



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 28, 2012**
 Time: **Beginning at 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Front Yard Setback & Non-Complying Structure)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 305 Filbert Street	Case No.: 2011.1390V
Cross Street(s): Kearny & Montgomery	Building Permit: 2011.08.16.2540
Block / Lot No.: 0105 / 046	Applicant/Agent: David Thompson
Zoning District(s): RH-3 / 40-X	Telephone: (415) 550-3080
Area Plan: N/A	E-Mail: david@thompsonstudio.com

PROJECT DESCRIPTION

The proposal is to legalize reconstruction of a non-conforming second floor deck in the front yard setback of the existing 3-story single-family dwelling. The deck would be approximately 3 feet 6 inches deep by 21 feet wide and would include a railing meeting the minimum requirements of the Building Code.

PER SECTION 132 OF THE PLANNING CODE the subject property is required to maintain a front yard setback of approximately 1 foot 3 inches. The proposed reconstructed deck would encroach into the required front yard setback and project 1 foot over the front property line; therefore, the project requires a variance from the front yard setback requirement (Section 132) and permitted obstruction (Section 136) requirements of the Planning Code.

PER SECTION 188 OF THE PLANNING CODE a non-complying structure may be altered provided no new discrepancy is created. The original deck on the existing building is a non-complying structure as it was constructed within the required front yard setback. The proposed new deck would reconstruct the non-complying feature, and thus would be contrary to Section 188.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Pilar LaValley** Telephone: **(415) 575-9084** Mail: Pilar.LaValley@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.1390V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal may also be subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

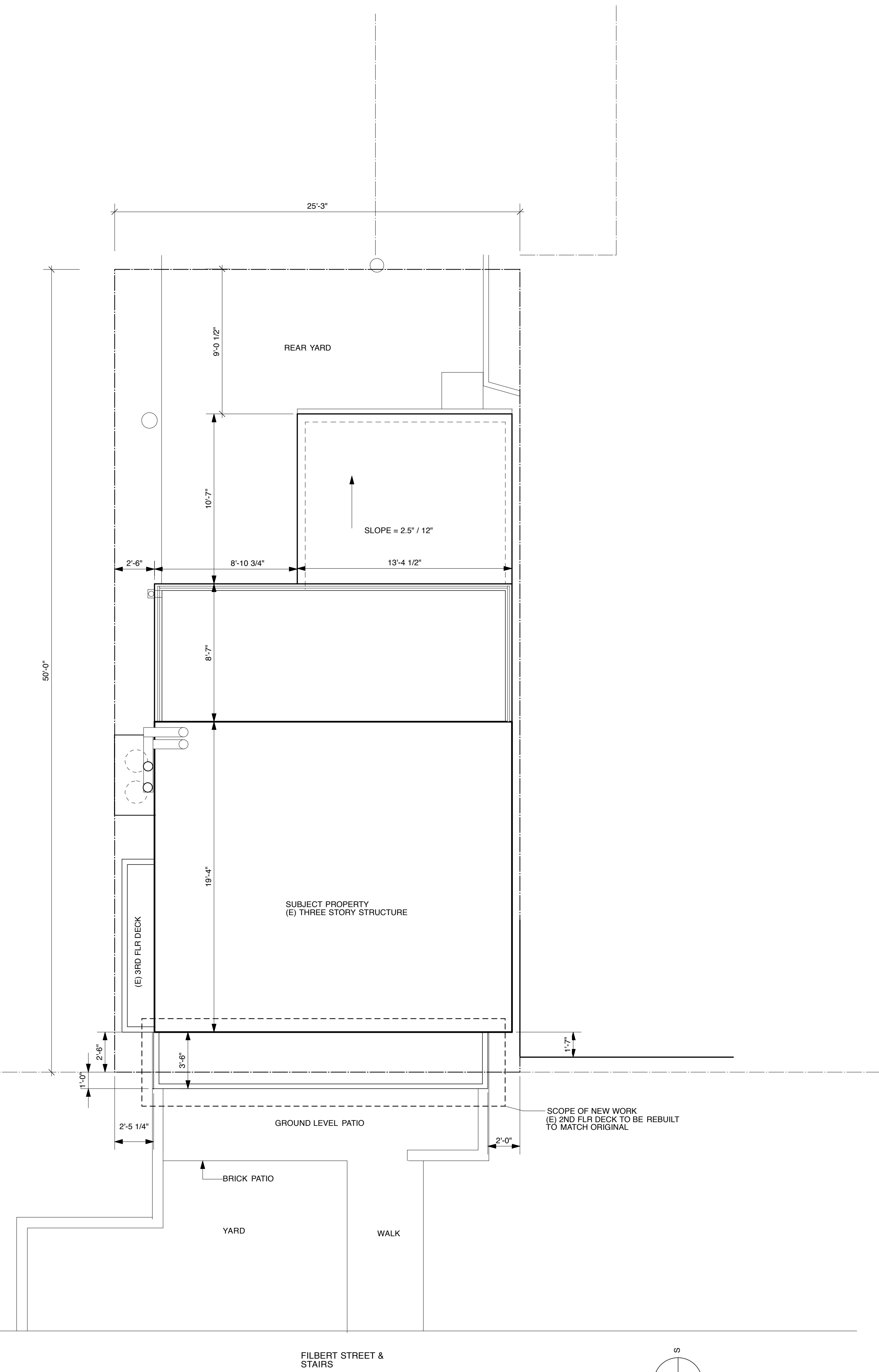
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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GENERAL NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE FOLLOWING CODES:
A) 2010 CALIFORNIA BUILDING CODE W/ SAN FRANCISCO AMENDMENTS
B) 2010 CALIFORNIA MECHANICAL, PLUMBING & ELECTRICAL CODES W/ SAN FRANCISCO AMENDMENTS.

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS. IF THESE DRAWINGS ARE NOT 24" X 36", THEY HAVE BEEN REDUCED OR ENLARGED.
- ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. AT FURRED OUT WALLS OVER CONCRETE, DIMENSION NOTE IS TO FACE OF FURRING, UNLESS OTHERWISE NOTED.
- (1") INDICATES ACTUAL SIZE. 1x INDICATES NOMINAL SIZE.
- COORDINATE ALL MECHANICAL, PLUMBING, ELECTRICAL DEVICES WITH ARCHITECTURAL INTERIOR ELEVATIONS.

STRUCTURAL NOTES

SAFETY MEASURES:
AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, PROVIDE SHORING WHERE REQ'D.

FOUNDATIONS:
EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINE REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. ALL FOUNDATIONS SHALL BE POURED IN NEAT EXCAVATIONS WITHOUT THE USE OF SIDE FORMS WHEREVER POSSIBLE. ALL EXCAVATIONS, FORMS AND REINFORCING ARE TO BE INSPECTED BY THE LOCAL BUILDING INSPECTOR PRIOR TO PLACING CONCRETE.

CONCRETE:
A. CONCRETE FOR ALL SLAB AND FOOTINGS SHALL HAVE A MIN. ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.

REINFORCING STEEL:
SHALL BE DEFORMED BARS OF BILLET OR AXLE STEEL, GRADE 40, PER ASTM A615-68, GRADE 60 FOR #5 BAR AND LARGER.

PLYWOOD:
A. ROOF PLYWOOD SHALL BE 1 1/8" STRUCT. 1 PLYWOOD.

LUMBER:
A. SILLS, FOUNDATION GRADE REDWOOD OR TREATED DOUGLAS FIR.
B. ALL EXTERIOR STRUCTURAL BEAMS, JOISTS, PLANKS, STRINGERS AND BLOCKING SHALL BE PRESSURE TREATED DOUGLAS FIR, No.2. ALL NAILING SHALL BE UNIFORM BUILDING CODE TABLE No.23-I-Q EXCEPT AS NOTED OTHERWISE.
C. ALL CONNECTIONS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE MADE WITH SIMPSON STANDARD FASTENERS. USE Z-MAX HD GALVANIZED AT EXTERIOR.

STRUCTURAL STEEL & MISC. METALS:
A. SHALL BE ASTM A36, USE AISC SPECS. ALL WELDS SHALL USE 70XX ELECTRODES. ALL BOLTS CONFORM WITH ASTM A307.
B. ALL METALS EXPOSED TO WEATHER SHALL BE HOT DIPPED GLVANIZED STAINLESS STEEL OR ALUMINUM.

INSPECTION:
WHERE REQUIRED PER BUILDING CODE SECTION 1701.

PROJECT DATA

OWNERS:
GUNTHER GOPP & CYNTHIA WILSEY
41 TELEGRAPH PLACE
SAN FRANCISCO, CA 94133

ARCHITECT:
THOMPSON STUDIO ARCHITECTS
404 ROSE AVENUE
MILL VALLEY, CA 94941
tel: 415-550-3080
email: david@thompsonstudio.com

PROJECT INFO

ZONING - RH3
OCCUPANCY R3, TYPE V-B
EXISTING USE - SINGLE FAMILY DWELLING
PROPOSED USE - SINGLE FAMILY DWELLING
EXISTING BUILDING - THREE STORIES WITH ROOF DECK, 1729 SF

SCOPE OF WORK

- REBUILD FRONT SECOND FLOOR DECK TO MATCH ORIGINAL IN SIZE SHAPE AND MATERIALS.
- ADD NEW WOOD WINDOW AT FRONT WHERE ORIGINAL WINDOW WAS INFILLED.

DRAWING INDEX

A0.1	TITLE SHEET & SITE PLAN
A2.1	FLOOR PLANS, STRUCTURAL PLANS & DETAILS
A3.1	EXIST. & PROPOSED EXTERIOR ELEVATIONS



305 FILBERT STREET REMODEL

305 FILBERT ST.
SAN FRANCISCO, CA 94133

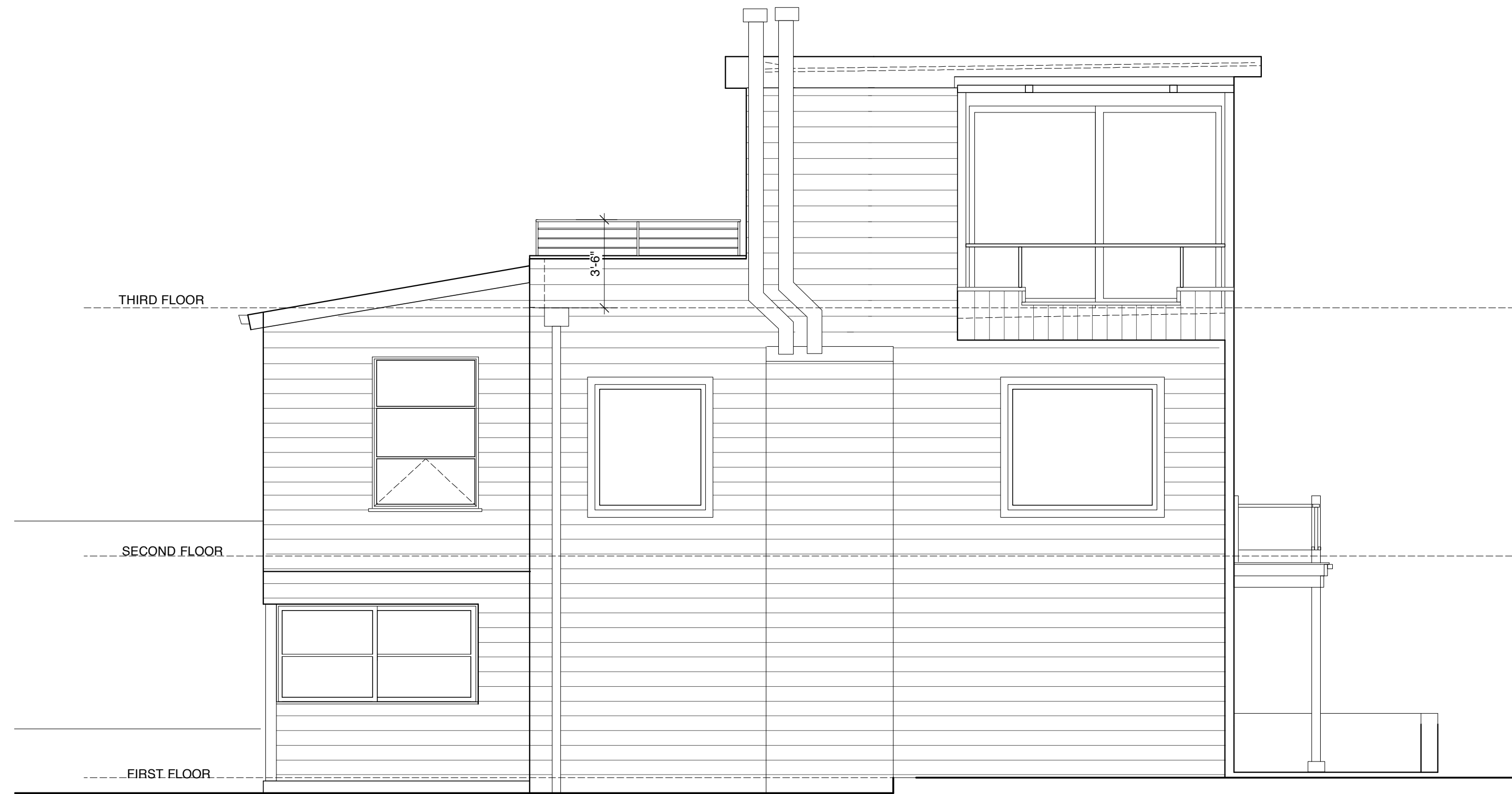
BLOCK 0105 LOT 046 JOB # 0704

PERMIT 12 AUG 11

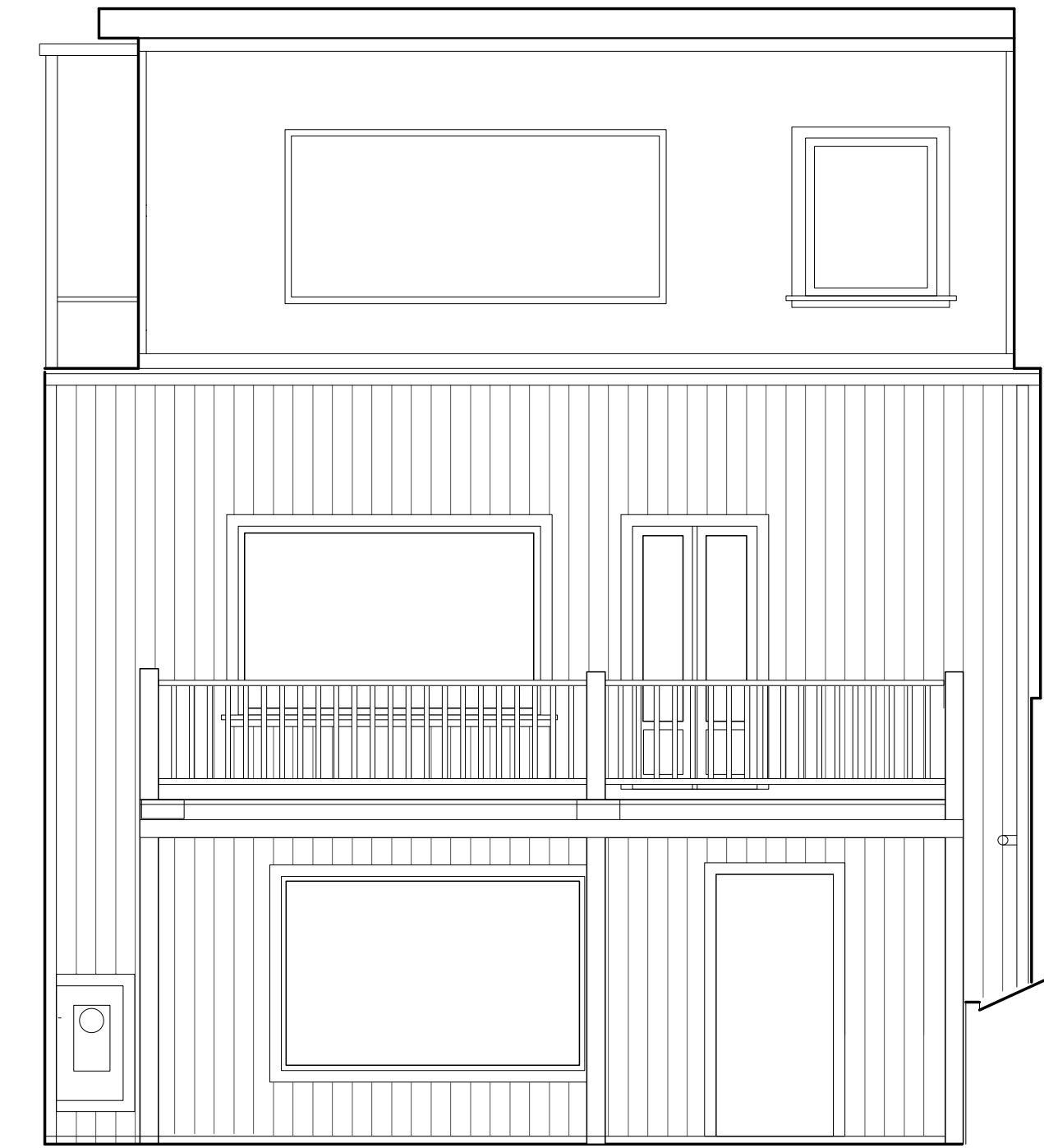
TITLE SHEET & SITE PLAN

A0.1

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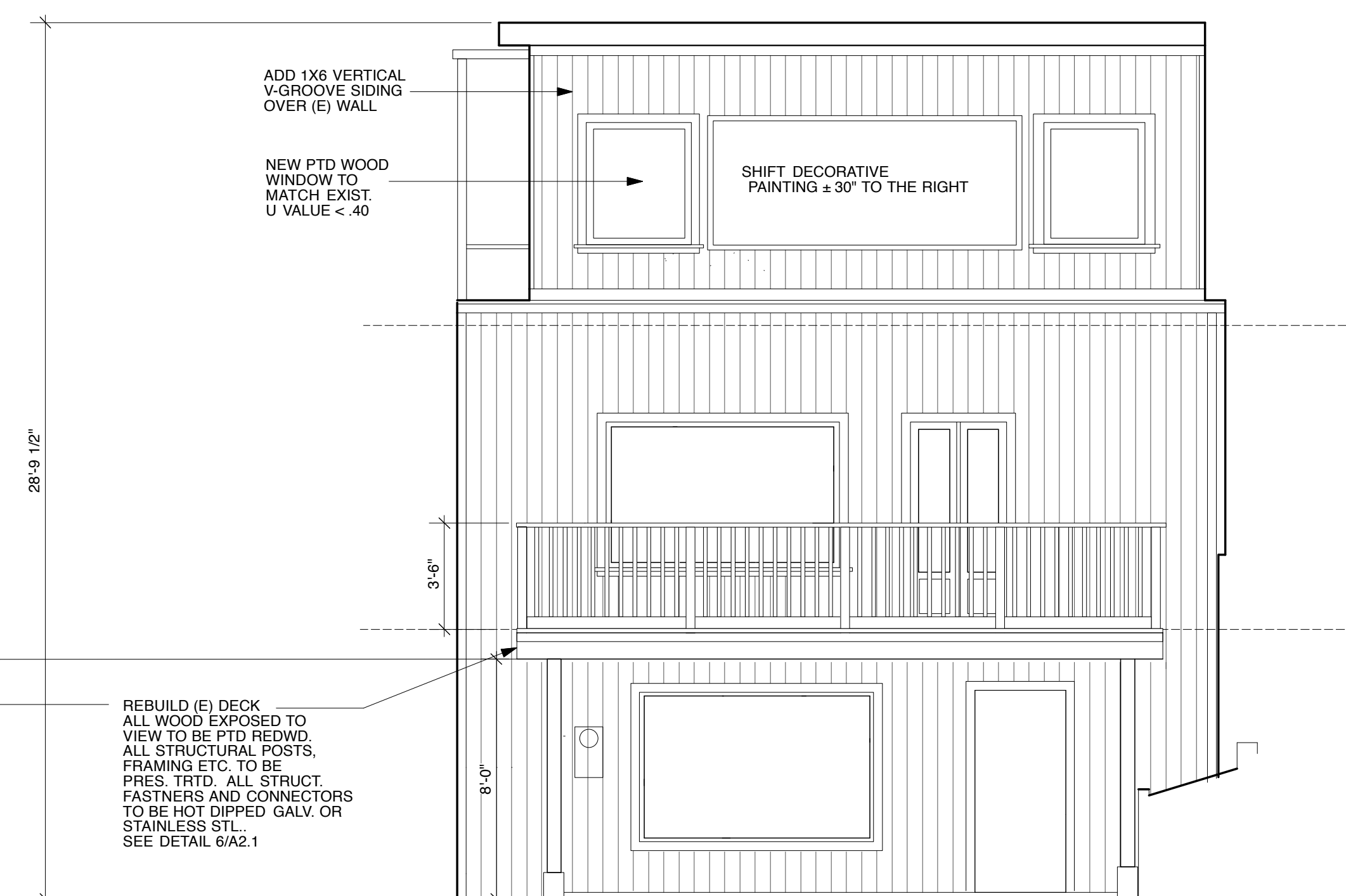
3 EXISTING EAST ELEVATION
A3.1 1/4" = 1' - 0"



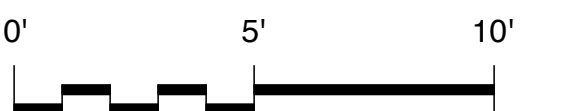
4 EXISTING FRONT ELEVATION
A3.1 1/4" = 1' - 0"



1 EAST ELEVATION
A3.1 1/4" = 1' - 0"



2 FRONT ELEVATION - PROPOSED
A3.1 1/4" = 1' - 0"



305 FILBERT STREET REMODEL

305 FILBERT ST.
SAN FRANCISCO, CA 94133

BLOCK 0105 LOT 046 JOB # 0704

PERMIT 15 AUG 11

EXIST. & PROPOSED EXTERIOR ELEVATIONS

A3.1