



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 26, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard, Open Space and Noncomplying Structure)**

Hearing Body: **Zoning Administrator**

PORPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>230 11th Street</b>	Case No.: <b>2012.0821V</b>
Cross Street(s): <b>Kissling Street</b>	Building Permit: <b>2012.06.11.2314</b>
Block / Lot No.: <b>3516/005</b>	Applicant/Agent: <b>Gregory Smith</b>
Zoning District(s): <b>SLR / 50-X</b>	Telephone: <b>415-451-1740</b>
Area Plan: <b>SOMA Area Plan</b>	E-Mail: <b>greg@gregorysmitharchitect.com</b>

### PROJECT DESCRIPTION

The proposal includes construction of a one-story vertical addition on an existing three-story-over-basement fire damaged apartment building. The proposal will increase the number of dwelling units from eleven to fifteen (two new dwelling units in the basement and two new dwelling units in the new one-story vertical addition). **PER SECTION 134 OF THE PLANNING CODE**, the subject property is required to maintain a rear yard of 22 ft 6 in. Currently, the existing apartment building encroaches into the rear yard by 13 ft 9 in. The new proposal would construct a one-story vertical addition, at the same depth as the existing building, within a portion of the required rear yard; therefore, a rear yard variance is required. **PER SECTION 135 OF THE PLANNING CODE**, the subject property is required to provide approximately 532 sq ft of common usable open space for the four new dwelling units. All common usable open space is required to provide at least 15 ft in every horizontal dimension. This new common usable open space would be provided on the fourth floor via a roof terrace measuring 11 ft by 26 ft. Since the proposal does not provide usable open space that measures 15 ft in every horizontal dimension, an open space variance is required. **PER SECTION 188 OF THE PLANNING CODE**, noncomplying structures are not permitted to be reconstructed. The existing building is considered a legal noncomplying structure because a portion of the building encroaches into the required rear yard. The proposal would construct a vertical addition on a noncomplying structure; therefore, a variance is required.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Richard Sucre**

Telephone: **415-575-9108** Mail: [Richard.Sucre@sfgov.org](mailto:Richard.Sucre@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0821V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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6	AND	H.B.	HOSE BOND
A	AT	HDR.	HEADER
A&B	ABOVE AND BELOW	HGR.	HANGER
A.B.	ANCHOR BOLT	HORIZ.	HORIZONTAL (LY)
ABV.	ABOVE	HR.	HOOR
AC.	ASPHALTIC CONCRETE	HT.	HEIGHT
A.D.	AREA DRAIN		
ADDL.	ADDITIONAL	I.D.	INSIDE DIAMETER
ADJ.	ADJACENT	I.F.	INSIDE FACE
A.F.F.	ABOVE FINISH FLOOR	INFO.	INFORMATION
ALT.	ALTERNATE	INSUL.	INSULATION
ALUM.	ALUMINUM	INT.	INTERIOR
ALMA	AMERICAN PLYWOOD ASSOCIATION		
APPROX.	APPROXIMATE (LY)	JAN.	JANITOR
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	JST.	JOIST
		JT.	JOINT
BD.	BOARD	L.B.	LAG BOLT
BLDG.	BUILDING	LBS.	POUNDS
BLK.	BLOCK (ING)	#	POUND
BLT.	BOLT	L.L.	LIVE LOAD
BLW.	BELOW	LOC.	LOCATION
BM.	BEAM	LT.	LIGHT
BOT.	BOTTOM.	LSL	LAMINATED STRAND LUMBER (TIMBERSTRAND)
BRG.	BEARING	LVL	LAMINATED VENEER LUMBER (MICROLAM)
B.TWN.	BETWEEN		
B.U.R.	BUILT-UP ROOF (ING)		
CAB.	CABINET	MAX.	MAXIMUM
CANT.	CANTILEVER	M.B.	MACHINE BOLT
C.B.	CATCH BASIN	M.C.	MEDICINE CABINET
CBC	CALIFORNIA BUILDING CODE	MECH.	MECHANICAL
		MFR.	MANUFACTURER
		MIN.	MINIMUM
C.I.	CAST IRON	MISC.	MISCELLANEOUS
C.J.	CONTROL JOINT	MTL.	METAL
CL.	CENTER LINE		
CLG.	CEILING	(N)	NEW
CLO.	CLOSET	N	NORTH
CLR.	CLEAR	N/A	NOT APPLICABLE
C.M.U.	CONCRETE MASONRY UNIT	N.I.C.	NOT IN CONTRACT
		NO.	NUMBER
C.O.	CLEAN OUT	#	NUMBER
COL.	COLUMN	N.T.S.	NOT TO SCALE
COLL.	COLLECTOR		
COMB.	COMBINATION	O/	OVER
CONC.	CONCRETE	OBSC.	OBSCURE
COND.	CONDITION	O.C.	ON CENTER
CONN.	CONNECTION	O.D.	OUTSIDE DIAMETER
CONSTR.	CONSTRUCTION	O.F.	OUTSIDE FACE
CONT.	CONTINUOUS	OPG.	OPENING
CONTR.	CONTRACTOR	OPP.	OPPOSITE
C.P.	COMPLETE PENETRATION	OPT.	OPTIONAL
CTR.	CENTER		
CSK.	COUNTERSUNK	PERP.	PERPENDICULAR
		PERF.	PERFORATED
d	PENNY (NAIL SIZE)	PL.	PLATE
D.	DRYER	P.LAM.	PLASTIC LAMINATE
DBL.	DOUBLE	PLY.	PLYWOOD
DET.	DETAIL	PNL.	PANEL
D.F.	DOUGLAS FIR	PR.	PAIR
DIA.	DIAMETER	P.S.I.	POUNDS/SQUARE INCH
DIAG.	DIAGONAL	PSL	PARALLEL STRAND LUMBER (PARALLAM)
DIM.	DIMENSION		
D.L.	DEAD LOAD	PT.	POINT
DN.	DOWN	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
DP.	DEEP		
DS.	DOWNSPOUT		
D.T.O.	DRAIN TO OUTSIDE	R.	RADIUS, RISER
D.W.	DISHWASHER	R.A.	RETURN AIR
DWG.	DRAWING	REINF.	REINFORCING
		REQ.	REQUIRED
(E)	EXISTING	R.O.	ROUGH OPENING
E	EAST	RWD.	REDWOOD
EA.	EACH	RWL.	RAIN WATER LEADER
E.B.	EXPANSION BOLT		
E.E.	EACH END	S.	SOUTH
E.F.	EACH FACE	S.F.	SQUARE FEET
E.S.	EACH SIDE	SCHED.	SCHEDULE
E.W.	EACH WAY	SEC.	SECTION
EL.	ELEVATION	SHT.	SHEET
ELEC.	ELECTRICAL	SHTG.	SHEATHING
ELEV.	ELEVATOR	SIM.	SIMILAR
EMBD.	EMBEDMENT	SL.	SLIDING
E.N.	EDGE NAIL	SPECS.	SPECIFICATIONS
EQ.	EQUAL	SQ.	SQUARE
EXP.	EXPANSION	S.S.	SELECT STRUCTURAL
EXT.	EXTERIOR	STAG.	STAGGERED
		STD.	STANDARD
F.A.U.	FORCED-AIR UNIT	STIFF.	STIFFENER
F.D.	FLOOR DRAIN	STL.	STEEL
FDN.	FOUNDATION	STR.	STRUCTURAL
F.E.	FIRE EXTINGUISHER	SYM.	SYMMETRICAL
F.E.C.	FIRE EXTINGUISHER CABINET	S.W.	SHEAR WALL
FIN.	FINISHED		
FLR.	FLOOR	T.	TREAD
F.J.	FLOOR JOIST	T&B	TOP AND BOTTOM
F.N.	FACE NAIL	T&G	TONGUE AND GROOVE
F.O.C.	FACE OF CONCRETE	TEL.	TELEPHONE
F.O.F.	FACE OF FINISH	TEMP.	TEMPERED, TEMPORARY
F.O.M.	FACE OF MASONRY	T.N.	TOE NAIL
F.O.S.	FACE OF STUD	T.O.C.	TOP OF CONCRETE
FRM.	FRAME	TS.	TUBE STEEL
FRMG.	FRAMING	TYP.	TYPICAL
FT.	FOOT/FEET		
FTG.	FOOTING	U.N.O.	UNLESS NOTED OTHERWISE
G.	GAS	VERT.	VERTICAL (LY)
GA.	GAUGE OR GAGE	V.I.F.	VERIFY IN FIELD
GALV.	GALVANIZED		
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	W.	WEST, WATER, WASHER
		W/	WITH
G.I.	GALVANIZED IRON	W/O	WITHOUT
GLB.	GLU-LAMINATED BEAM	W.C.	WATER CLOSET (TOILET)
GR.	GRADE	WD.	WOOD
GR.BM.	GRADE BEAM	W.H.	WATER HEATER
G.S.M.	GALVANIZED SHEET	W.P.T.	WORK POINT
	METAL	WT.	WEIGHT
GYP.BD.	GYPSPUM BOARD	WNF	WELDED WIRE FABRIC

## 24 ABBREVIATIONS

scale 0 1/2" 1" 1"=1"

## 20 DRAWING LAYOUT NUMBERING SYSTEM

scale 0 1/2" 1" 1"=1"

## 12 STAMP SPACE

scale 0 1/2" 1" 1"=1"

## 08 SCOPE OF WORK

scale 0 1/2" 1" 1"=1"

## 04 DRAWING INDEX

scale 0 1/2" 1" 1"=1"

A 0.1  
sheet of sheets

1. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE BEGINNING THEIR WORK. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN.

2. EXCEPT WHERE NOTED OTHERWISE, DIMENSIONS ON THE DRAWINGS SHALL CONFORM TO THE FOLLOWING CONVENTIONS:

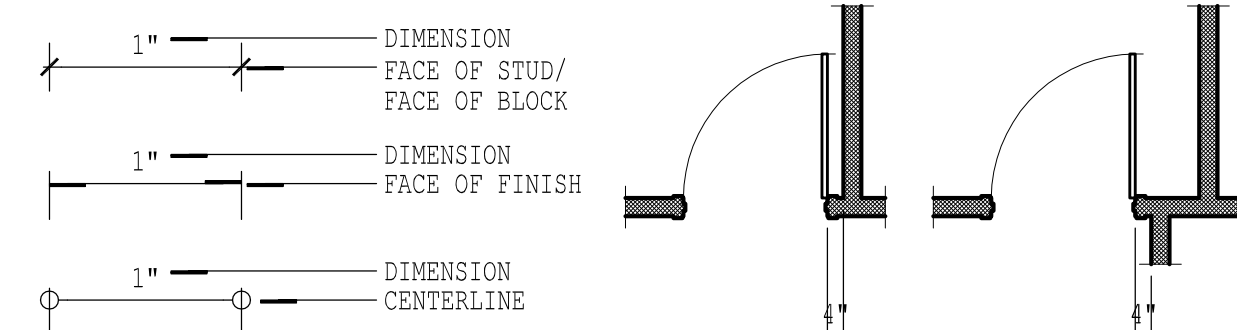
A. DIMENSIONS UTILIZING THE "CENTERLINE" SYMBOL ARE MEASURED TO:  
- STRUCTURAL GRID LINES  
- CENTERLINE OF DOOR, WINDOW, OR LOUVER OPENING  
- CENTERLINE OF EQUIPMENT, FIXTURE OR FURNISHING  
- CENTERLINE OF OTHER FEATURES AS INDICATED

B. DIMENSIONS UTILIZING THE "FACE OF FINISH" SYMBOL ARE MEASURED TO:  
- FACE OF FINISHED CONSTRUCTION  
- INSIDE EDGE OF FINISHED DOOR OPENING  
- DIMENSIONS NOTED "CLEAR", "CLR.", "MINIMUM", OR "MIN." INDICATE UNOBSTRUCTED CLEARANCE BETWEEN FINISH SURFACES

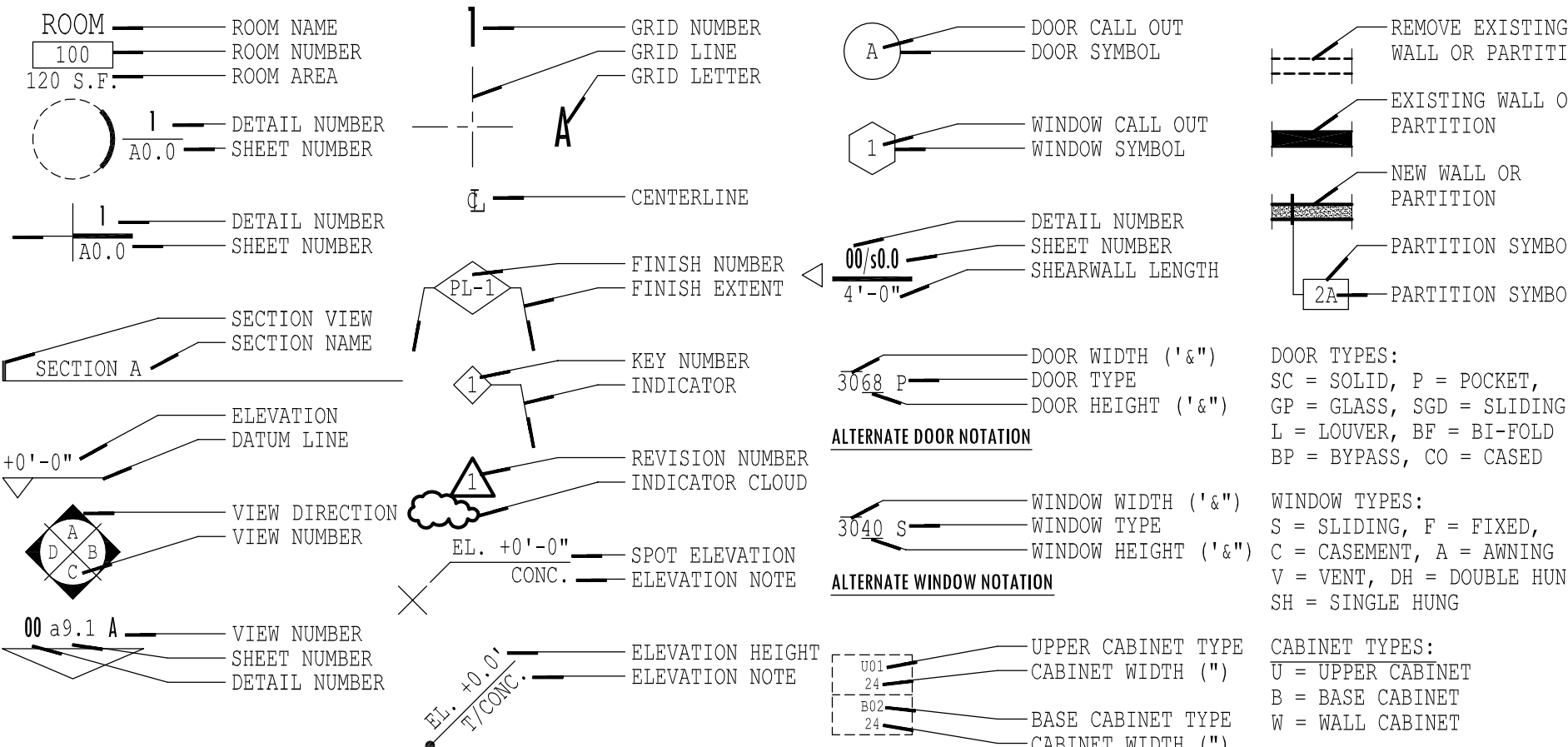
C. DIMENSIONS UTILIZING THE "FACE OF STUD" OR "FACE OF BLOCK" SYMBOL ARE MEASURED TO:  
- FACE OF CONCRETE  
- FACE OF MASONRY  
- FACE OF FRAMING MEMBER  
- FACE OF STRUCTURAL FINISH SURFACE  
ELEMENT SUCH AS TOP OF CONCRETE SLABS OR TOP OF SUBFLOOR WHERE FINISHES MAY OR MAY NOT BE APPLIED.

D. A SINGLE DIMENSION LINE MAY HAVE DIFFERENT SYMBOLS AT EACH END INDICATING DIFFERENT MEASUREMENT ORIGIN POINTS. THE SYMBOL ON THE END INDICATES THE ORIGIN POINT OF THE DIMENSION AT THAT END OF THE DIMENSION LINE.

E. WHERE DIMENSIONS ARE NOT PROVIDED ON THE FLOOR PLANS TO LOCATE DOOR OPENINGS, APPLY THE FOLLOWING RULES, IN ORDER, TO DETERMINE THE LOCATION OF DOOR OPENINGS:  
- DOOR OPENINGS MAY BE DIMENSIONED ON DRAWINGS OTHER THAN THE FLOOR PLANS.  
REFER TO THE SECTIONS, ELEVATIONS, DETAILS, DOOR SCHEDULE FOR ADDITIONAL DIMENSION INFORMATION.  
- WHERE THE HINGE SIDE OF A DOOR IS LOCATED ADJACENT TO A WALL, OR WALLS, PERPENDICULAR TO THE WALL IN WHICH THE DOOR OPENING OCCURS, LOCATE THE HINGE-SIDE FINISHED EDGE OF THE DOOR JAMB 4" FROM THE FACE OF THE CLOSEST PERPENDICULAR WALL OR PARTITION.



## 17 DIMENSIONING CONVENTIONS



## 18 GRAPHIC SYMBOLS LEGEND

LARGE SCALES	INTERMEDIATE SCALES	SMALL SCALES		LARGE SCALES	INTERMEDIATE SCALES	SMALL SCALES	
[Symbol]	[Symbol]	[Symbol]	EARTH SHOWN IN SECTION	[Symbol]	[Symbol]	[Symbol]	PLYWOOD SHOWN IN SECTION
[Symbol]	[Symbol]	[Symbol]	ROCK FILL, GRAVEL SHOWN IN SECTION	[Symbol]	[Symbol]	[Symbol]	FINISHED WOOD PLAN OR SECTION
[Symbol]	[Symbol]	[Symbol]	ASPHALTIC CONCRETE SHOWN IN SECTION	[Symbol]	[Symbol]	[Symbol]	BATT INSULATION PLAN OR SECTION
[Symbol]	[Symbol]	[Symbol]	CAST-IN-PLACE CONCRETE PLAN OR SECTION	[Symbol]	[Symbol]	[Symbol]	RIGID INSULATION PLAN OR SECTION
[Symbol]	[Symbol]	[Symbol]	PRECAST CONCRETE PLAN OR SECTION	[Symbol]	[Symbol]	[Symbol]	GLASS PLAN OR SECTION
[Symbol]	[Symbol]	[Symbol]	BRICK MASONRY PLAN OR SECTION	[Symbol]	[Symbol]	[Symbol]	PLASTER ON METAL LATH SHOWN IN SECTION
[Symbol]	[Symbol]	[Symbol]	CONCRETE MASONRY UNITS PLAN OR SECTION	[Symbol]	[Symbol]	[Symbol]	GYPSPUM BOARD SHOWN IN SECTION
[Symbol]	[Symbol]	[Symbol]	WOOD FRAMING, CONT. SHOWN IN SECTION	[Symbol]	[Symbol]	[Symbol]	STONE FINISH SHOWN IN SECTION
[Symbol]	[Symbol]	[Symbol]	WOOD BLOCKING SHOWN IN SECTION	[Symbol]	[Symbol]	[Symbol]	METAL: TYPE AS NOTED PLAN OR SECTION

## 19 MATERIALS LEGEND

21	17	13	09	05	01	[Symbol]
22	18	14	10	06	02	[Symbol]
23	19	15	11	07	03	[Symbol]
24	20	16	12	08	04	[Symbol]

NOTES:

- DETAILS ARE NUMBERED ACCORDING TO THEIR LOCATION ON EACH SHEET, AND ARE NOT NUMBERED CONSECUTIVELY.
- PLANS, SECTIONS, ELEVATIONS, DETAILS, ETC. ARE NUMBERED ACCORDING TO THE MODULE SYSTEM SHOWN ABOVE LEFT.
- THE NUMBER OF THE MODULE (01-24) WHICH OCCURS IN THE LOWER LEFT CORNER OF ONE MODULE OR SEVERAL MODULES GROUPED TOGETHER TO COMPRISE A SINGLE MODULE, DETERMINES THE NUMBER OF THAT PARTICULAR PLAN, SECTION, ELEVATION, OR DETAIL. SEE THE ILLUSTRATION ABOVE RIGHT. ALTHOUGH ALL MODULE NUMBERS OCCUR IN CONSECUTIVE ORDER, NOT ALL NUMBERS ARE NECESSARILY USED ON EACH SHEET.

### 1. APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE PROVISIONS OF THE FOLLOWING CODES:  
PART 1 - 2010 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE  
PART 2 - 2010 CALIFORNIA BUILDING CODE  
PART 3 - 2010 CALIFORNIA ELECTRICAL CODE  
PART 4 - 2010 CALIFORNIA MECHANICAL CODE  
PART 5 - 2010 CALIFORNIA PLUMBING CODE  
PART 6 - 2010 CALIFORNIA ENERGY CODE  
PART 7 - 2010 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE  
PART 8 - 2010 CALIFORNIA HISTORICAL BUILDING CODE  
PART 9 - 2010 CALIFORNIA FIRE CODE  
PART 10 - 2010 CALIFORNIA CODE FOR BUILDING CONSERVATION  
PART 11 - 2010 CALIFORNIA GREEN BUILDING STANDARDS CODE  
PART 12 - 2010 CALIFORNIA REFERENCE STANDARDS CODE  
ALL LOCAL CODES, ORDINANCES AND AMENDMENTS

### 2. USE GROUP CLASSIFICATION (CBC 302)

PRIMARY USE GROUP: R-2, APARTMENTS (CBC 310)  
ACCESSORY USE GROUP: S, STORAGE (CBC 311)

### 3. CONSTRUCTION TYPE (CBC 601)

CONSTRUCTION TYPE: TYPE V A  
FIRE SPRINKLERS: FULLY SPRINKLERED  
BUILDING ELEMENTS RATING (CBC 601):  
PRIMARY STRUCTURAL FRAME:  
EXTERIOR BEARING WALLS: 1 HOUR  
INTERIOR BEARING WALLS: 1 HOUR  
INTERIOR NON-BEARING WALLS: 0 HOURS  
FLOOR CONSTRUCTION: 1 HOUR  
ROOF CONSTRUCTION: 1 HOUR  
EXTERIOR WALL DISTANCE (CBC 602):  
LESS THAN 5'-0": 1 HOUR  
BETWEEN 5'-0" AND 10'-0": 1 HOUR  
BETWEEN 10'-0" AND 30'-0": 1 HOUR  
GREATER THAN 30'-0": 0 HOURS

### 4. BUILDING HEIGHT (CBC TABLE 503)

ALLOWABLE HEIGHT (STORIES/FEET): 3 STORIES/50'-0"  
HEIGHT INCREASE FOR SPRINKLERS: 1 STORY/20'-0"  
TOTAL ALLOWABLE HEIGHT: 4 STORIES/60'-0"

### 5. BUILDING AREA (CBC TABLE 503)

ALLOWABLE FLOOR AREA PER STORY: 12,000 SF  
FRONTAGE INCREASE (CBC 506.2): 118.5/237-0.25) (30/30)=25%  
SPRINKLER INCREASE (CBC 506.3): 12,000 SF x 200% = 24,000 SF  
MAXIMUM ALLOWABLE AREA PER STORY: 12,000+3,000+24,000=39,000  
TOTAL ALLOWABLE FLOOR AREA: 4 STORIES x 39,000 = 156,000 SF  
BUILDING FLOOR AREAS:  
BASEMENT: 0 SF. NEW, 2,775 TOTAL  
FIRST FLOOR: 72 SF. NEW, 2,775 TOTAL  
SECOND FLOOR: 72 SF. NEW, 2,920 TOTAL  
THIRD FLOOR: 72 SF. NEW, 2,920 TOTAL  
FOURTH FLOOR: 1,504 SF. NEW, 1,504 TOTAL  
ROOF TERRACE: 268 SF. NEW, 268 TOTAL  
TOTAL BUILDING AREA: 12,894 SF. INTERIOR

### 6. BUILDING OCCUPANT LOAD (CBC 1004.1)

TOTAL OCCUPANT LOAD: 50 (EXISTING)  
RESIDENTIAL (200 GROSS SF/OCCUPANT): 46  
STORAGE (300 GROSS SF/OCCUPANT): 4

### 7. EXITING (CBC 1003 - 1005)

REQUIRED STAIRWAY WIDTH (CBC 1005.1): 50x0.3"=15" (44" MIN.)  
REQUIRED DOOR WIDTH (CBC 1005.1): 50x0.2"=10" 64"  
DOOR WIDTH PROVIDED: 2  
EXITS PROVIDED: 2  
MAX. TRAVEL DISTANCE (CBC 1016.1): 250'-0"  
TRAVEL DISTANCE PROVIDED: -  
MAX. DEAD END CORRIDOR (CBC 1018.4): 50'-0"  
MIN. CORRIDOR WIDTH (CBC 1018.2): 44"  
MIN. DOOR WIDTH (CBC 1008.1.1): 32" CLEAR

### 8. FIRE PROTECTION SYSTEMS

FIRE AND SMOKE DETECTION (CBC 907): EACH UNIT AND COMMON AREAS  
CARBON MONOXIDE DETECTOR (CBC 420.4): EACH DWELLING UNIT  
MANUAL FIRE ALARM BOX (CBC 907.2): NOT REQUIRED  
SPRINKLER SYSTEM (CBC 903): NOT REQUIRED - NFPA 13R  
STANDPIPE (CBC 905): CLASS 1  
SMOKE VENTS (CBC 910): NOT REQUIRED  
PORTABLE FIRE EXTINGUISHER (CBC 906): COMMON AREA EACH FLOOR

### 9. PLUMBING FIXTURE (CBC TABLE 2902.1)

WATER CLOSET: 1 PER DWELLING UNIT  
LAVATORY: 1 PER DWELLING UNIT  
BATHTUB OR SHOWER: 1 PER DWELLING UNIT  
KITCHEN SINK: 1 PER DWELLING UNIT  
CLOTHES WASHER CONNECTION: 1 PER 20 DWELLING UNITS

## 11 CODE ANALYSIS

scale 0 1/2" 1" 1"=1"

## 07 PLANNING DATA

### SCOPE OF WORK INCLUDES:

- REPAIR OF FIRE, SMOKE, AND WATER DAMAGE TO AN EXISTING 3 STORY OVER BASEMENT, 11 UNIT, APARTMENT BUILDING. ALL EXISTING INTERIOR FINISHES INCLUDING CASEWORK AND MILLWORK WILL BE REMOVED TO STRUCTURE AND REPLACED DUE TO DAMAGE.
- EXCAVATION OF EXISTING BASEMENT TO ALLOW FOR 2 NEW APARTMENTS, LAUNDRY ROOM, AND BUILDING SERVICE ROOMS.
- REMODEL OF 11 EXISTING APARTMENTS ON FLOORS 1 THROUGH 3 TO INCLUDE REMODELING OF BATHROOMS, KITCHENS, AND MINOR INTERIOR IMPROVEMENTS.
- ADDITION OF 4TH FLOOR WITH 3 NEW APARTMENTS. NEW OUTDOOR TERRACE SPACE ON THE ROOF OF THE 4TH FLOOR WILL ALSO BE CONSTRUCTED.
- TWO NEW STAIRS WILL REPLACE THE TWO EXISTING STAIRS AS REQUIRED BY CODE. FIRE SPRINKLERS WILL BE ADDED THROUGHOUT THE BUILDING AS REQUIRED BY CODE.

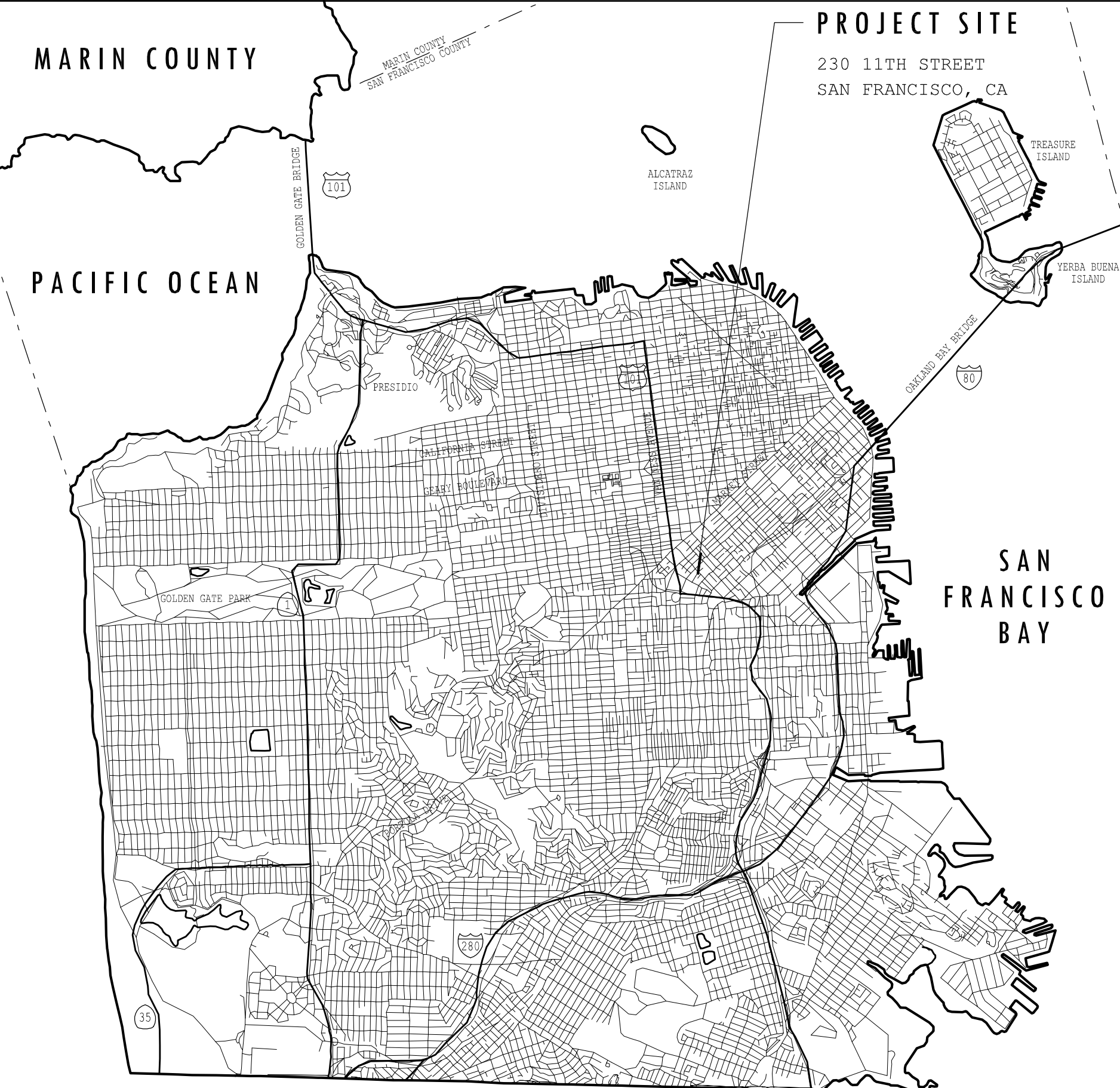
## 03 CONTACT LIST

### ARCHITECTURAL DRAWINGS:

- A 0.1 TITLE SHEET AND GENERAL NOTES
- A 0.3 SITE PLAN
- A 0.4 SITE PHOTOGRAPHS
- A 1.0 BASEMENT, EXISTING CONDITIONS, DEMOLITION PLAN
- A 1.1 FIRST FLOOR, EXISTING CONDITIONS, DEMOLITION PLAN
- A 1.2 SECOND FLOOR, EXISTING CONDITIONS, DEMOLITION PLAN
- A 1.3 THIRD FLOOR, EXISTING CONDITIONS, DEMOLITION PLAN
- A 1.4 FOURTH FLOOR, EXISTING CONDITIONS, DEMOLITION PLAN
- A 1.5 BUILDING ELEVATIONS, EXISTING CONDITIONS
- A 1.6 BUILDING ELEVATIONS, EXISTING CONDITIONS
- A 2.0 BASEMENT PLAN
- A 2.1 FIRST FLOOR PLAN
- A 2.2 SECOND FLOOR PLAN
- A 2.3 THIRD FLOOR PLAN
- A 2.4 FOURTH FLOOR PLAN
- A 2.5 ROOF TERRACE PLAN
- A 3.1 BUILDING ELEVATION, NORTH (11TH), SOUTH (REAR)
- A 3.2 BUILDING ELEVATION, EAST (KISSLING)
- A 3.3 BUILDING ELEVATION, WEST ELEVATION
- A 3.4 BUILDING SECTIONS

## TITLE SHEET AND GENERAL NOTES

A 0.1  
sheet of sheets



## 06 SAN FRANCISCO COUNTY VICINITY MAP

ZONING SUMMARY	OWNER:	ARCHITECT:
ADDRESS: 230 11TH STREET BLOCK: 3516, LOT: 005 LOT DIMENSIONS: 37.75' x 90.00' LOT AREA: 3,397.5 SQUARE FEET EASEMENTS: NONE ZONING DISTRICT: SLR, SOMA SERVICE, LIGHT INDUSTRY, RES. HEIGHT AND BULK: 50'-X SPECIAL USE DISTRICT: WESTERN SOMA HISTORIC RESOURCE: A - KNOWN HISTORIC RESOURCE HERITAGE RATING: C	WILLIAM HEDDEN 1838 15TH STREET SAN FRANCISCO, CALIFORNIA 94103  CONTACT: WILLIAM HEDDEN TELEPHONE: 415.850.0042	GREGORY SMITH, ARCHITECT P.O. BOX 756 KENTFIELD, CALIFORNIA 94914-0771  CONTACT: GREGORY SMITH TELEPHONE: 415.451.1740
PROJECT REQUIREMENTS	GENERAL CONTRACTOR:	STRUCTURAL ENGINEER
PERMITTED USE: RESIDENTIAL USE - DWELLING UNITS (TABLE 816) RESIDENTIAL DENSITY: 1:200 DWELLING UNITS (SEC. 816.03) 3,397.5 LOT / 200 = 16.98 (16 UNITS) 11 EXISTING + 5 NEW = 16 UNITS TOTAL USABLE OUTDOOR SPACE: 80 SQUARE FEET/DWELLING UNIT (SEC. 816.05) 80 x 16 UNITS = 1,280 SQUARE FEET 1,280 SQ. FT. REQUIRED - 1.30% PROVIDED 25% LOT DEPTH, 22'-6" REQUIRED (SEC. 134) 8'-9" EXISTING, 13'-9" ENCRoACHMENT ADDITION MATCH EXISTING - REQUIRES VARIANCE NOT REQUIRED (SEC. 151.1)	BLOCH CONSTRUCTION, INC. 3317 DIVISADERO STREET SAN FRANCISCO, CALIFORNIA 94123  CONTACT: MICHAEL MCCrackEN TELEPHONE: 415.722.4381	MERCURY ENGINEERING 1041-A FOLGER STREET BERKELEY, CALIFORNIA 94710  CONTACT: HAROLD HOWELL, P.E. TELEPHONE: 510.549.0440
REAR YARD SETBACK:		ENERGY CONSULTANT: ENERGY SOFT, LLC. 1025 5TH STREET, SUITE A NOVATO, CALIFORNIA 94945-2413  CONTACT: LORI CHAPPELL TELEPHONE: 415.897.6400
PARKING:		

project number: 1 2 0 2 . 0

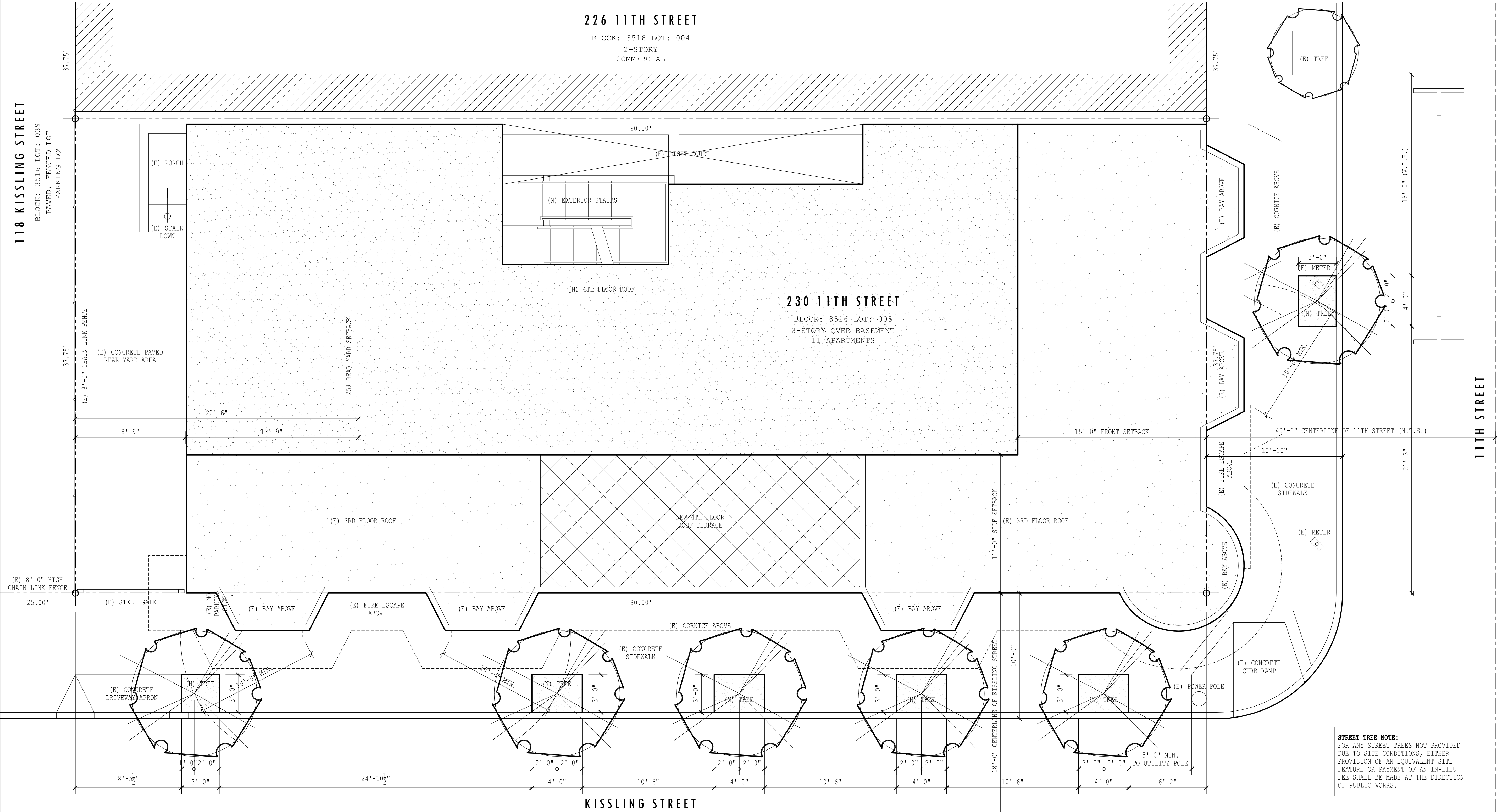
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P.O. BOX 756, KENTFIELD, CALIFORNIA 94914  
415.451.1740 GREGORYSMITHARCHITECT.COM

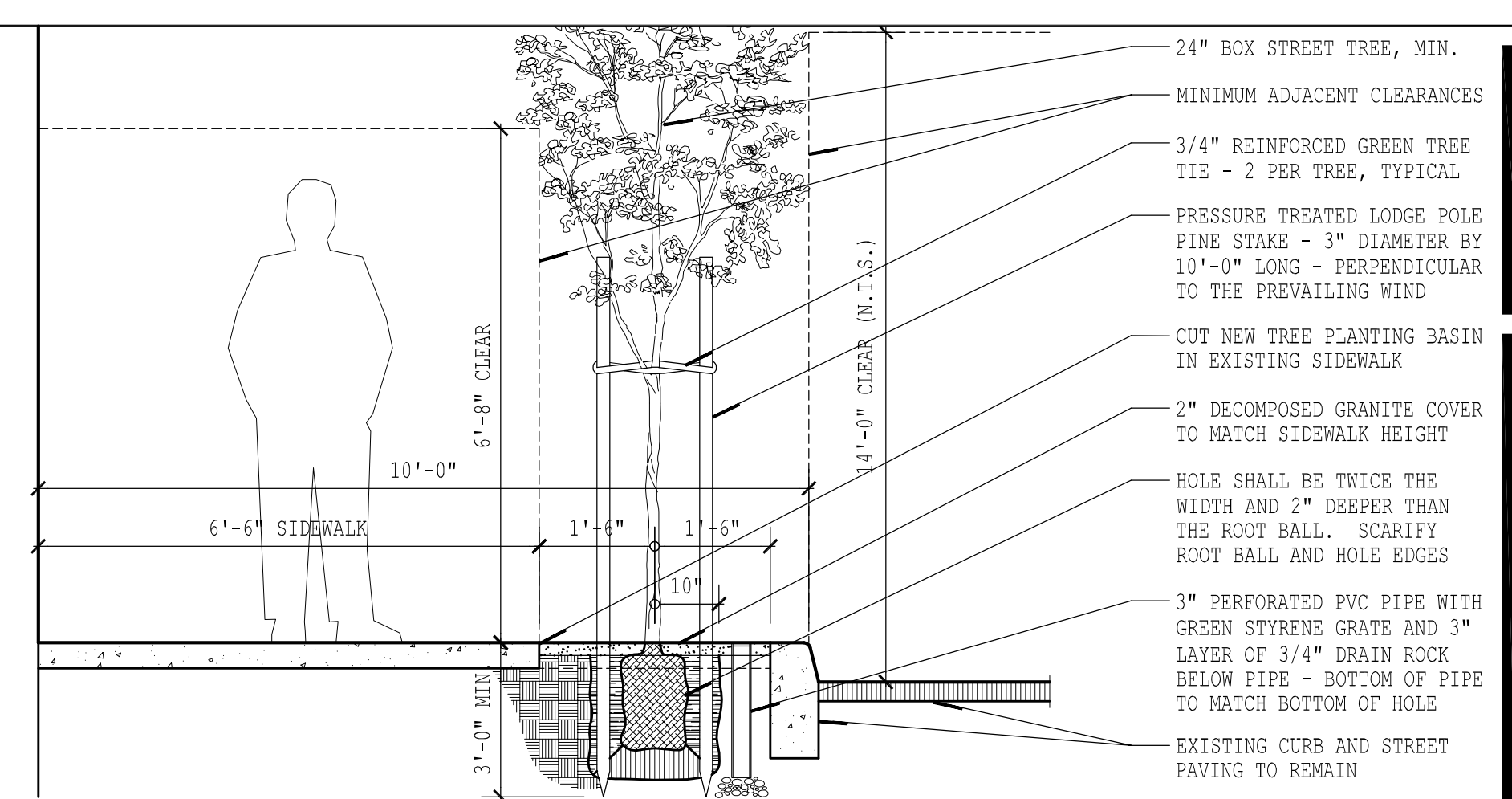
fire and smoke damage repair for:  
**apartment building**  
230 11th street  
san francisco, california 94103  
block: 3516 lot: 005

file name:	12002a0-1	drawn by:	GS	checked by:	GS
date:	August 14, 2012	no. issued:	1	description:	06.11.12 Site Permit
			2		08.24.12 NOPDR #1

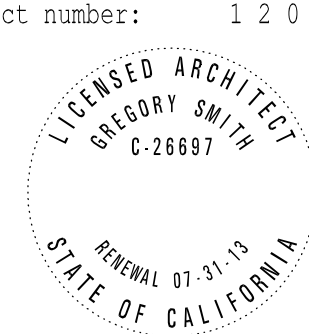




05 SAN FRANCISCO STREET TREE PLANTING







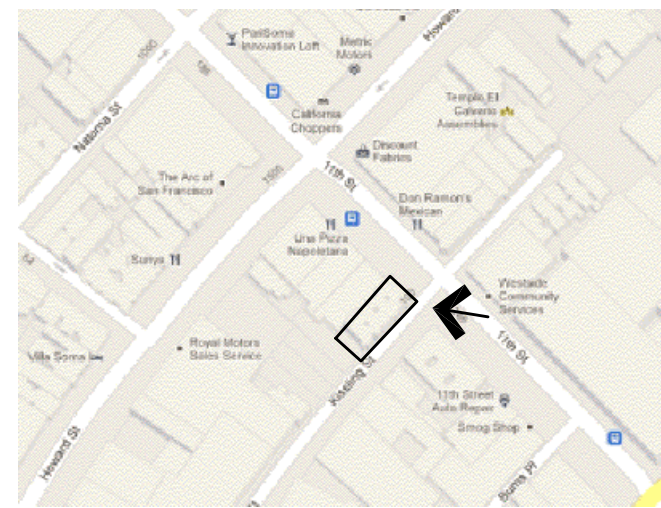
gregory smith  
architecture & design



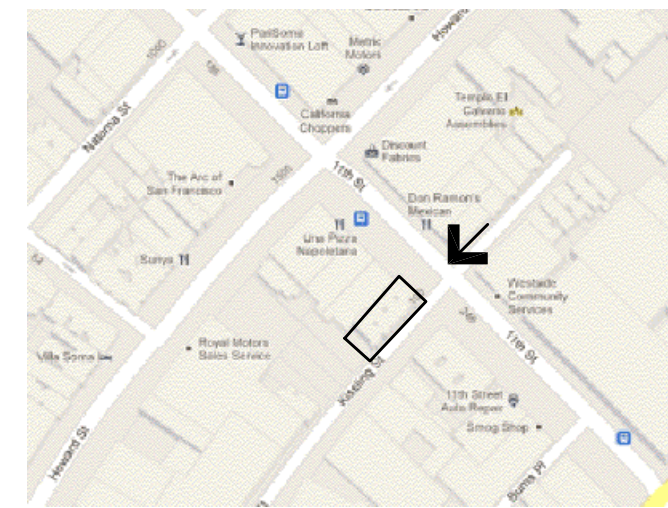
P.O. BOX 756, KENTFIELD, CALIFORNIA 94014  
415.451.1740 GREGORYSMITHARCHITECT.COM



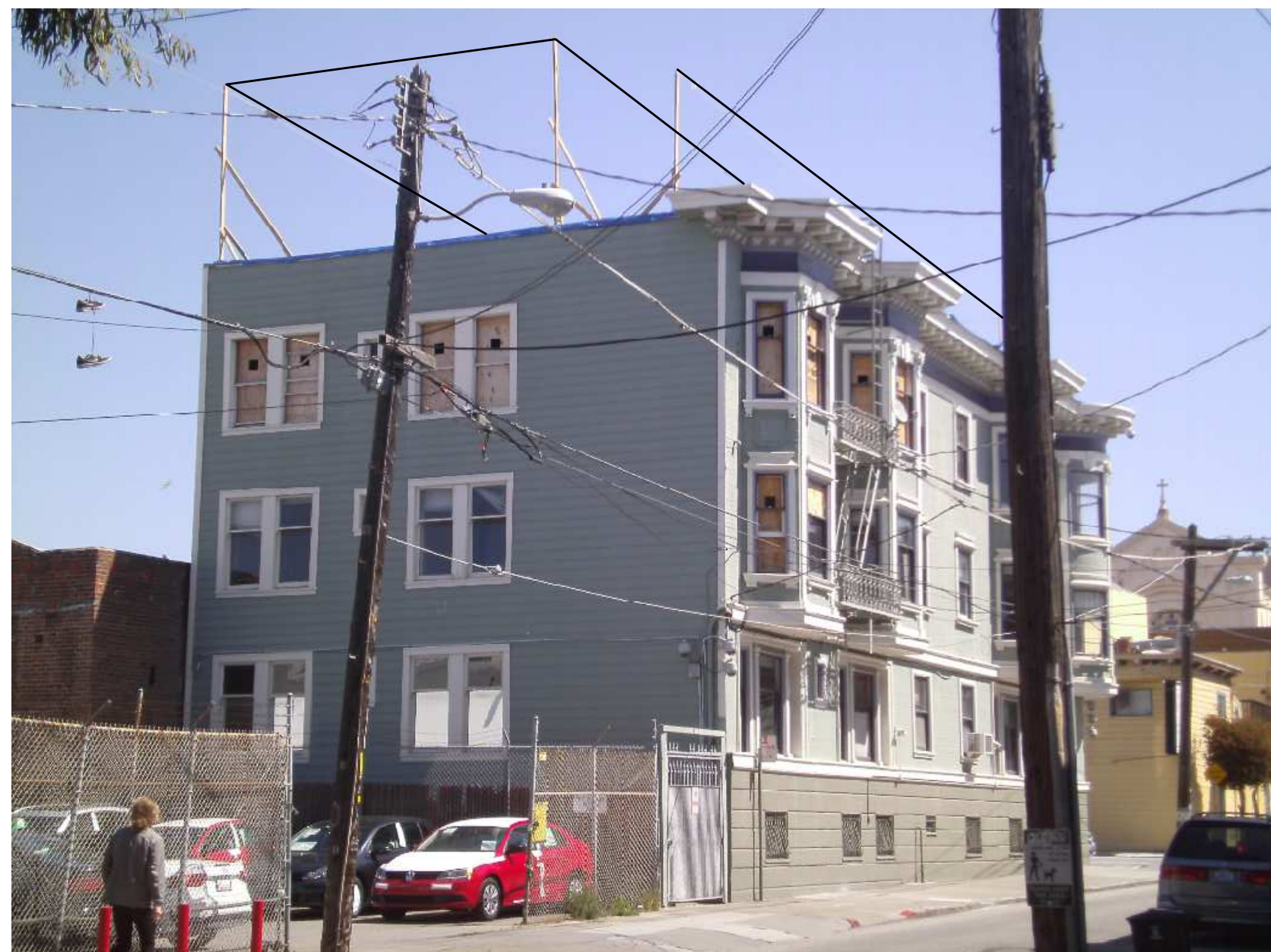
PHOTOGRAPH KEY MAP



PHOTOGRAPH KEY MAP



PHOTOGRAPH KEY MAP



22 VIEW FROM MID-BLOCK KISSLING

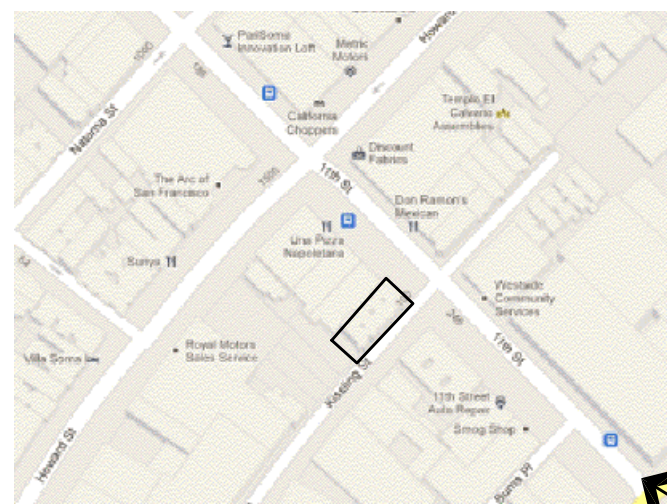
scale 0 1/2" 1"  
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14 VIEW FROM CORNER OF KISSLING & 11TH

scale 0 1/2" 1"  
1"=1"

06 VIEW FROM 11TH ACROSS THE STREET

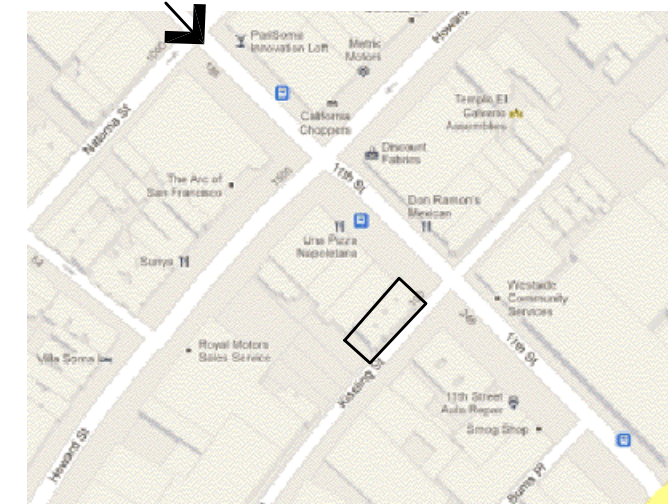
scale 0 1/2" 1"  
1"=1"



PHOTOGRAPH KEY MAP



PHOTOGRAPH KEY MAP



PHOTOGRAPH KEY MAP



24 VIEW FROM CORNER OF FOLSOM & 11TH

scale 0 1/2" 1"  
1"=1"

16 VIEW FROM END OF KISSLING

scale 0 1/2" 1"  
1"=1"

08 VIEW FROM CORNER OF NATOMA & 11TH

scale 0 1/2" 1"  
1"=1"



fire and smoke damage repair for:

apartment building

230 11th street

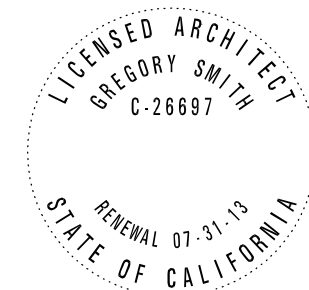
san francisco, california 94103

block: 3516 lot: 005

file name: 12002a0-4 drawn by: GS checked by: GS  
date: August 24, 2012  
no. issued: 1 06.11.12 Site Permit  
2 08.24.12 NOPDR #1

SITE PHOTOGRAPHS





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fire and smoke damage repair for:

apartment building

230 11th street  
san francisco, california 94103  
block: 3516 lot: 005

file name: 12002a1-5 drawn by: GS checked by: GS

date: August 24, 2012

no. issued: 1 06.11.12 Site Permit  
2 08.24.12 NOPDR #1

BUILDING ELEVATIONS  
EXISTING CONDITIONS

A 1.5  
sheet of sheets



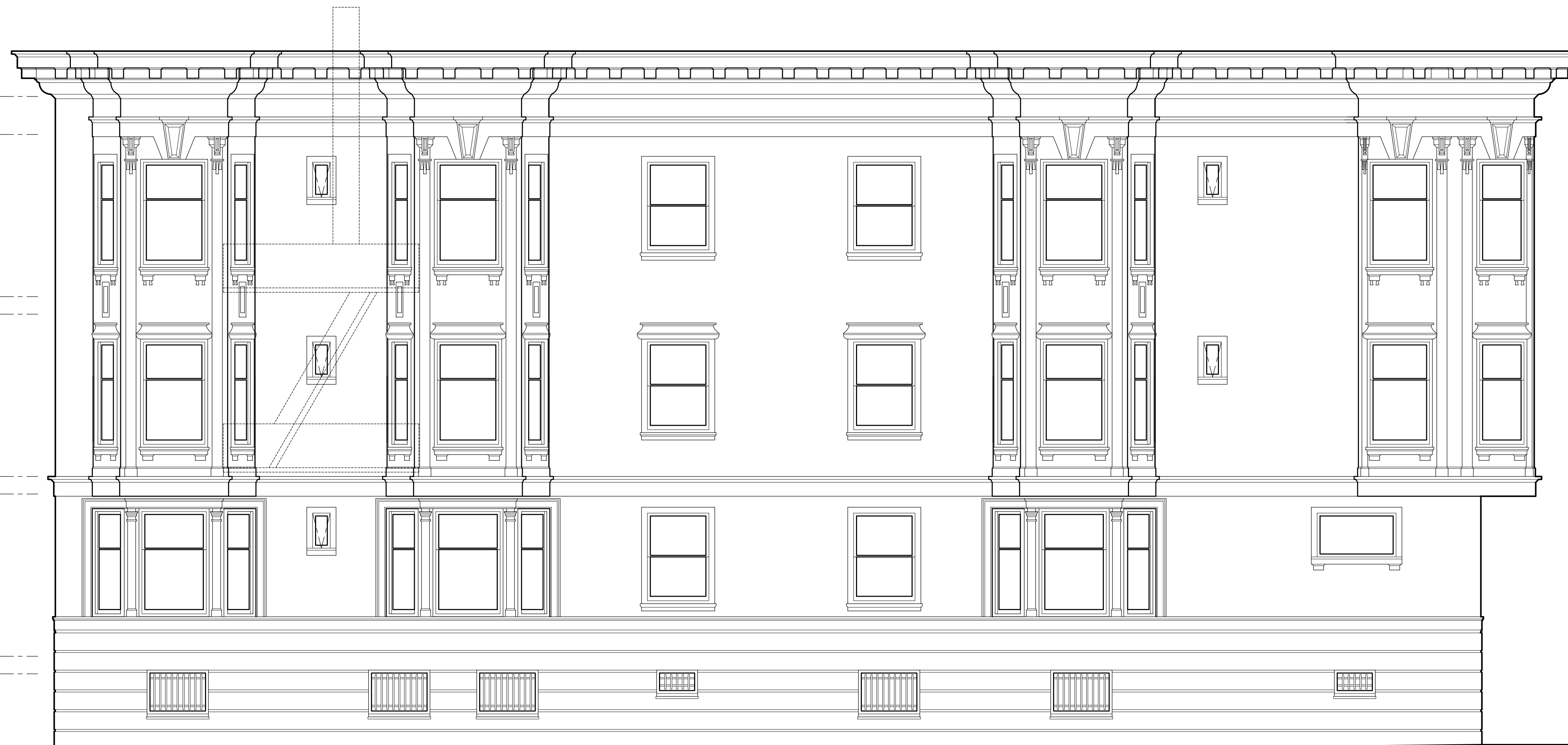
22 EXISTING REAR YARD ELEVATION

scale  $\frac{0}{1/4"}$  | 2' | 4'



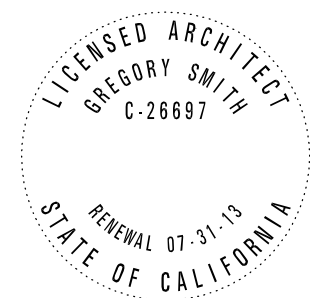
10 EXISTING 11TH STREET ELEVATION

scale  $\frac{0}{1/4"}$  | 2' | 4'



24 EXISTING KISSLING STREET ELEVATION

scale  $\frac{0}{1/4"}$  | 2' | 4'



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19 EXISTING PARTY WALL ELEVATION

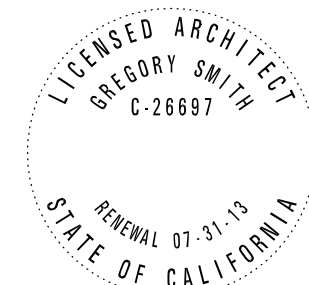
scale  $\frac{1}{4}''=1'$  0 2' 4'

fire and smoke damage repair for:  
**apartment building**  
230 11th street  
san francisco, california 94103  
block: 3516 lot: 005

file name: 12002a1-6 drawn by: GS checked by: GS  
date: August 24, 2012  
no. issued: description:  
1 06.11.12 Site Permit  
2 08.24.12 NOPDR #1

BUILDING ELEVATIONS  
EXISTING CONDITIONS





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fire and smoke damage repair for:

apartment building

230 11th street

san francisco, california 94103

block: 3516 lot: 005

file name: 12002a3-1 drawn by: GS checked by: GS

date: August 24, 2012

no. issued:	description:
1	06.11.12 Site Permit
2	08.24.12 NOPDR #1

BUILDING ELEVATIONS  
NORTH ELEVATION (11TH)  
SOUTH ELEVATION (REAR)

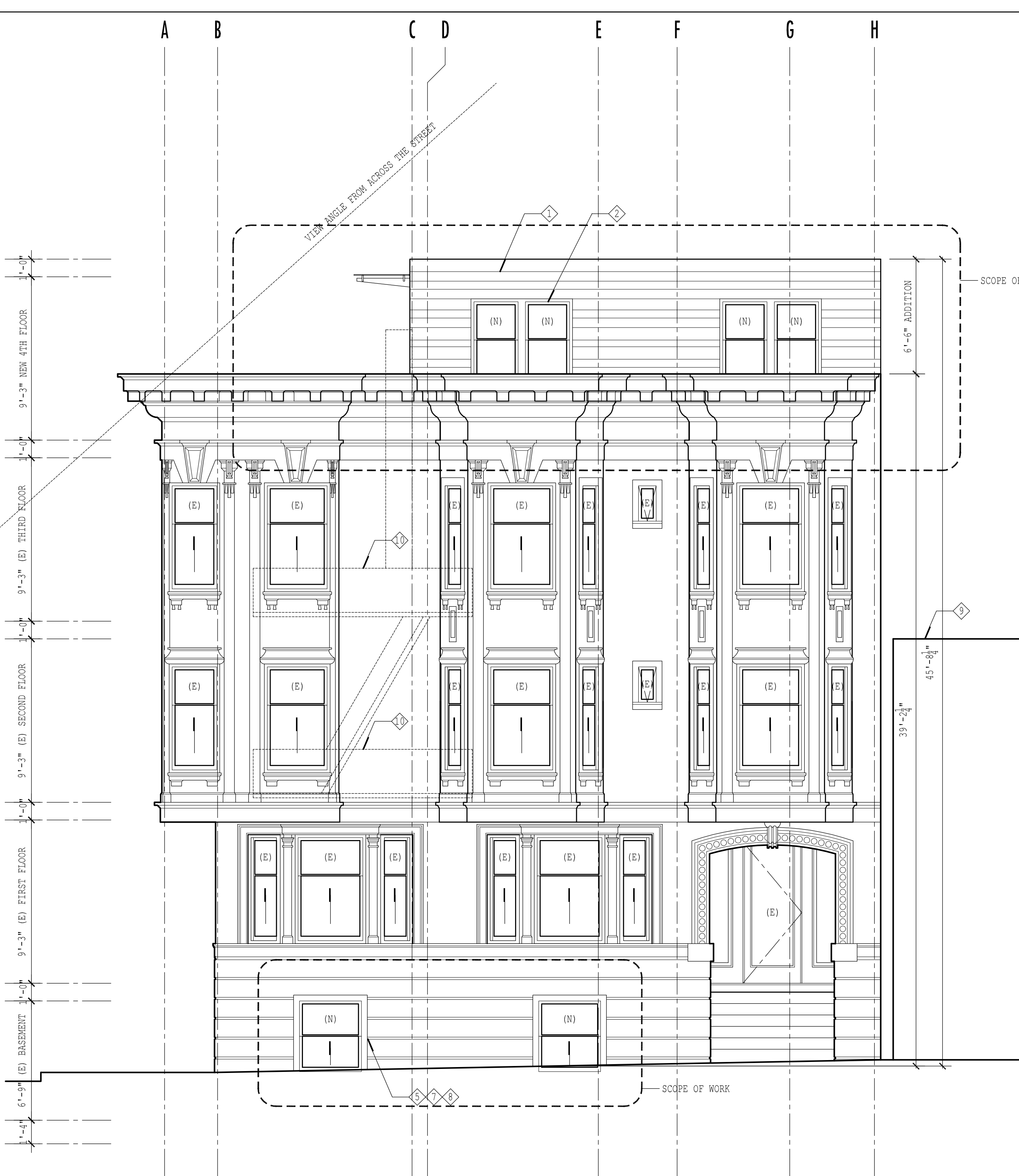
A 3.1

sheet of sheets



23 SOUTH ELEVATION (REAR YARD)

scale<sup>0</sup> 1/4"=1' | | | | 2' 4'



11 NORTH ELEVATION (11TH STREET)

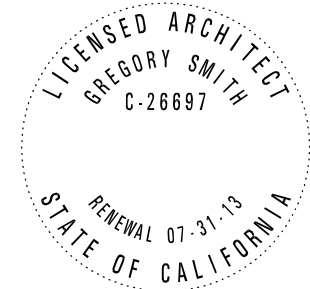
scale<sup>0</sup> 1/4"=1' | | | | 2' 4'

- 1 NEW RANDOM WIDTH OPEN JOINT FIBER CEMENT SIDING, TYPICAL
- 2 NEW WOOD FRAMED WINDOW UNITS, TYPICAL
- 3 NEW GLASS CANOPY ROOF
- 4 NEW DOOR
- 5 NEW WOOD FRAMED SINGLE-HUNG WINDOW TO MATCH EXISTING, TYPICAL
- 6 NEW WOOD FRAMED CASEMENT WINDOW AND WOOD TRIM TO MATCH EXISTING
- 7 REPAIR EXISTING RUSTICATED STUCCO BASE AT NEW WINDOW OPENINGS
- 8 NEW SECURITY GRILLES AT BASEMENT WINDOWS, TYPICAL (NOT SHOWN FOR CLARITY)
- 9 EXISTING ADJACENT BUILDING
- 10 EXISTING FIRE ESCAPE TO REMAIN

04 KEYNOTES

scale<sup>0</sup> 1/2"=1' | | | | 1"





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fire and smoke damage repair for:

apartment building

230 11th street

san francisco, california 94103

block: 3516 lot: 005

file name: 12002a3-2 drawn by: GS checked by: GS

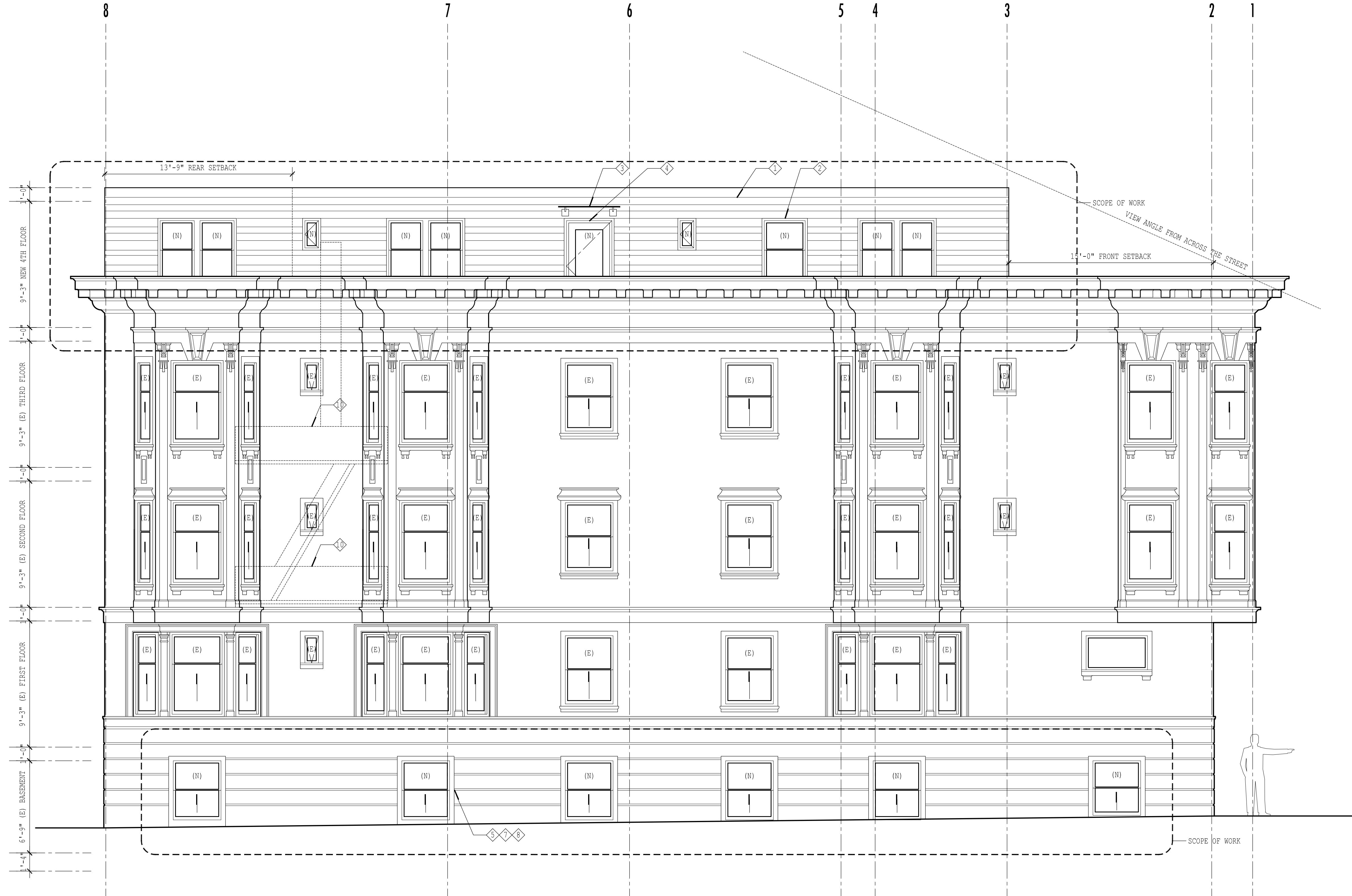
date: August 24, 2012

no. issued: 1 description: 06.11.12 Site Permit  
2 08.24.12 NOPDR #1

BUILDING ELEVATIONS  
EAST ELEVATION (KISSLING STREET)

A 3.2

sheet of sheets



19 EAST ELEVATION (KISSLING STREET)

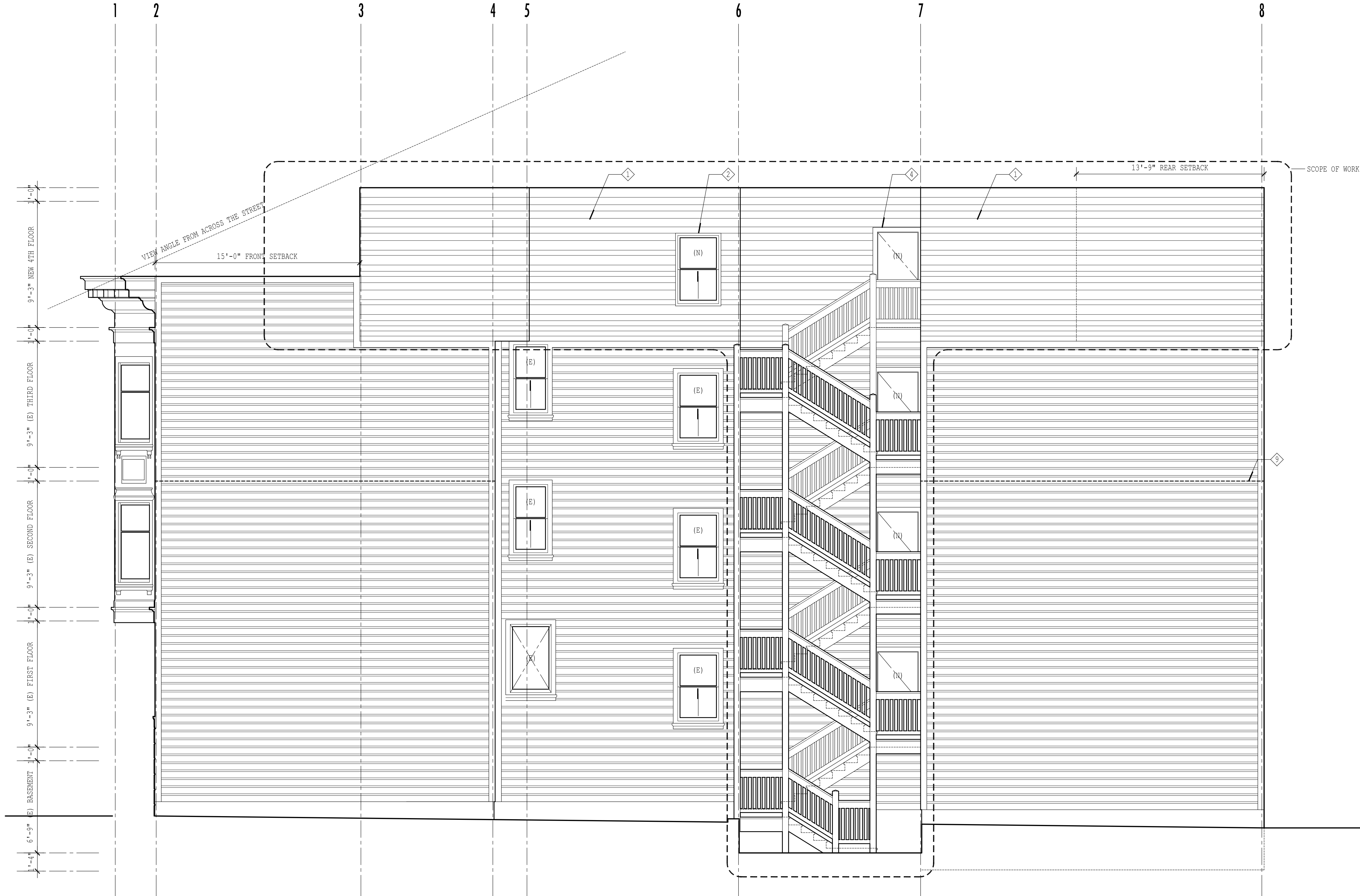
scale 0 2' 4'  
1/4"=1'

- 1 NEW RANDOM WIDTH OPEN JOINT FIBER CEMENT SIDING, TYPICAL
- 2 NEW WOOD FRAMED WINDOW UNITS, TYPICAL
- 3 NEW GLASS CANOPY ROOF
- 4 NEW DOOR
- 5 NEW WOOD FRAMED SINGLE-HUNG WINDOW TO MATCH EXISTING, TYPICAL
- 6 NEW WOOD FRAMED CASEMENT WINDOW AND WOOD TRIM TO MATCH EXISTING
- 7 REPAIR EXISTING RUSTICATED STUCCO BASE AT NEW WINDOW OPENINGS
- 8 NEW SECURITY GRILLES AT BASEMENT WINDOWS, TYPICAL (NOT SHOWN FOR CLARITY)
- 9 EXISTING ADJACENT BUILDING
- 10 EXISTING FIRE ESCAPE TO REMAIN

04 KEYNOTES

scale 0 1/2" 1"  
1"=1'





19 WEST ELEVATION (PARTY WALL)

scale 0 2' 4'  
1/4"=1'

- 1 NEW RANDOM WIDTH OPEN JOINT FIBER CEMENT SIDING, TYPICAL
- 2 NEW WOOD FRAMED WINDOW UNITS, TYPICAL
- 3 NEW GLASS CANOPY ROOF
- 4 NEW DOOR
- 5 NEW WOOD FRAMED SINGLE-HUNG WINDOW TO MATCH EXISTING, TYPICAL
- 6 NEW WOOD FRAMED CASEMENT WINDOW AND WOOD TRIM TO MATCH EXISTING
- 7 REPAIR EXISTING RUSTICATED STUCCO BASE AT NEW WINDOW OPENINGS
- 8 NEW SECURITY GRILLES AT BASEMENT WINDOWS, TYPICAL (NOT SHOWN FOR CLARITY)
- 9 EXISTING ADJACENT BUILDING
- 10 EXISTING FIRE ESCAPE TO REMAIN

04 KEYNOTES

scale 0 1/2" 1"  
1"=1'

project number: 1 2 0 0 2 . 0

LICENSED ARCHITECT  
GREGORY SMITH  
C-26687  
RENEWAL 07-01-13  
STATE OF CALIFORNIA

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fire and smoke damage repair for:

apartment building  
230 11th street  
san francisco, california 94103  
block: 3516 lot: 005

file name: 12002a3-3 drawn by: GS checked by: GS  
date: August 24, 2012  
no. issued: 1 06.11.12 Site Permit  
2 08.24.12 NOPDR #1

BUILDING ELEVATIONS  
WEST ELEVATION

A 3.3  
sheet of sheets