



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 25, 2012**
 Time: **Beginning at 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1712 Castro Street	Case No.: 2011.1201V
Cross Street(s): Cesar Chavez & 26th Avenue	Building Permit: 2011.11.17.9098
Block /Lot No.: 6562/003	Applicant/Agent: Andy Rogers
Zoning District(s): RH-2/40-X	Telephone: (415) 309-9612
Area Plan: N/A	E-Mail: rogersarchitecture.com

PROJECT DESCRIPTION

The proposed work to the existing two-story plus attic, single-family dwelling is to enlarge the two-story rear porch and develop a rear portion of the attic to be a full third floor with a new gable roof higher than the existing gable roof.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard depth of approximately 30 feet. The proposed enlargement of the rear porch would encroach approximately 10 feet 6 inches into the required rear yard to within 19 feet 6 inches of the rear property line.

PER SECTION 188 OF THE PLANNING CODE, a non-complying structure can be altered, provided that there is no new or increased discrepancy at any level between existing conditions on the lot and the required standards of the Planning Code. Since the subject building was legally constructed with the porch encroaching into the currently required rear yard, it is considered a legal noncomplying structure. The proposed enlargement of the rear porch would result in the expansion of a noncomplying structure.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Tom Wang** Telephone: **(415) 558-6335** E-Mail: thomas.wang@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.1201V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

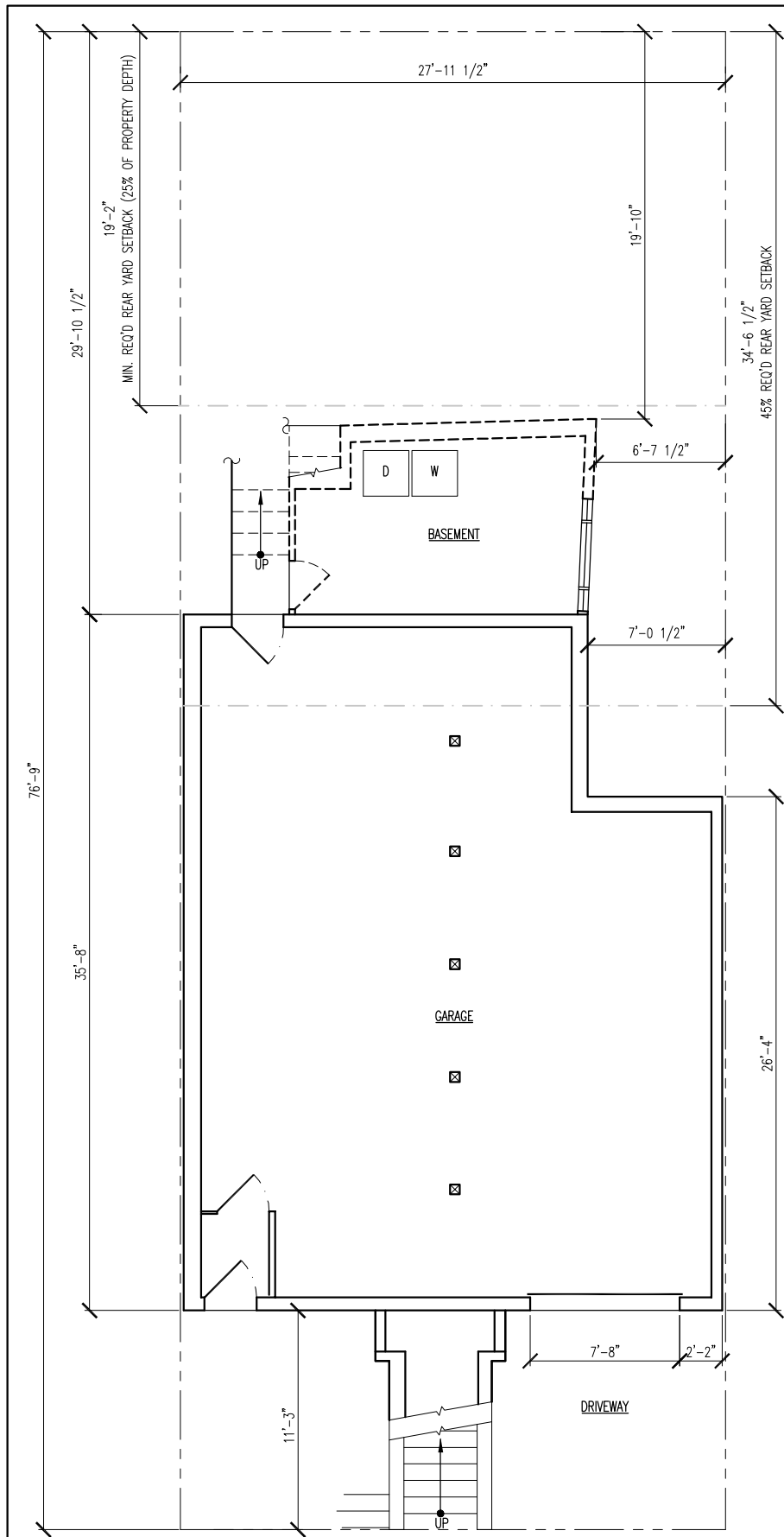
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

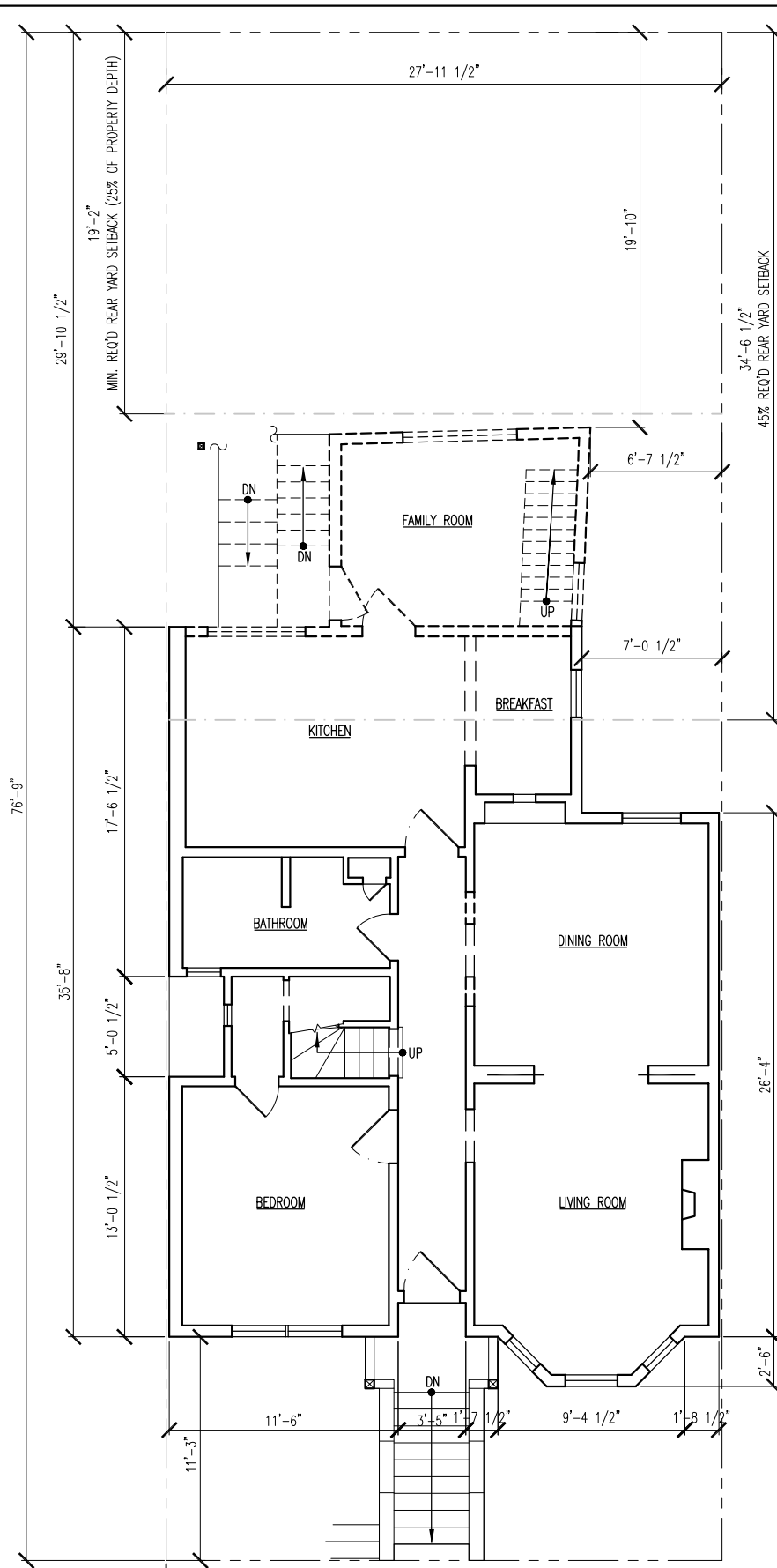
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

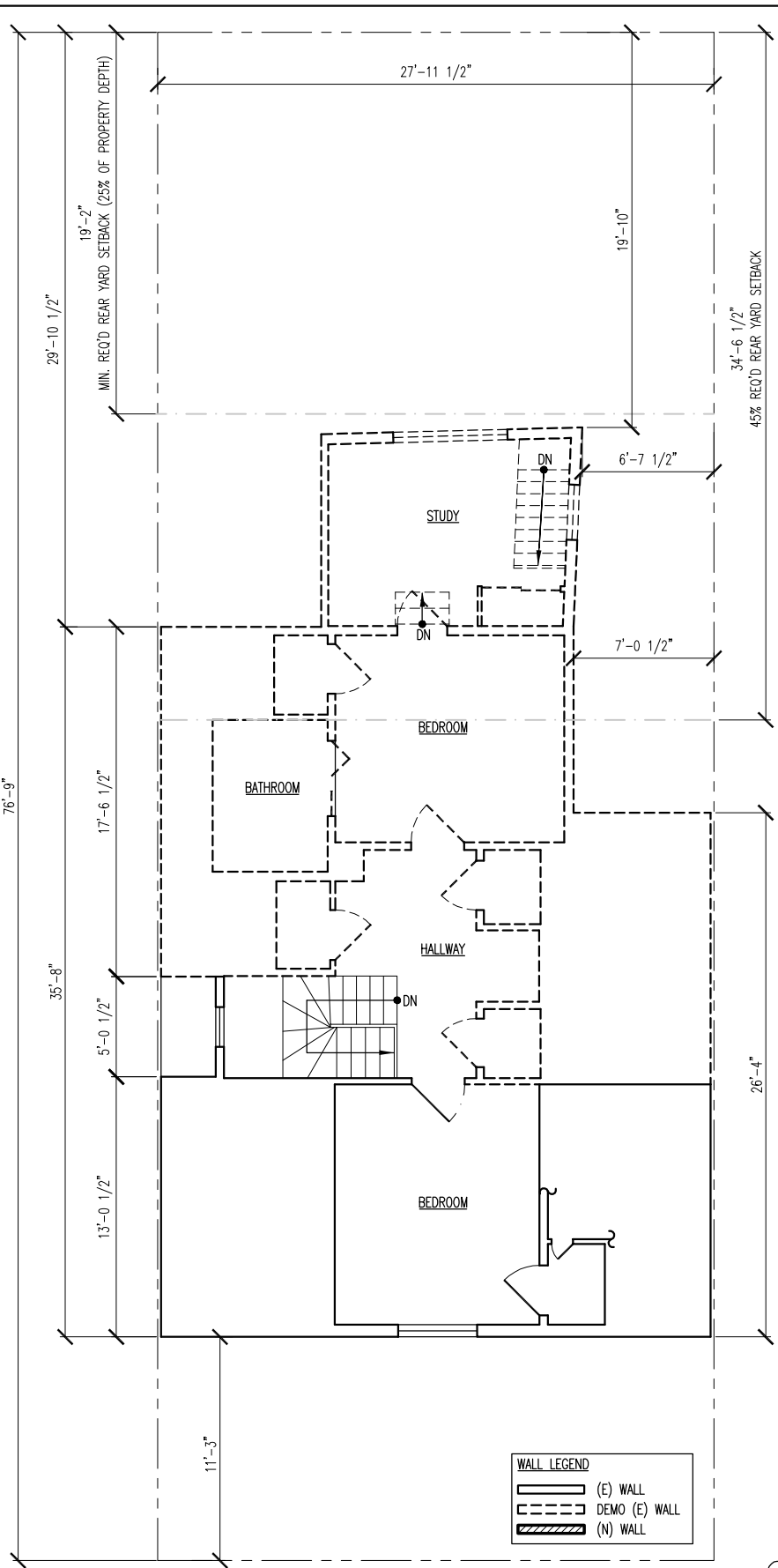


1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING 1st FLOOR PLAN 1045sf
SCALE: 1/4" = 1'-0"

GENERAL NOTE:
EXISTING DIMENSIONS ARE
V.I.F., TYP.



3 EXISTING 2nd FLOOR PLAN 664sf
SCALE: 1/4" = 1'-0"

WALL LEGEND

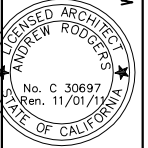
	(E) WALL
	DEMO (E) WALL
	(N) WALL

ENTIRE SHEET RE-ISSUED

REVISIONS

10.20.11	VARIANCE SUBMITTAL
12.08.11	PLAN CHECK RESPONSES

andy
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ALTERATIONS TO:
1712 CASTRO STREET
SAN FRANCISCO, CALIFORNIA 94114
OWNERS: NORA SHERIFF + VIN BRASKAR

VARIANCE SUBMITTAL

EXISTING
FLOOR
PLANS

DATE DEC, 2011

SCALE 1/4"=1'-0"

DRAWN

JOB

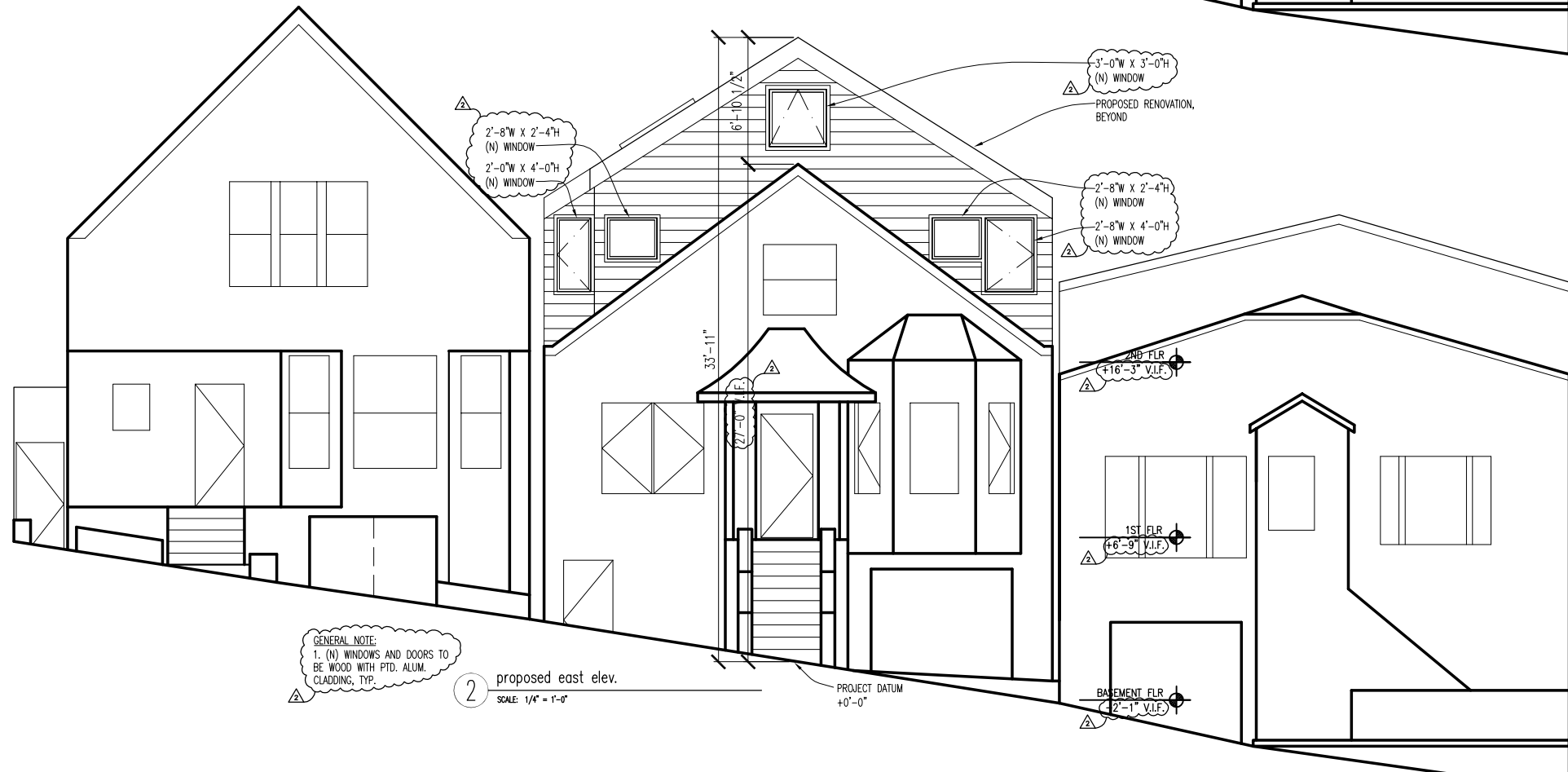
SHEET

A1

OF SHEETS



1 existing east elev.
SCALE: 1/4" = 1'-0"

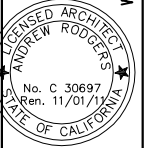


GENERAL NOTE:
1. (N) WINDOWS AND DOORS TO
BE WOOD WITH FTD. ALUM.
CLADDINGS, TYP.

2 proposed east elev.
SCALE: 1/4" = 1'-0"

REVISIONS	
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VARIANCE SUBMITTAL

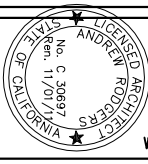
EAST
ELEVATIONS

DATE DEC, 2011
SCALE 1/4"=1'-0"
DRAWN
JOB
SHEET

A3.1
OF SHEETS

REVISIONS	DATE	BY	REASON
10.20.11			ISSUE FOR PERMITS
12.08.11			PLAN CHECK RESPONSES

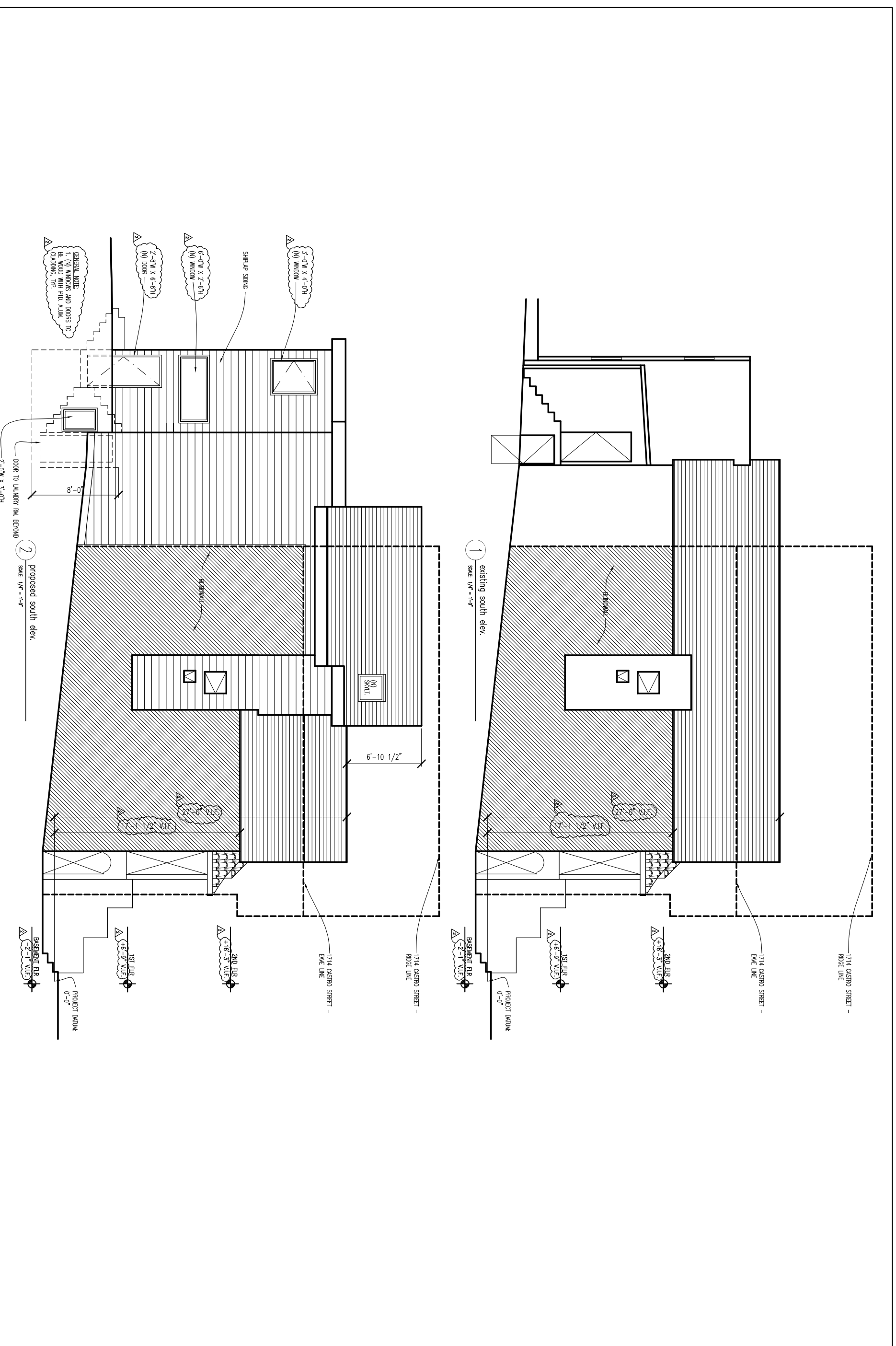
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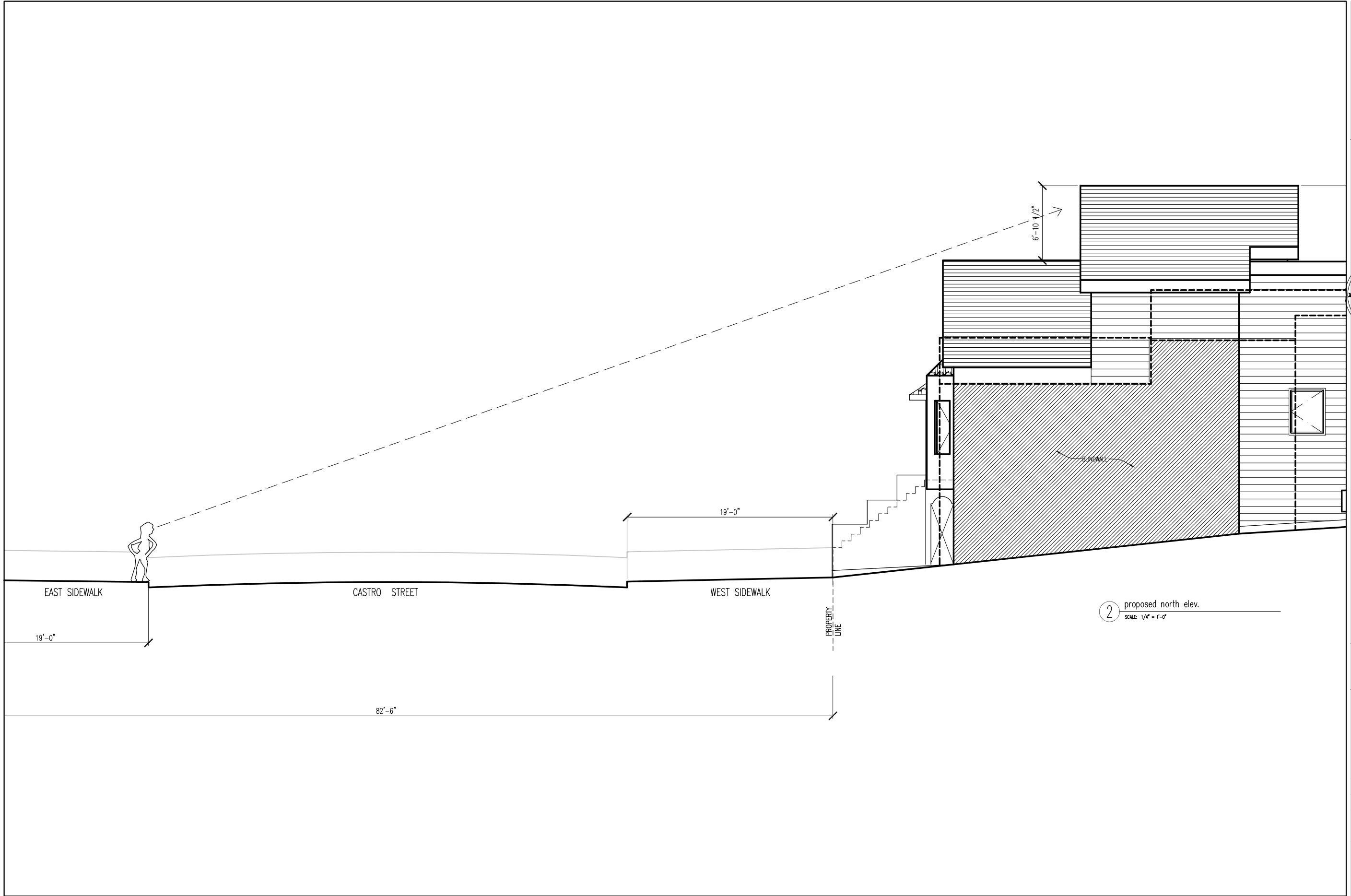


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WORKS SUBMITTAL
SOUTH
ELEVATIONS

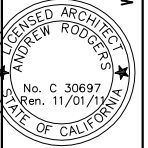
DATE: JAN 1 2012
SCALE: 1/4" = 1'-0"
JOB: SHEET
A3.2
OF SHEETS





REVISIONS	
10.20.11	VARIANCE SUBMITTAL
12.08.11	PLAN CHECK RESPONSES

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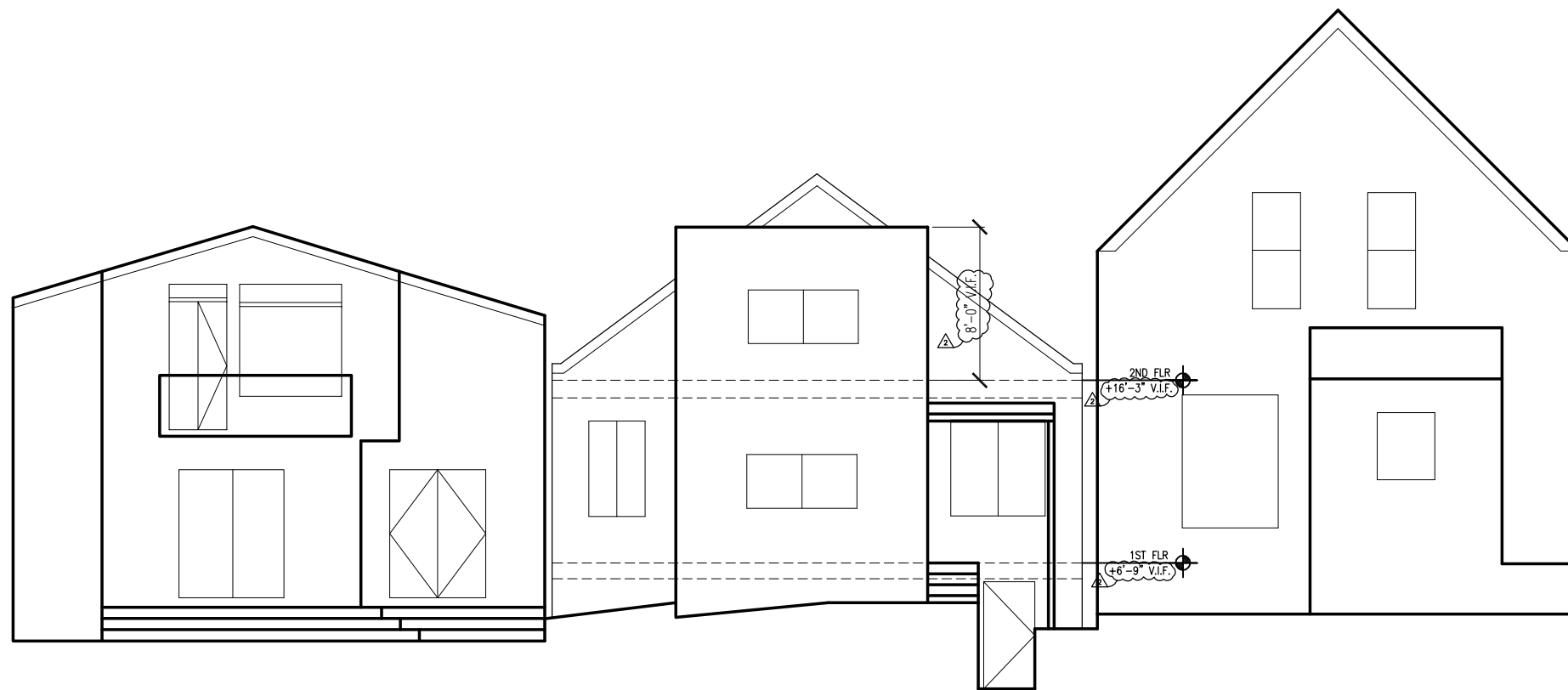
ALTERATIONS TO:
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OWNERS: NORA SHERIFF + VIN BHASKAR

VARIANCE SUBMITTAL

NORTH
ELEVATION
W/ STREET

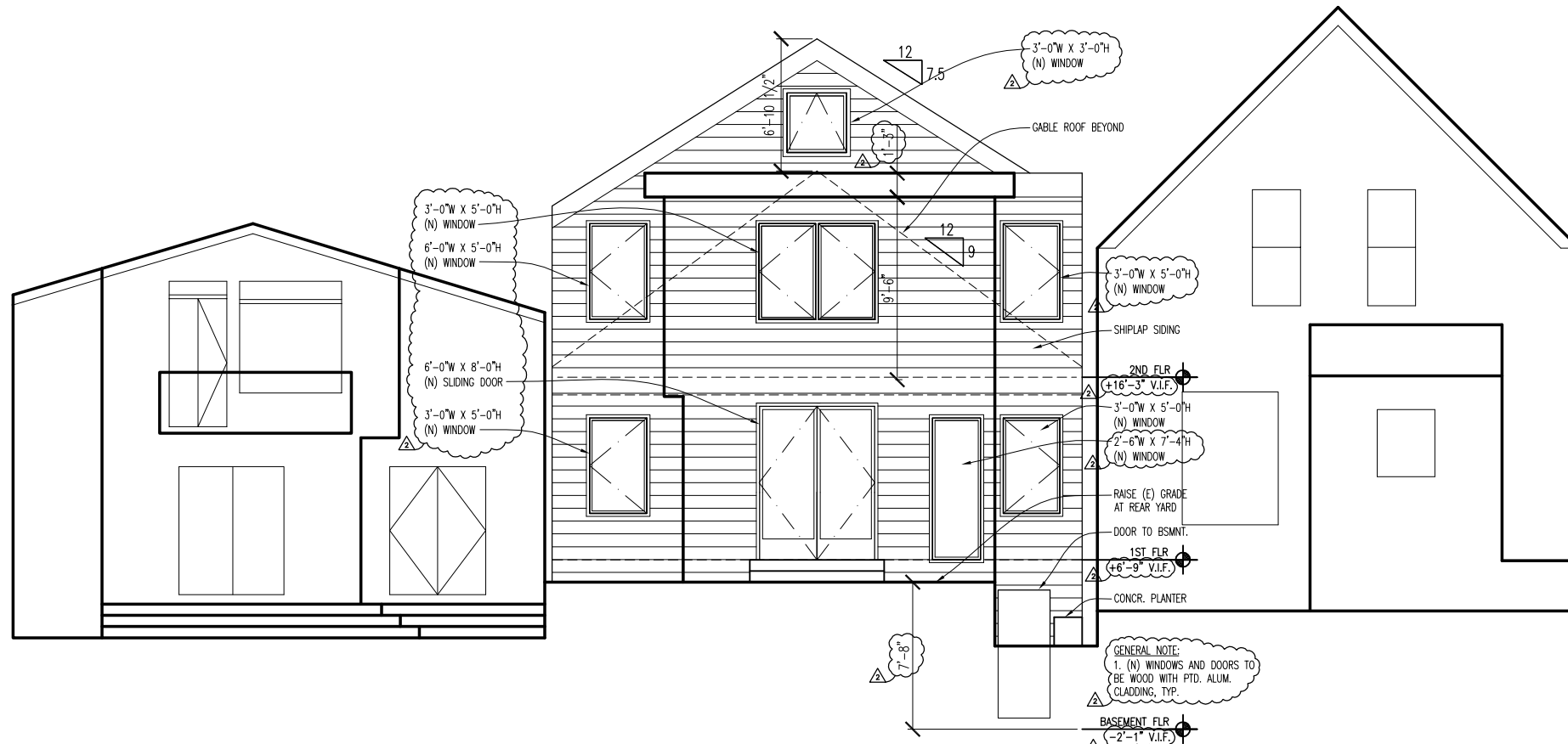
DATE DEC, 2011
SCALE 1/4"=1'-0"
DRAWN
JOB
SHEET

A3.22
OF SHEETS



1 existing west elev.
SCALE: 1/4" = 1'-0"

BASEMENT FLR
(-2'-1" V.I.F.)

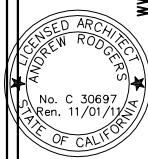


2 proposed west elev.
SCALE: 1/4" = 1'-0"

REVISIONS	
10.20.11	VARIANCE SUBMITTAL
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VARIANCE SUBMITTAL

WEST
ELEVATIONS

DATE DEC, 2011

SCALE 1/4"=1'-0"

DRAWN

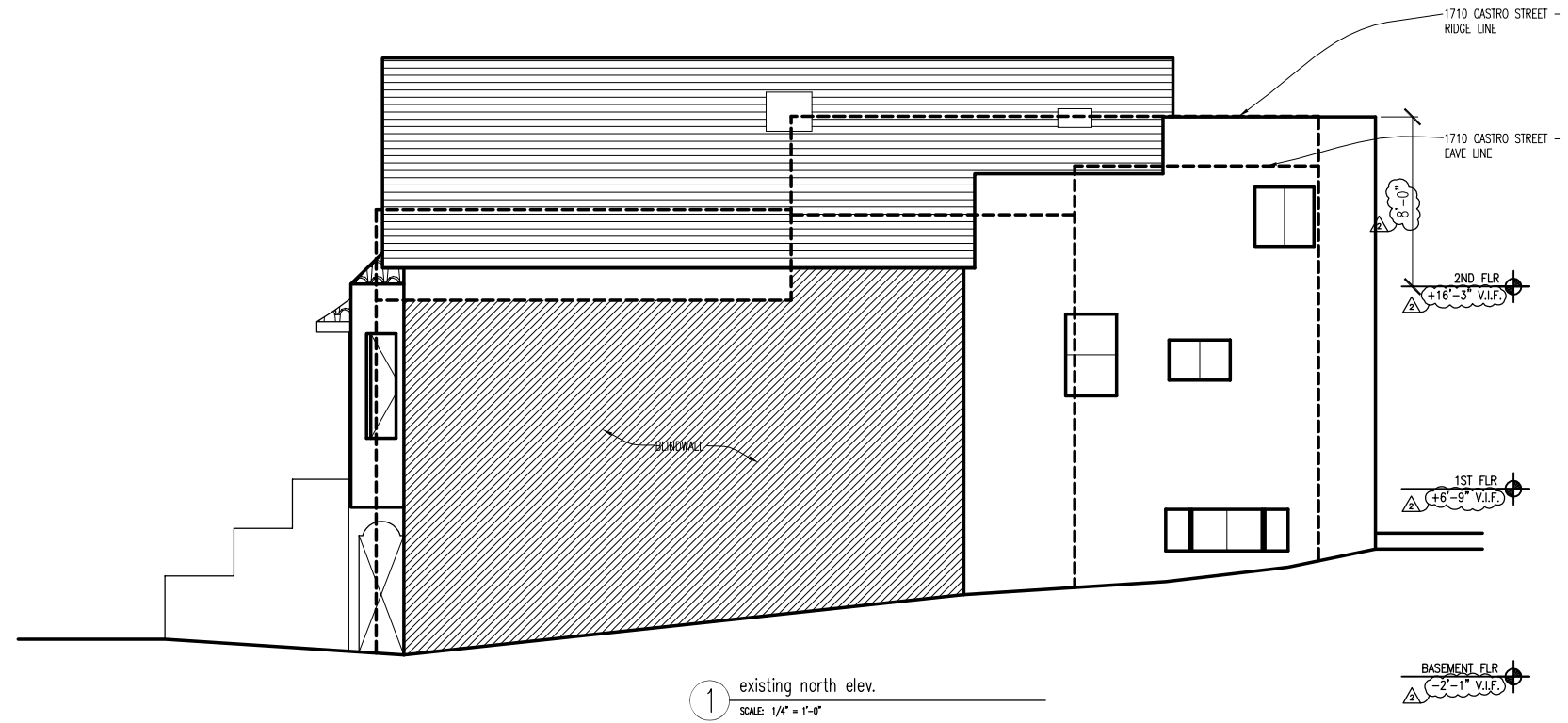
JOB

SHEET

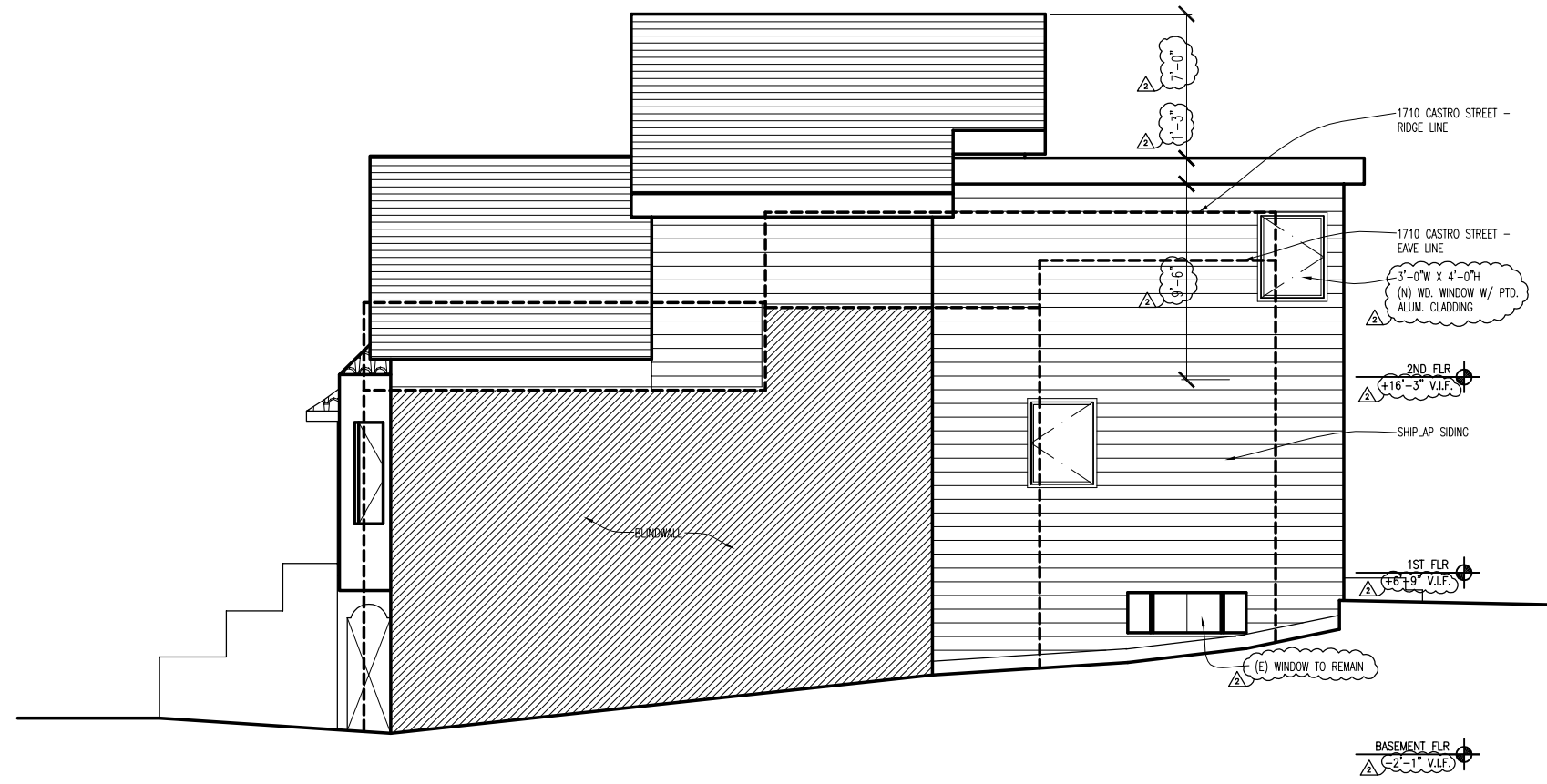
A3.3

OF SHEETS

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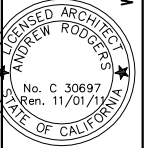
1 existing north elev.
SCALE: 1/4" = 1'-0"



2 proposed north elev.
SCALE: 1/4" = 1'-0"

REVISIONS	
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12.08.11	PLAN CHECK RESPONSES

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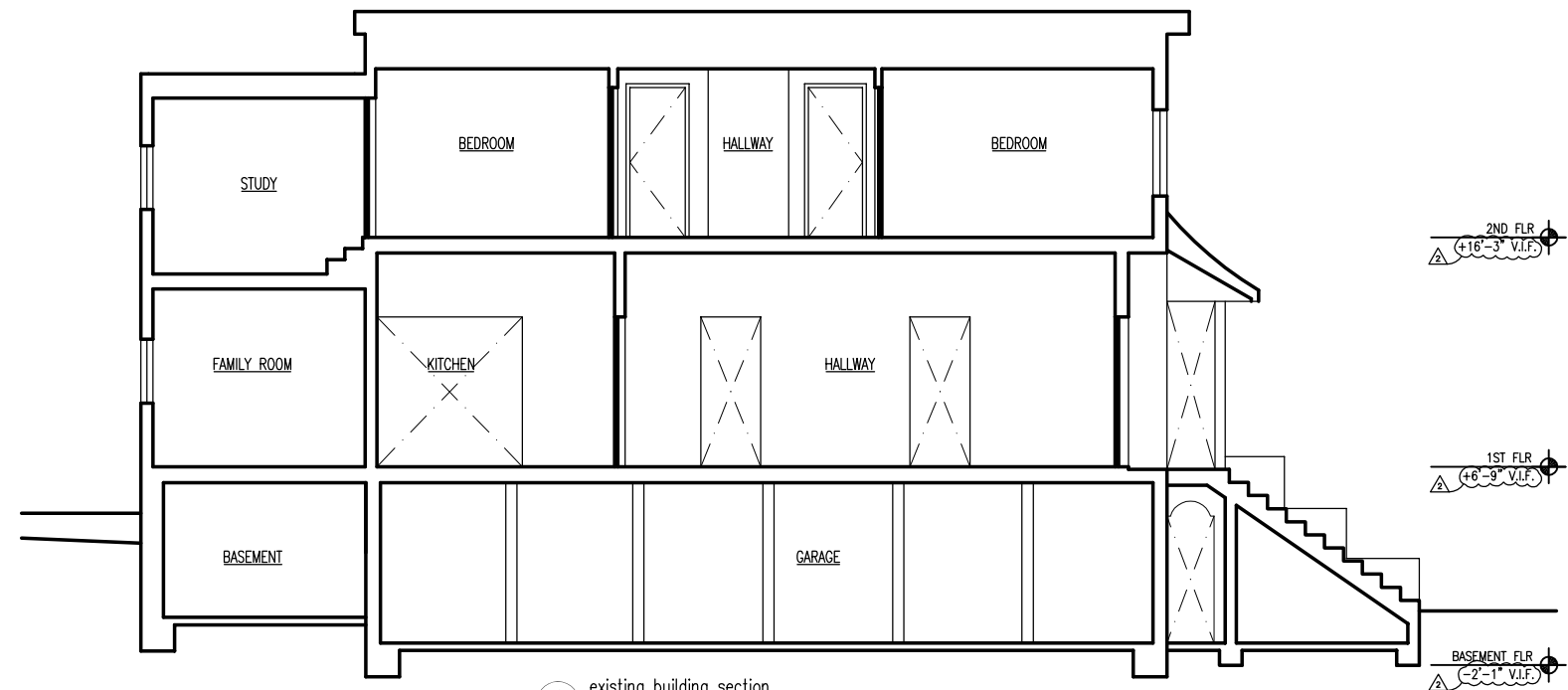
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VARIANCE SUBMITTAL

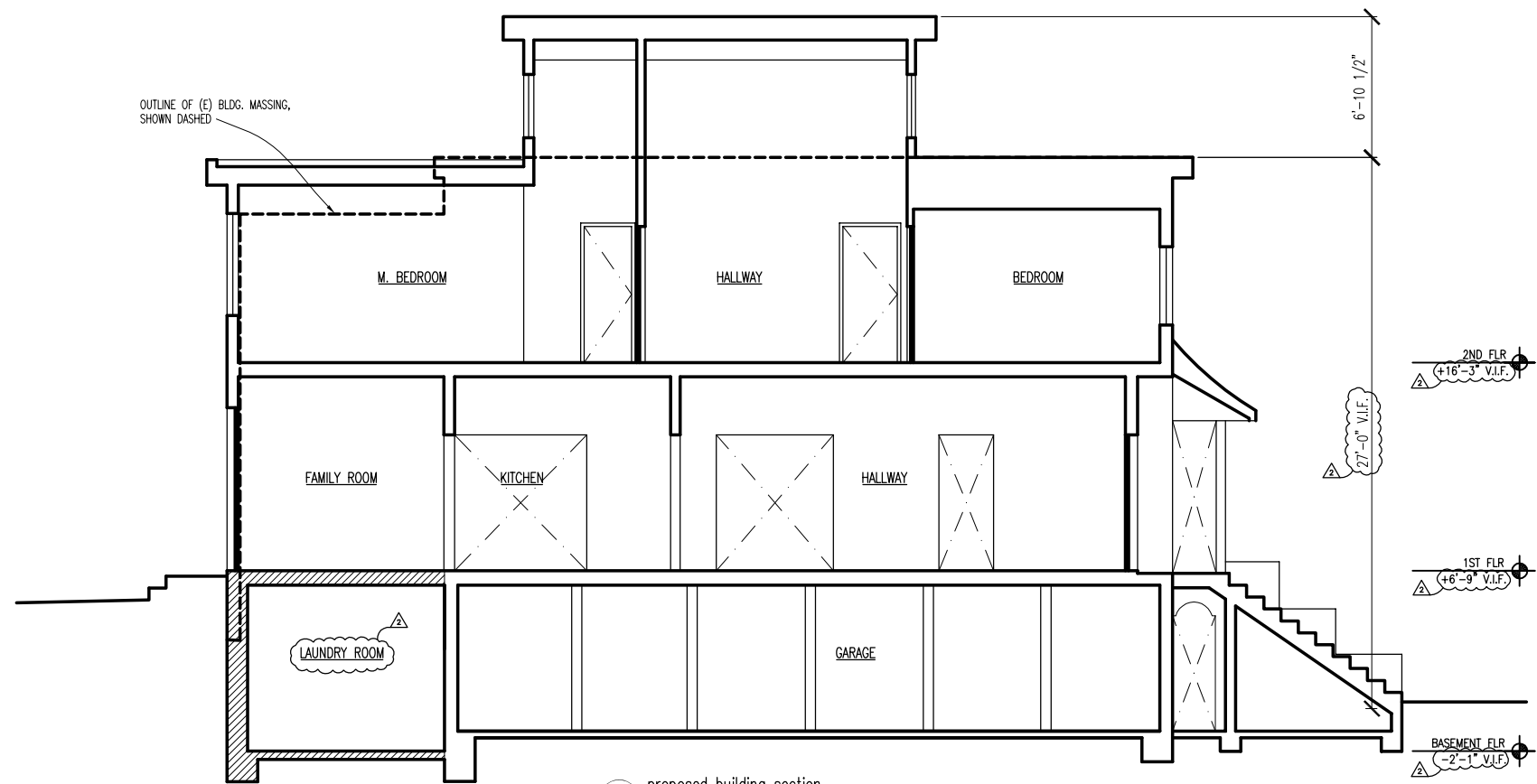
NORTH
ELEVATIONS

DATE DEC, 2011
SCALE 1/4"=1'-0"
DRAWN
JOB
SHEET

A3.4
OF SHEETS



1 existing building section
SCALE: 1/4" = 1'-0"

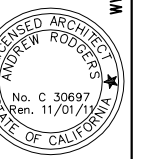


2 proposed building section
SCALE: 1/4" = 1'-0"

REVISIONS	
10.20.11	VARIANCE SUBMITTAL
12.08.11	PLAN CHECK RESPONSES

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ALTERATIONS TO:
1712 CASTRO STREET
SAN FRANCISCO, CALIFORNIA 94114

VARIANCE SUBMITTAL

BLDG.
SECTIONS

DATE DEC, 2011

SCALE 1/4"=1'-0"

DRAWN

JOB

SHEET

A4

OF SHEETS

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