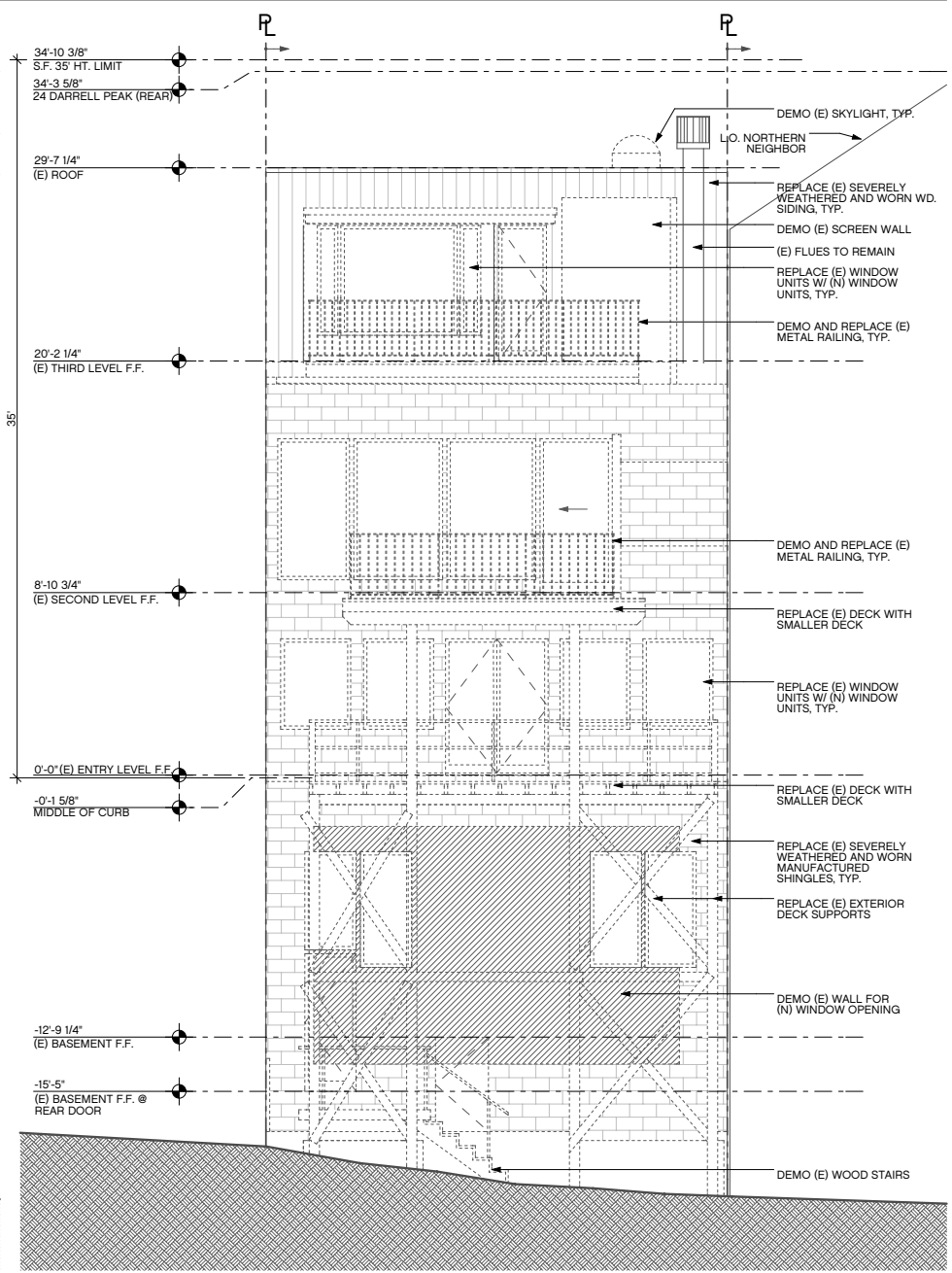
4 PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0"



3 EXISTING WEST ELEVATION
SCALE 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
SCALE 1/4" = 1'-0"



1 EXISTING EAST ELEVATION
SCALE 1/4" = 1'-0"

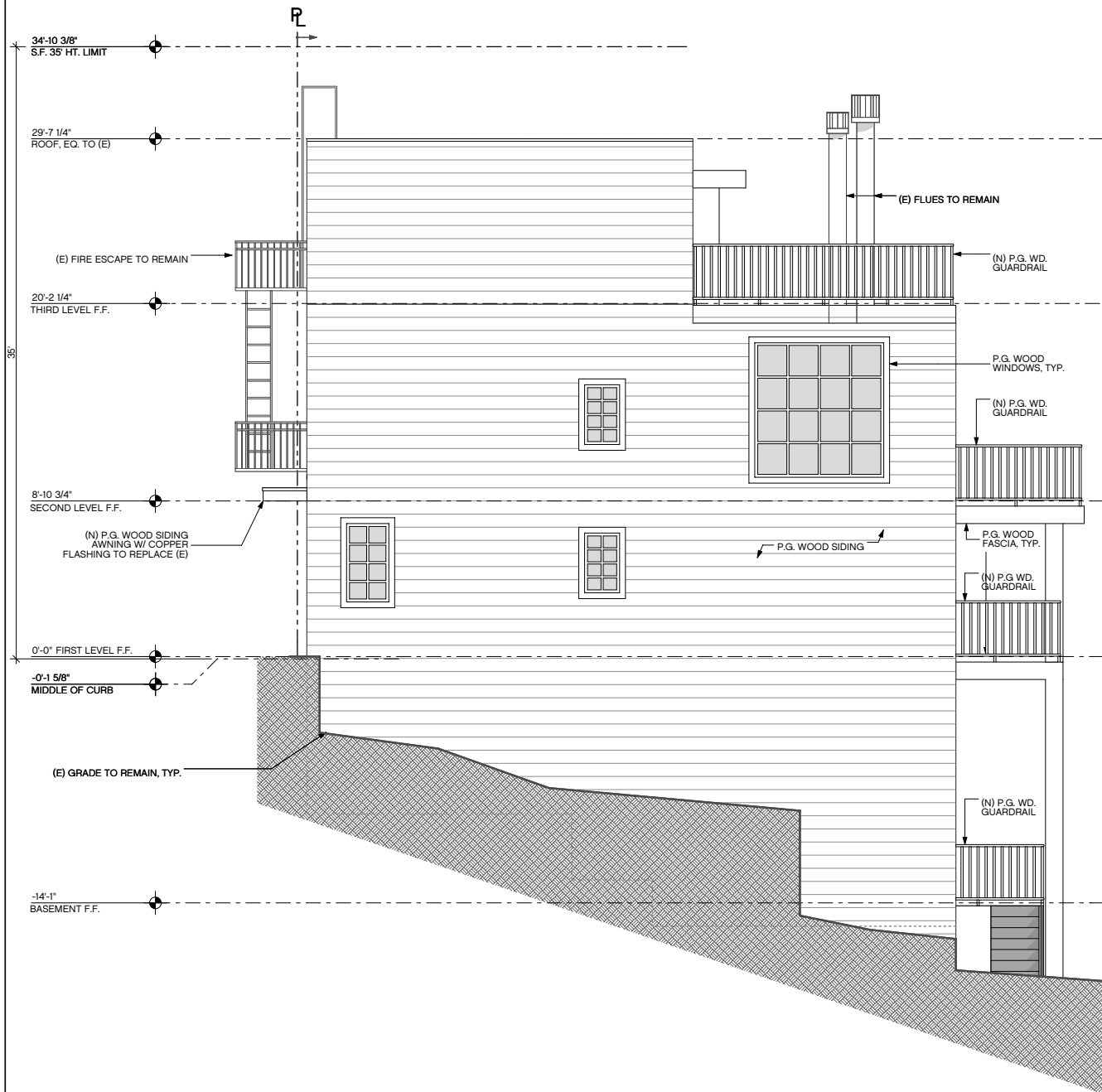
NOTE
NORTH ELEVATION IS KEPT AS IS
AND DOES NOT CHANGE

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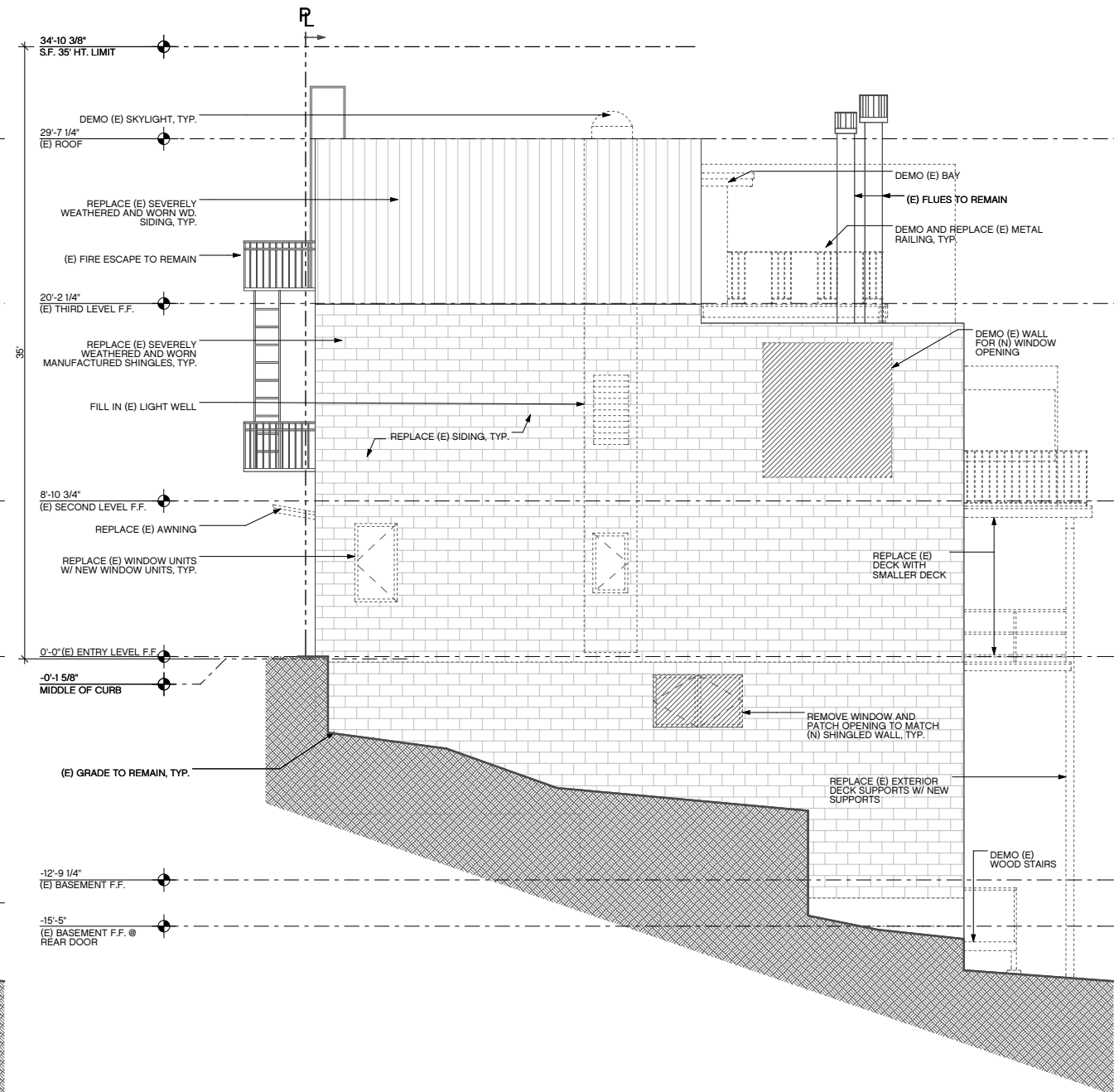
EXISTING &
PROPOSED
ELEVATIONS



2

PROPOSED SOUTH ELEVATION

SCALE 1/4" = 1'-0"



1

EXISTING SOUTH ELEVATION

SCALE 1/4" = 1'-0"

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EXISTING &
PROPOSED
ELEVATIONS

A0.5