



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 25, 2012**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard and Noncomplying Structure)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 321 San Jose Avenue	Case No.: 2011.0964V
Cross Street(s): 25th-26th Streets	Building Permit: 2011.0901.3690
Block / Lot No.: 6531/026	Applicant/Agent: Andrew Morrall
Zoning District(s): RH-3 / 40-X	Telephone: 415 282 0616
Area Plan: N/A	E-Mail: andy@morrallarch.com

PROJECT DESCRIPTION

The proposal is to renovate the rear of the single-family residence and one-story garage structure. All work is in the rear yard facing Poplar Street. The work includes removal of the existing garage, stairs and 9'-4" of the rear of the building, and re-construction of a 10' deep rear addition, an enclosed rear stair structure, and one-story garage. There will be a new deck on the roof of the garage and enclosed stair structure.

PER SECTION 134, the required rear yard is 25% of the depth of the lot, or 22'-6". The existing rear yard is 4'. The footprint of the stair structure and garage will remain the same; the stair structure will be 4'-4" wide and the garage will be 12' wide; both will extend 19' into the rear yard and are 4' from the rear property line. The stair structure will be increased in height from approximately 17' to 28'. Both extend 19' into the required rear yard, thus resulting in a 4' rear yard. Therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.

PER SECTION 188, a noncomplying structure as defined in Section 180 may be enlarged or altered provided that there is no increase in any discrepancy, or any new discrepancy, between existing conditions on the lot and the required standards of the Code. Therefore, re-construction of the garage and enlargement of the stairs and rear portion of the building requires a variance from the noncomplying structure requirement (Section 188) of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Tara Sullivan** Telephone: **415-558-6257** Mail: tara.sullivan@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0964V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



SAN FRANCISCO PLANNING DEPARTMENT

Date: January 6, 2011

The attached notice is provided under the Planning Code. It concerns property located at 321 San Jose Avenue (Case No. 2011.0964V) ~ TS. A hearing may occur, a right to request review may expire or a development approval may become final unless appealed by 1/25/2012.

To obtain information about this notice in Spanish, please call (415) 558-6378, or in Chinese, please call (415) 558-6378. Please be advised that the Planning Department will require at least one business day to respond to any call.

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附上的是三藩市城市規劃局的通告。

此通告是與位於 321 San Jose Avenue (Case No. 2011.0964V) ~ TS
的建築計劃有關。如果在 1/25/2012

之前沒有人申請聽證會來檢討這一個建築計劃,這計劃可會被核准。

如果你需要用華語獲得關於這通告的細節, 請電415-558-6378.

規劃部門將需要至少一個工作天回應。華語資料提供只是城市規劃局的一
項服務, 此項服務不會提供額外的權利或延伸任何要求檢討的期限。

El documento adjunto es referente a la siguiente dirección: 321 San Jose Avenue (Case No. 2011.0964V) ~ TS. Es un requisito del Código de Planeación (Planning Code). La posibilidad de una audiencia puede ocurrir. El derecho para revisar el archivo de este proyecto puede expirar o una decisión puede ser final si usted no presenta un documento de apelación antes de: 1/25/2012.

Para obtener más información en Español acerca de este proyecto, llame al siguiente telefono (415) 558-6378. Por favor tome en cuenta que le contestaremos su llamada en un periodo de 24 horas. El servicio en Español es proporcionado por el Departamento de Planeación (Planning Department) de la ciudad de San Francisco. Eso no garantiza ningun derecho adicional o extensión del tiempo requerido por la ley.

PROJECT DATA

ALL WORK/PERMITS SHALL BE ACCORDING TO THE MOST CURRENT CODES, THE 2010 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS, ELECTRICAL CODE, PLUMBING CODE AND MECHANICAL CODE.
 PROJECT ADDRESS: 321 SAN JOSE AVE, SAN FRANCISCO CA 94110
 ZONING: RNS
 BLOCK/LOT: NR-6831/108
 OCCUPANCY TYPE: RS SINGLE FAMILY
 BUILDING TYPE: V4
 EXISTING SQ. FT.: 1,789 SQ. FT. GROSS LIVING
 NEW SQ. FT.: 283 SQ. FT. GROSS LIVING 241 SQ. FT. GROSS GARAGE
 DESCRIPTION OF PROJECT:
 DEMOLITION OF EXISTING 2 STORY GARAGE ENCLOSED REAR 2 STORY GARAGE, COARSED CARPORT AND COARSED REAR STAIR. RE-BUILD AND RECONSTRUCT REAR 2 STORY CARPORT AND ADD 3RD STORY ATTOR. RE-BUILD AND BUILD AN ENCLOSED GARAGE AND REAR STAIR REMOVE EXISTING KITCHEN, ADD A MASTER BATH.

OWNER CONTACT:
 NOEL AND TIM DONOVAN
 321 SAN JOSE AVE
 SAN FRANCISCO CA 94110
 415-811-5177

ARCHITECT:
 ANDREW MORRALL
 2730 MISSION STREET
 SAN FRANCISCO CA 94110
 415-282-0816

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- A-4.1 EXISTING PLANS
- A-4.2 EXISTING EXTERIOR ELEVATIONS
- A-4.3 EXISTING EXTERIOR ELEVATIONS

ANDREW MORRALL ARCHITECT
 www.andrewmorrallarchitect.com

2730 MISSION STREET
 SAN FRANCISCO CA 94110
 PHONE: 415-282-0816

IMPROVEMENTS FOR THE RESIDENCE OF:

NOEL AND TIM DONOVAN
 321 SAN JOSE AVE.
 SAN FRANCISCO, CA. 94110

SHEET TITLE:

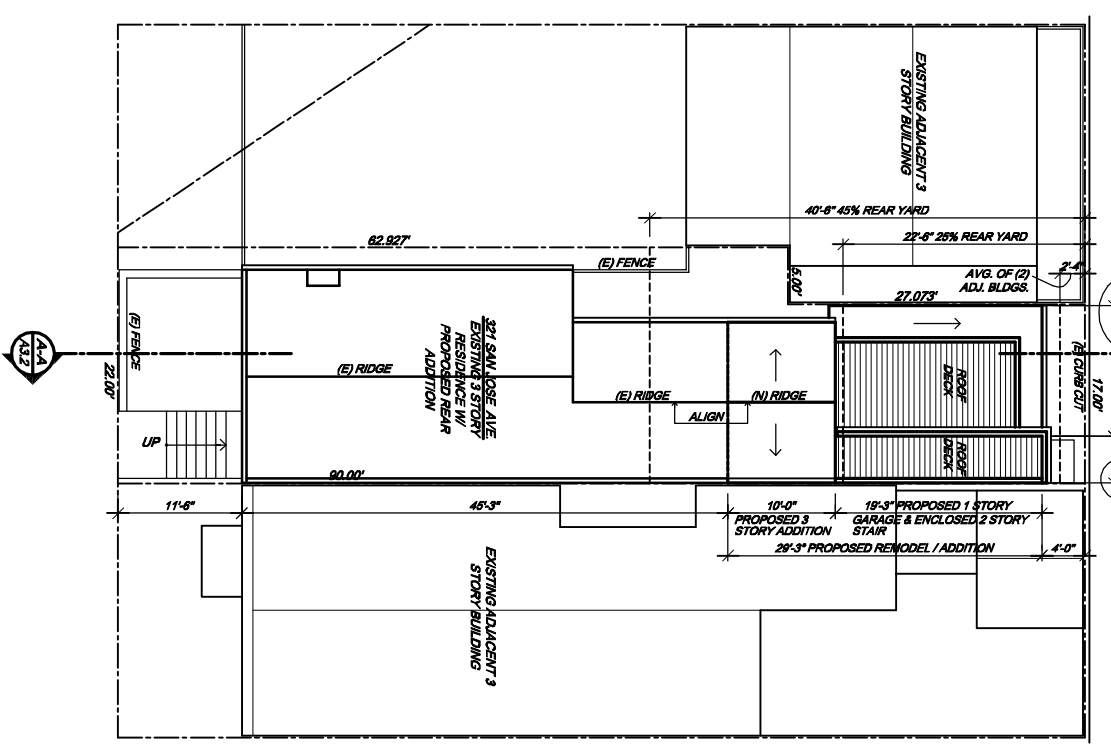
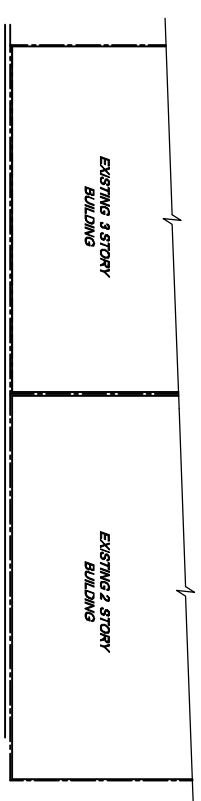
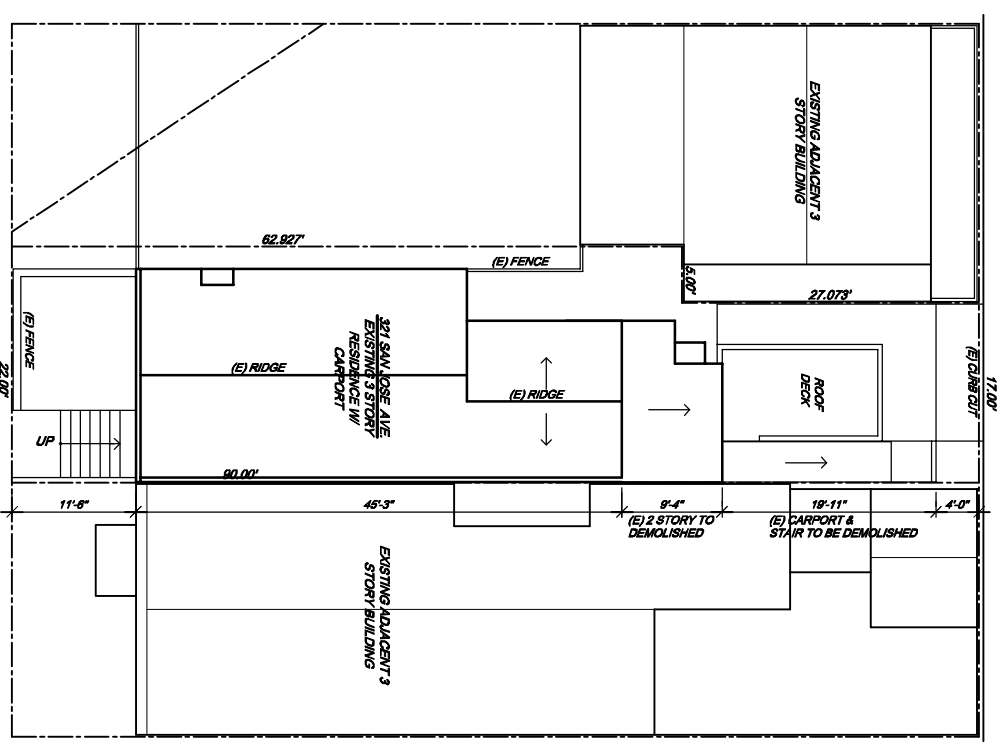
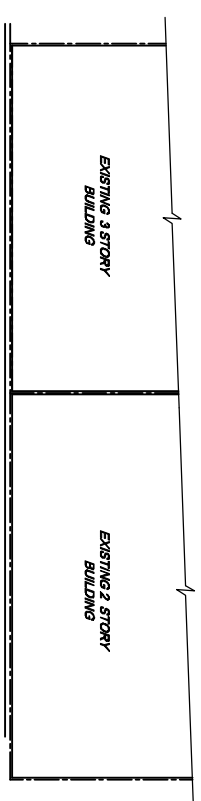
COVER SHEET, SITE PLAN

DATE: ISSUANCE:

08.01.11 VARIANCE AND 311 SUBMITTAL

SHEET NUMBER:

A-1.1



EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"

PROJECT NORTH

PROPOSED REVISED SITE PLAN

SCALE: 1/8" = 1'-0"

PROJECT NORTH

IMPROVEMENTS FOR THE RESIDENCE OF:
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 SAN FRANCISCO, CA. 94110

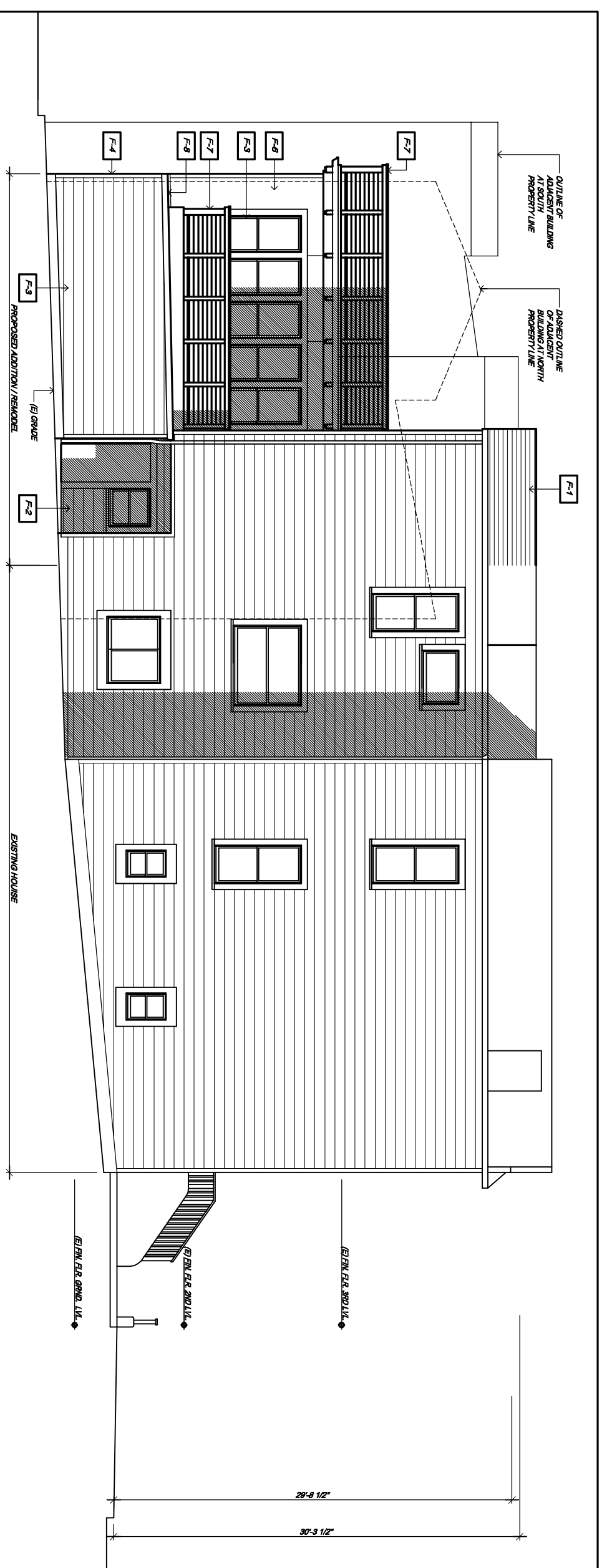
SHEET TITLE:

**REVISED EXTERIOR
 ELEVATIONS**

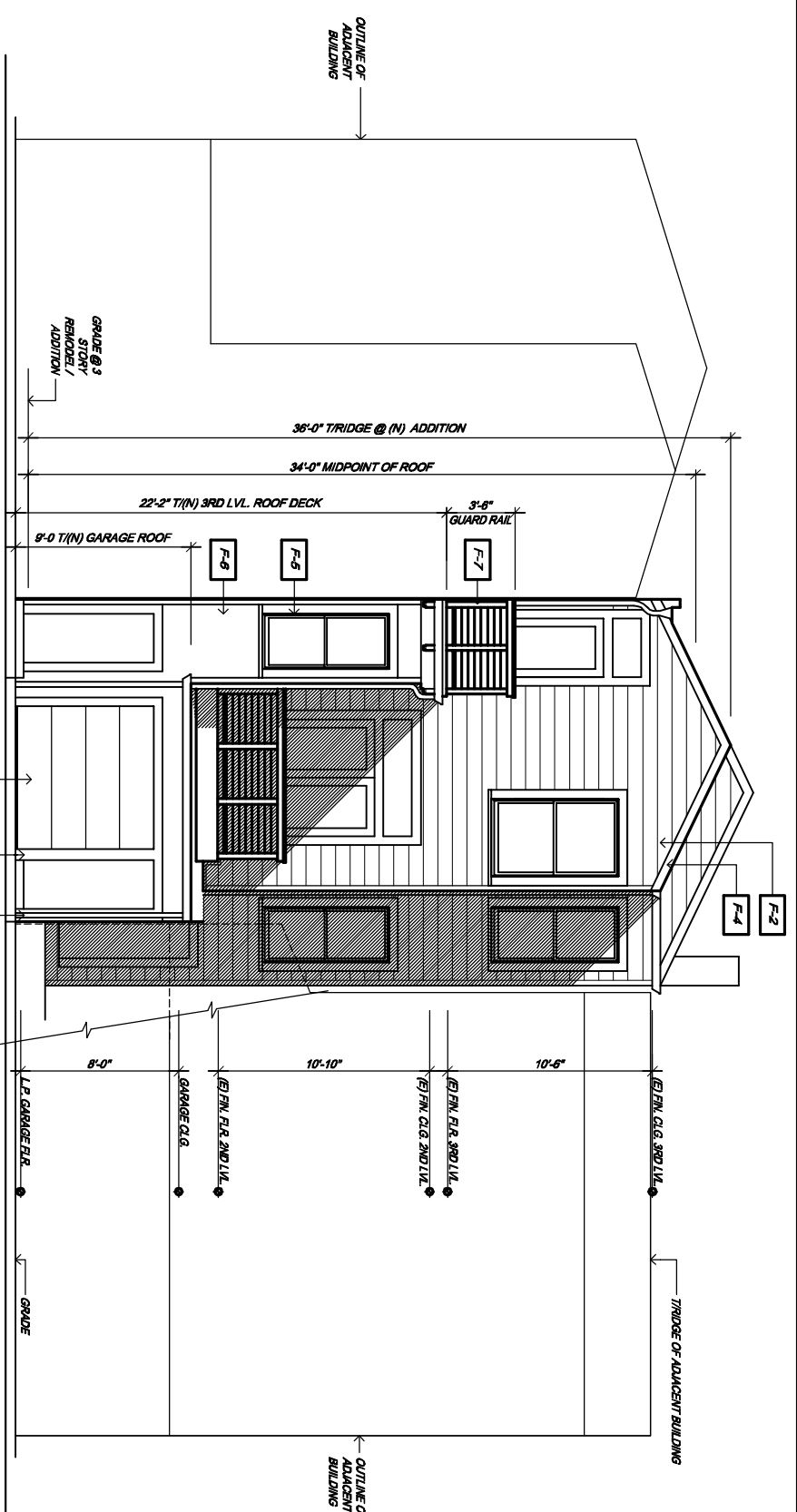
DATE: 08.26.11 ISSUANCE: CLIENT REVIEW
 08.01.11 VARIANCE AND 311 SUBMITTAL

SHEET NUMBER:

A-3.1



PROPOSED REVISED LEFT SIDE ELEVATION (LOOKING SOUTH)



PROPOSED REVISED REAR ELEVATION (LOOKING WEST FROM POPLAR STREET)

EXTERIOR FINISH SCHEDULE

- F-1 40 YR. ASPHALT/TAR SHINGLES TO MATCH (E)
- F-2 PTD. HD. DUTCH LAP SIDING TO MATCH (E)
- F-3 PTD. 1 1/2\"/>
- F-4 PTD. HD. TRIM TO MATCH (E)
- F-5 HD. CLAD WINDOWS AND French DOORS TO MATCH (E)
- F-6 PTD. HARD PANE (OR EQUAL) SMOOTH PANE'S W/ VERTICAL Z FLASHING
- F-7 SUSTAINED / HARVESTED REDWOOD DECK AND GUARDRAIL W/ HORIZONTAL CALF TRIBE MEMBRANE W/ PTD. B.S.M. FLASHING
- F-8 COLOR COORDINATED EXPOSED WATER PROOF
- F-9 B.S.M. GUTTER & DOWNSPOUTS
- F-10 PTD. SMOOTH PANE SECTIONAL GARAGE DOOR

IMPROVEMENTS FOR THE RESIDENCE OF:
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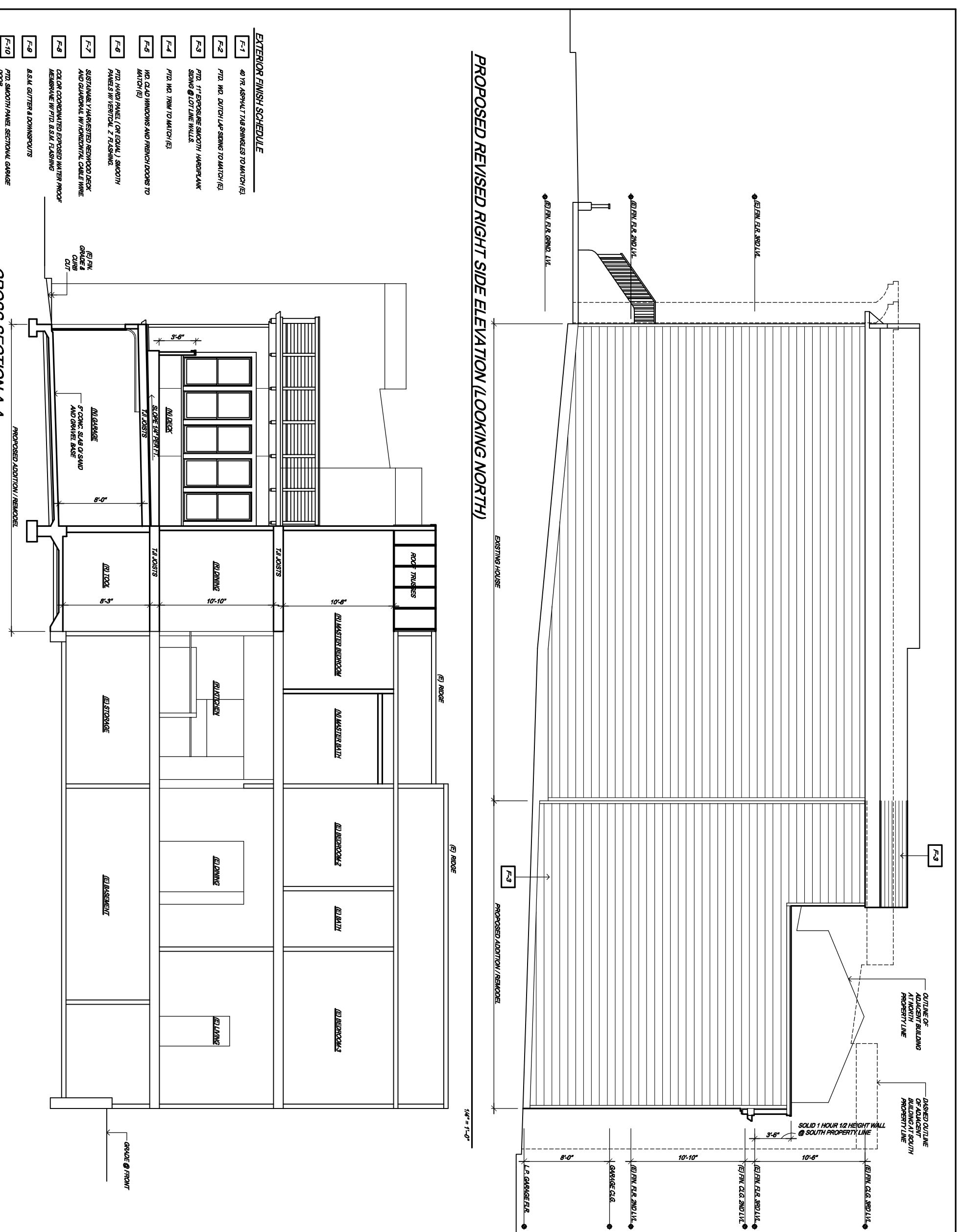
SHEET TITLE:

REVISED EXTERIOR ELEVATIONS CROSS SECTION

DATE: 08.26.11 ISSUANCE: CLIENT REVIEW
 08.01.11 VARIANCE AND 311 SUBMITTAL

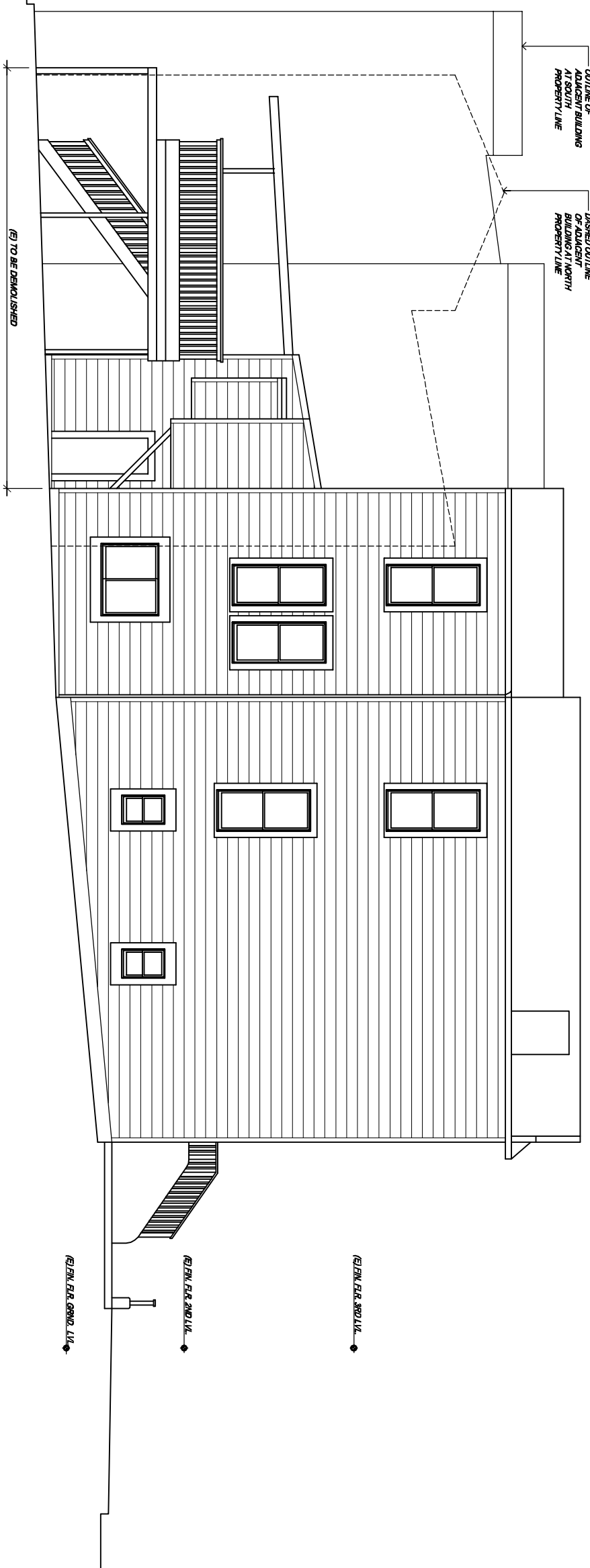
SHEET NUMBER:

A-3.2



OUTLINE OF
EXISTING BUILDING
AT SOUTH
PROPERTY LINE

DASHED OUTLINE
OF EXISTING
BUILDING AT NORTH
PROPERTY LINE

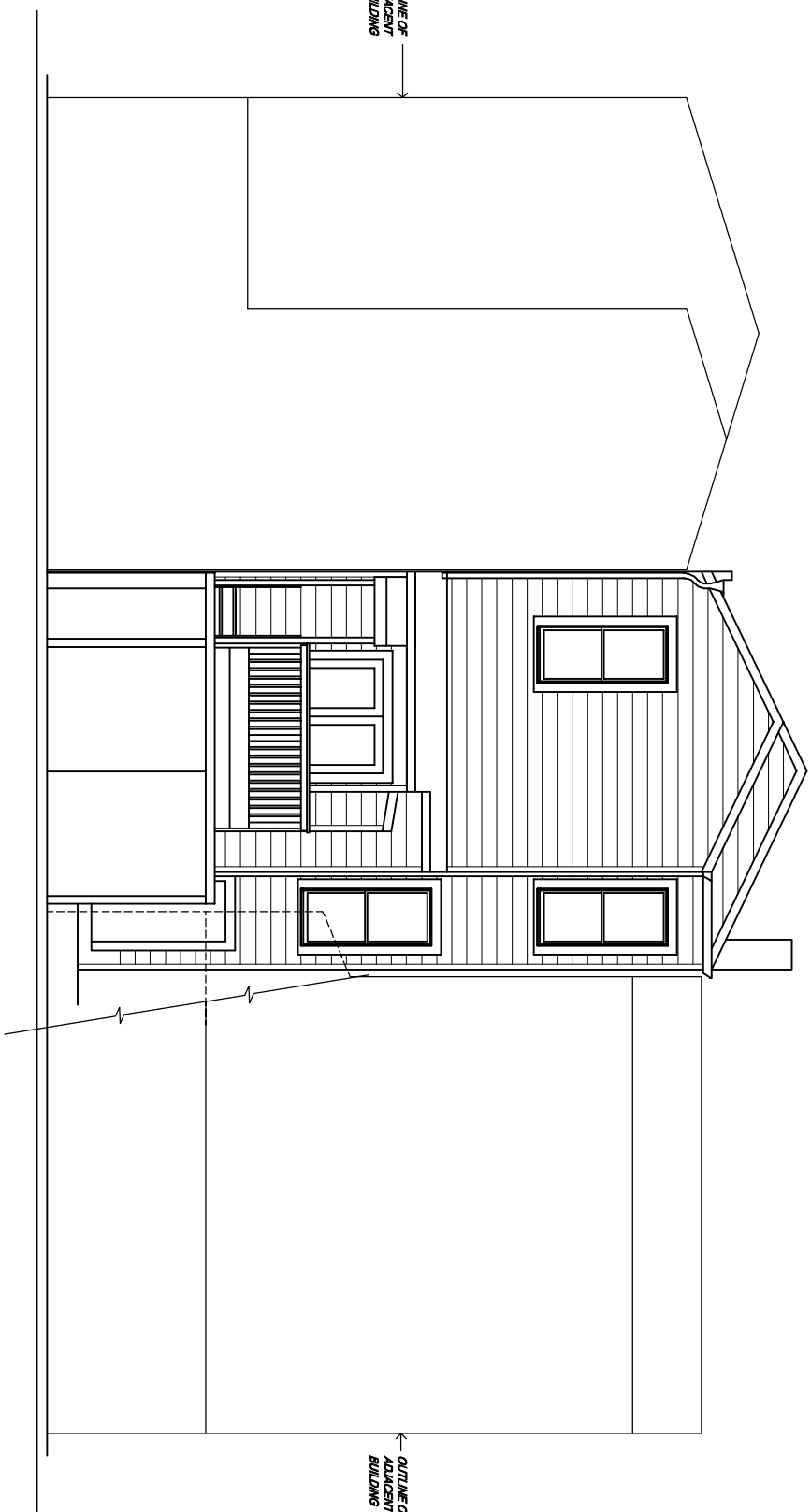


EXISTING LEFT SIDE ELEVATION (LOOKING SOUTH)

1/4" = 1'-0"

OUTLINE OF
EXISTING
BUILDING

OUTLINE OF
EXISTING
BUILDING



EXISTING REAR ELEVATION (LOOKING WEST FROM POPLAR STREET)

1/4" = 1'-0"

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SHEET TITLE:
EXISTING EXTERIOR
ELEVATIONS

DATE: ISSUANCE:
08.01.11 VARIANCE AND 311 SUBMITTAL

SHEET NUMBER:

A-4.2