



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 5, 2012**  
 Time: **Beginning at 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance (Front Yard)**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>538 Valley Street</b>	Case No.: <b>2012.0823V</b>
Cross Street(s): <b>Diamond &amp; Castro</b>	Building Permit: <b>2012.09.28.0850</b>
Block /Lot No.: <b>6611/014</b>	Applicant/Agent: <b>Troy Kashanipour</b>
Zoning District(s): <b>RH-1/ 40-X</b>	Telephone: <b>(415) 431-0869</b>
Area Plan: <b>N/A</b>	E-Mail: <b>tk@tkworkshop.com</b>

### PROJECT DESCRIPTION

The project is to construct a one-story deck (approximately 13' wide by 4'-8" deep) at the front of a two-story, single-family dwelling. The project also includes construction of a solid one-story firewall along the east side of the deck.

**PER SECTION 132 OF THE PLANNING CODE** the subject property is required to maintain a front setback of approximately 6'-9". The subject building currently encroaches into the front setback (to the front property line) at the western side of the property. The proposed deck would extend to the front property line at the eastern side of the property, entirely within the required front setback; therefore, a variance is required.

**PER SECTION 188 OF THE PLANNING CODE** a non-complying structure may be altered, providing that there is no new or increased discrepancy at any level between existing conditions on the lot and the required standards of the Planning Code. The subject dwelling constitutes a non-complying structure from the front setback requirement because portions of it encroach into the required front setback up to the front property line; therefore, a variance is required.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Adrian C. Putra** Telephone: **(415) 575-9079** E-Mail: **adrian.putra@sfgov.org**

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0823V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

# FACADE IMPROVEMENTS

## 538 VALLEY STREET, SAN FRANCISCO, CALIFORNIA 94131

### DRAWING LIST

- A0.0 PROJECT INFORMATION
- A2.0 SITE PLAN / EXISTING & PROPOSED FLOOR PLANS
- A3.0 EXISTING & PROPOSED ELEVATIONS / PHOTOGRAPHS
- A3.1 EXISTING & PROPOSED ELEVATIONS
- A8.0 CONSTRUCTION DETAILS

### SYMBOLS

-  CEILING MOUNTED FIXTURE
-  WALL MOUNTED FIXTURE
-  EXTERIOR OR WATERPROOF LIGHT FIXTURE
-  WALL WASH LIGHT FIXTURE
-  RECESSED CEILING MOUNTED FIXTURE
-  FLUORESCENT LIGHT FIXTURE
-  SMOKE ALARM
-  CARBON MONOXIDE ALARM
-  TELEPHONE
-  INTERCOM
-  DUPLEX OUTLET: 16" A.F.F.
-  DUPLEX GFI OUTLET
-  DUPLEX SWITCHED OUTLET
-  DATA/TELEPHONE OUTLET
-  DOUBLE DUPLEX, COUNTER HT
-  DOUBLE DUPLEX OUTLET: 16" A.F.F.
-  COUNTER HEIGHT DUPLEX OUTLET
-  HALF SWITCHED DUPLEX OUTLET
-  DIRECTIONAL EXIT SIGN
-  FAN
-  THERMOSTAT
-  SWITCH
-  DIMMER SWITCH
-  3-WAY SWITCH

### APPLICABLE REGULATIONS & STANDARDS

- 2010 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS.
  - 2010 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS.
  - 2010 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS.
  - 2010 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS.
  - 2010 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS.
  - ENERGY CODE - TITLE 24 - CALIFORNIA CODE OF REGULATIONS
  - LIFE SAFETY CODE, 2007 EDITION NFPA 72
  - NFPA 13, 2007 EDITION
- APPLICABLE STANDARDS:
- UL-UNDERWRITERS LABORATORIES FIRE RESISTIVE DIRECTORY-2002 EDITION
  - UL-UNDERWRITERS LABORATORIES BUILDING MATERIALS DIRECTORY-2002 EDITION
  - SMACNA - FIRE SMOKE AND RADIATION DAMPER INSTALLATION GUIDE FOR HVAC SYSTEMS, 3RD EDITION

### SCOPE OF WORK THIS PROJECT:

- REPLACE (E) WINDOW AT SOUTH ELEVATION WITH (N) PATIO DOOR
- CREATE (N) BALCONY AT SECOND LEVEL WITH ASSOCIATED FIREWALL AT PROPERTY LINE

### BUILDING & PLANNING DEPARTMENT NOTES:

**BUILDING OWNER:** DAVE & REBECCA HOPKINS  
538 VALLEY STREET  
SAN FRANCISCO, CA. 94131  
DHOPKINS@SRGNC.COM  
PHONE: 415.912.8715

**ARCHITECT:** TROY KASHANIPOUR ARCHITECTURE  
2325 3RD STREET, SUITE 401  
SAN FRANCISCO CA, 94107  
PHONE/FAX: 415.431.0868  
CELL: 415.290.8844  
TK@TKWORKSHOP.COM

**BLOCK/LOT:** BLOCK 6611 LOT 14

**ZONING:** RH-1

**USE:** SINGLE FAMILY RESIDENTIAL

**OCCUPANCY:** R-3

**NUMBER OF STORIES/BASEMENTS:** 2/0

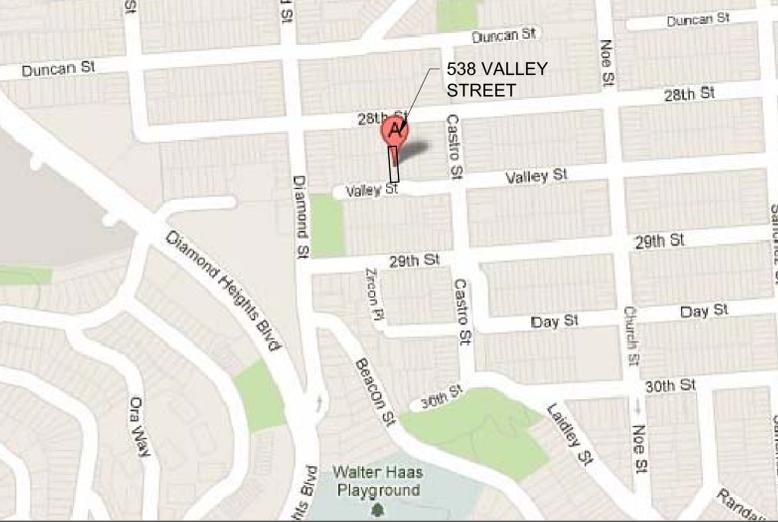
**TYPE OF CONSTRUCTION:** V-B

BUILDING IS NOT EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM. NONE WILL BE PROVIDED UNDER THIS PERMIT APPLICATION

### GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CIRCUMSTANCES TO THE ARCHITECT PRIOR TO FINALIZING BIDS AND COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES.
3. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
5. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
6. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
7. PROVIDE FIRE-BLOCKING AND DRAFT STOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AS PER 2010 CBC 708, 717.2 AND 717.3. FIRE BLOCKING AND DRAFT STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
  - A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
  - B) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
  - C) IN OPENINGS AROUND VENTS, PIPES, DUCTS, AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
8. THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH 2010 CBC SECTION 719.
9. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
10. VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
11. PROVIDE ALL LIGHTS, GUARDRAILS, BARRICADES, SIGNS AND PROTECTIVE MEASURES AS MAY BE REQUIRED BY THE OWNER, LOCAL AUTHORITIES, OR OTHERS HAVING JURISDICTION.
12. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.
13. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
14. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AND BACKING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM AND FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS. PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
15. NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND COMMUNICATIONS ARE DESIGN BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT. CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES
17. ALL CHANGES IN FLOOR MATERIALS OCCUR AT THE CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE NOTED.
18. WINDOW SIZES ON DRAWINGS ARE NOMINAL, REFER TO MANUFACTURERS FOR ACTUAL ROUGH OPENING DIMENSIONWU??P67S.
19. ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHER-STRIPPED PER TITLE 24 REQUIREMENTS
20. PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18" OF A WALKING SURFACE. GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH SECTION 2406.4.
21. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC SECTION 2406.3.
22. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.
23. PER 1009.6.3 ENCLOSURES UNDER STAIRWAYS. THE WALLS AND SOFFITS WITHIN ENCLOSED USABLE SPACES UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION OR THE FIRE-RESISTANCE RATING OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. ACCESS TO THE ENCLOSED SPACE SHALL NOT BE DIRECTLY FROM WITHIN THE STAIR ENCLOSURE.  
EXCEPTION: SPACES UNDER STAIRWAYS SERVING AND CONTAINED WITHIN A SINGLE RESIDENTIAL DWELLING UNIT IN GROUP R-2 OR R-3 SHALL BE PERMITTED TO BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD. THERE SHALL BE NO ENCLOSED USABLE SPACE UNDER EXTERIOR EXIT STAIRWAYS UNLESS THE SPACE IS COMPLETELY ENCLOSED IN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION. THE OPEN SPACE UNDER EXTERIOR STAIRWAYS SHALL NOT BE USED FOR ANY PURPOSE.

### LOCATION PLAN



### ABBREVIATIONS:

A.C.	AIR CONDITIONING	FIN.	FINISH	PLAS.	PLASTER
A.C. TILE	ACOUSTIC TILE	FIXT.	FIXTURE	PLYWD.	PLYWOOD
ACCESS.	ACCESSIBLE	F.L.	FLOW LINE	POL.	POLISHED
ACOUST.	ACOUSTICAL	FLASH.	FLASHING	PR.	PAIR
A.D.	AREA DRAIN	FLUOR.	FLUORESCENT	PRCST.	PRECAST
ADJ.	ADJACENT	F.O.	FACE OF	PT.	POINT
ADJUST.	ADJUSTABLE	F.O.C.	FACE OF CONCRETE	P.T.D.	PAPER TOWEL DISPENSER
A.E.S.	ABOVE EXISTING SLAB	F.O.F.	FACE OF FINISH	PTD.	PAINTED
A.E.S.S.	ARCHITECTURAL EXPOSED STRUCTURAL STEEL	F.O.S.	FACE OF STUDS	P.T.D./R.	PAPER TOWEL DISPENSER RECEPTACLE COMBINATION
A.F.F.	ABOVE FINISHED FLOOR	F.P.	FIRE PROOF	PTN.	PARTITION
AGGR.	AGGREGATE	FRF'G	FIRE PROOFING	P.T.R.	PAPER TOWEL RECEPTACLE
AL.	ALUMINUM	F.R.	FIRE RETARDANT	PU.	POLYURETHANE
ALUM.	ALUMINUM	F.T.	FIRE TREATED	PY.	POLYCARBONATE
APPROX.	APPROXIMATELY	FT.	FOOT/FEET		
ARCH.	ARCHITECTURAL	FTG.	FOOTING		
ASB.	ASBESTOS	F.S.	FULL SIZE	Q.T.	QUARRY TILE
ASPH.	ASPHALT	FURR.	FURRING	R.	RISER
@	AT	FUT.	FUTURE	RAD.	RADIUS
				RCP	REFLECTED CEILING PLAN
BD.	BOARD	G.A.	GAUGE	R.D.	ROOF DRAIN
BITUM.	BITUMINOUS	GALV.	GALVANIZED	RDWD.	REDWOOD
BLDG.	BUILDING	G.B.	GRAB BAR	REF.	REFERENCE
BLK.	BLOCK	G.C.	GENERAL CONTRACTOR	REFR.	REFRIGERATOR
BLK'G	BLOCKING	G.H.	GARMENT HOOK	REINF.	REINFORCED
BM.	BEAM	G.L.	GLASS	REG.	REGISTER
B.O.	BOTTOM OF	GND.	GROUND	REQ.	REQUIRED
BOT.	BOTTOM	GR.	GRADE	RESIL.	RESILIENT
		GSM	GALVANIZED SHEET METAL	RET.	RETARDANT
		G.W.B.	GYPSUM WALLBOARD	RGTR.	REGISTER (CASH)
CAB.	CABINET	GYP.	GYPSUM	RM.	ROOM
C.B.	CATCH BASIN	GYPBD.	GYPSUM BOARD	R.O.	ROUGH OPENING
CEM.	CEMENT			R.W.L.	RAIN WATER LEADER
CER.	CERAMIC	H.B.	HOSE BIBB		
C.I.	CAST IRON	H.C.	HOLLOW CORE	S.	SOUTH
C.L.	CENTER LINE	HD.	HAND	S.B.O.	SUPPLIED BY OWNER
CLG.	CEILING	HDWD.	HARDWOOD	S.C.	SOLID CORE
CLKG.	CAULKING	H.M.	HOLLOW METAL	S.C.D.	SEAT COVER DISPENSER
		HORIZ.	HORIZONTAL	SCH.	SCHEDULE
		HR.	HOUR	SCHED.	SCHEDULE(D)
		HT.	HEIGHT	S.D.	SECTION
				S.E.D.	SEE ELECTRICAL DRAWINGS
CLO.	CLOSET	I.D.	INSIDE DIAMETER	SH.	SHelf
CLR.	CLEAR	INSUL.	INSULATION	SHR.	SHOWER
C.M.U.	CONCRETE MASONRY UNIT	INT.	INTERIOR	SHT.	SHEET
CNTR.	COUNTER			SIM.	SIMILAR
CO.	TRANSLUCENT CORIAN	JAN.	JANITOR	S.M.D.	SEE MECHANICAL DRAWINGS
COL.	COLUMN	JT.	JOINT	S.N.D.	SANITARY NAPKIN DISPENSER
COM.	COMPACT			S.N.R.	SANITARY NAPKIN RECEPTACLE
CONC.	CONCRETE	KIT.	KITCHEN	S.P.D.	SEE PLUMBING DRAWINGS
CONN.	CONNECTION			SPEC.	SPECIFICATION
CONSTR.	CONSTRUCTION			SPEC'D	SPECIFIED
CONT.	CONTINUOUS			SQ.	SQUARE
CORR.	CORRIDOR	L	ANGLE	S.S.D.	SEE STRUCTURAL DRAWINGS
C.S.C.I.	CONTRACTOR SUPPLIED CONTRACTOR INSTALLED	LAM.	LAMINATE	S.S.K.	SERVICE SINK
		LAV.	LAVATORY	SST.	STAINLESS STEEL
		LL	LANDLORD	ST.	STONE
C.T.	CERAMIC TILE	LK.R.	LOCKER	STA.	STATION
CTR.	CENTER	LT.	LIGHT	STD.	STANDARD
CTSK.	COUNTERSUNK			STL.	STEEL
		MANUF.	MANUFACTURER	STOR.	STORAGE
DBL.	DOUBLE	MAX.	MAXIMUM	STRUCT.	STRUCTURAL
DEPT.	DEPARTMENT	M.C.	MEDICINE CABINET	SUSP.	SUSPENDED
DET.	DETAIL	MDF	MEDIUM DENSITY FIBERBOARD	SYM.	SYMMETRICAL
D.F.	DRINKING FOUNTAIN			T.	TREAD
DIA.	DIAMETER	MECH.	MECHANICAL	T.B.	TOWEL BAR
DIM.	DIMENSION	MEMB.	MEMBRANE	TC.	TOP OF CURB
DN.	DOWN	MFR.	MANUFACTURER	T.C.	TERRA COTTA
D.O.	DOOR OPENING	MILL Wk.	MILLWORK	TEMP.	TEMPERED
DRESS.	DRESSING	M.H.	MANHOLE	TER.	TERRAZZO
DS.	DOWNSPOUT	MIN.	MINIMUM	THK.	THICK
D.S.P.	DRY STANDPIPE	MIR.	MIRROR	T.O.	TOP OF
DTL.	DETAIL	MISC.	MISCELLANEOUS	T.O.C.	TOP OF CONCRETE
DWG.	DRAWING	M.O.	MASONRY OPENING	T.O.P.	TOP OF PAVEMENT
		MTL.	METAL	T.O.S.	TOP OF SLAB
E.	EAST	MTD.	MOUNTED	T.S.	TUBE STEEL
(E)	EXISTING	MUL.	MULLION	TYP.	TYPICAL
EA.	EACH	MWC	MILLWORK CONTRACTOR		
E.J.	EXPANSION JOINT				
EL.	ELEVATION	N.	NORTH		
		(N)	NEW		
ELEC.	ELECTRICAL	N.I.C.	NOT IN CONTRACT		
ELEV.	ELEVATOR	NO.	NUMBER		
EMER.	EMERGENCY	NOM.	NOMINAL		
ENCL.	ENCLOSURE	N.T.S.	NOT TO SCALE		
E.P.	ELECTRICAL PANEL BOARD	#	NUMBER		
		O.A.	OVERALL		
EQ.	EQUAL	OBS.	OBSCURE		
EQPT.	EQUIPMENT	O.C.	ON CENTER		
ESC.	ESCALATOR	O.O.	OUTSIDE DIAMETER		
E.W.C.	ELECTRIC WATER COOLER	OFF.	OFFICE		
EXIST.	EXISTING	OP'N'G	OPENING		
EXP.	EXPANSION	OPP.	OPPOSITE		
EXPO.	EXPOSED	OPP. HD.	OPPOSITE HAND		
EXT.	EXTERIOR	O.S.C.I.	OWNER SUPPLIED CONTRACTOR INSTALLED		
		P.	PAINT		
F.A.	FIRE ALARM	P.C.	PRECAST CONCRETE		
F.B.	FLAT BAR	PCS.	PIECES		
F.D.	FLOOR DRAIN	PL	PLATE		
FDN.	FOUNDATION	PLAM.	PLASTIC LAMINATE		
F.E.C.	FIRE EXTINGUISHER CABINET				
F.H.C.	FIRE HOSE CABINET				

### PROJECT INFORMATION

OWNER: DAVE HOPKINS  
538 VALLEY STREET  
SAN FRANCISCO, CA, 94131  
DHOPKINS@SRGNC.COM  
PHONE: 415.912.8715

ISSUE: ISSUED FOR PERMIT      DATE: 06.15.12

CONSULTANT: -

APPROVAL:

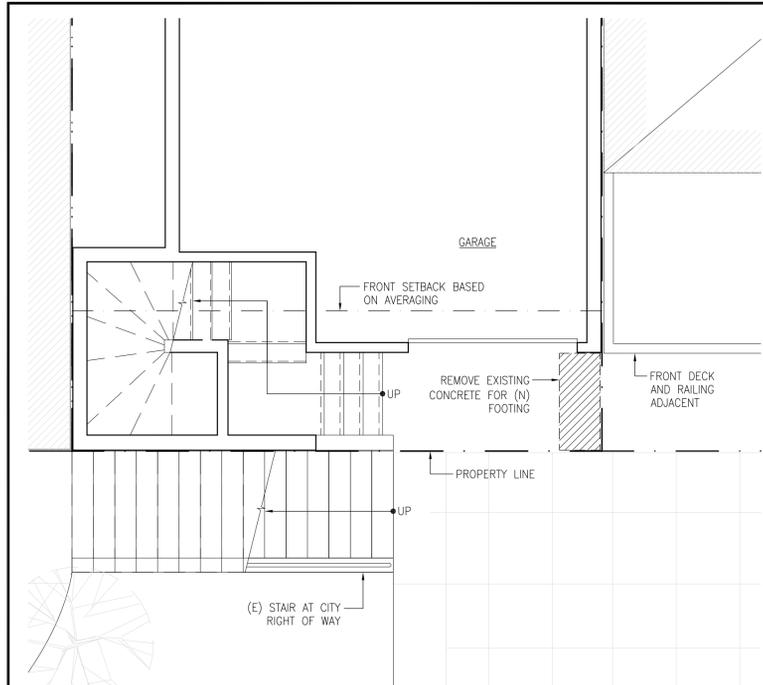
REGISTERED ARCHITECT  
TROY KASHANIPOUR  
C 27646  
REN. 6/30/2013  
STATE OF CALIFORNIA

DRAWN: TK  
CHECKED: TK  
SCALE: NONE

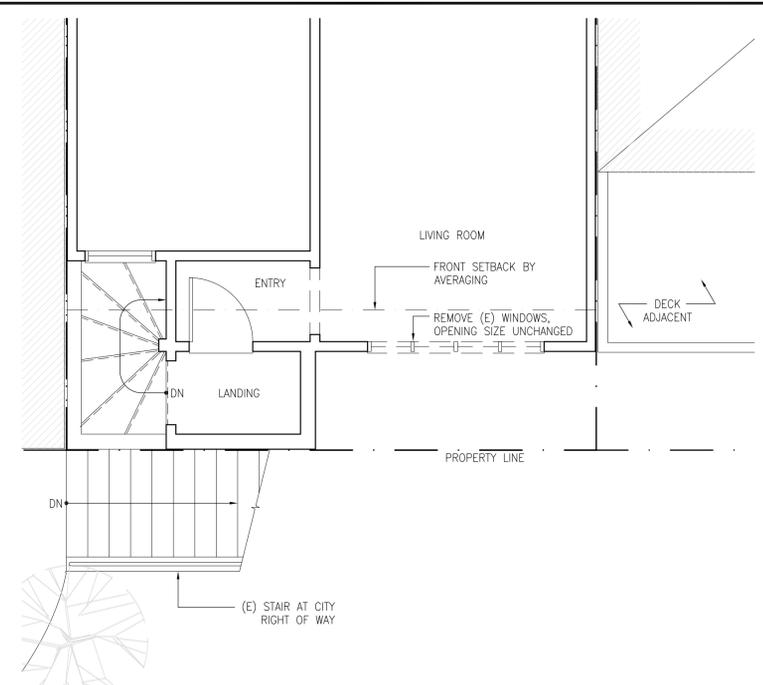
# A0.0

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

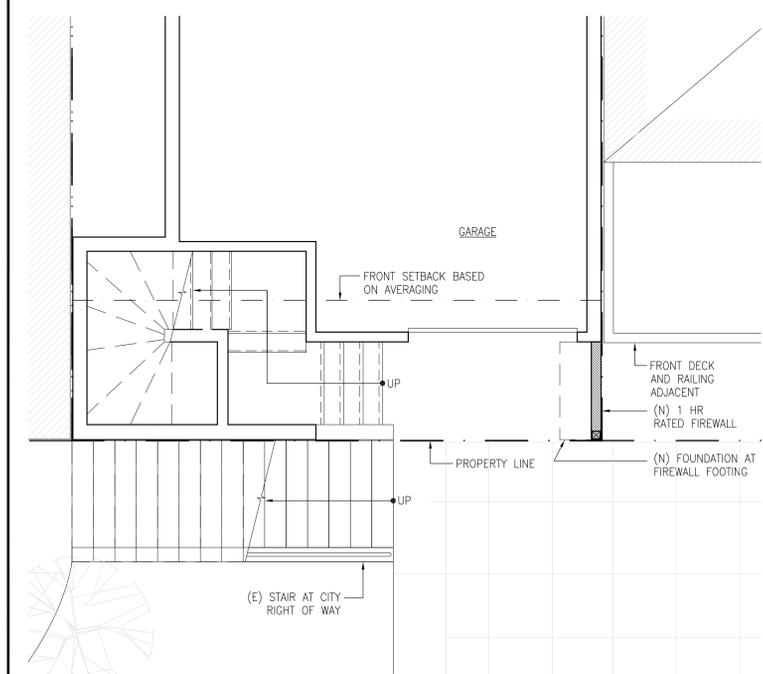
## 538 VALLEY STREET



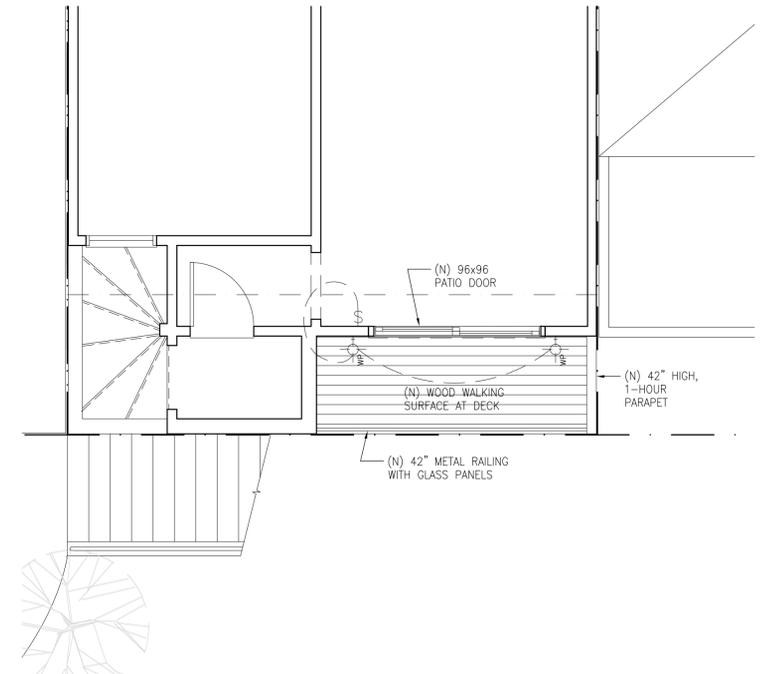
2 EXISTING FLOOR PLAN AT FIRST STORY  
SCALE: 1/4" = 1'-0"



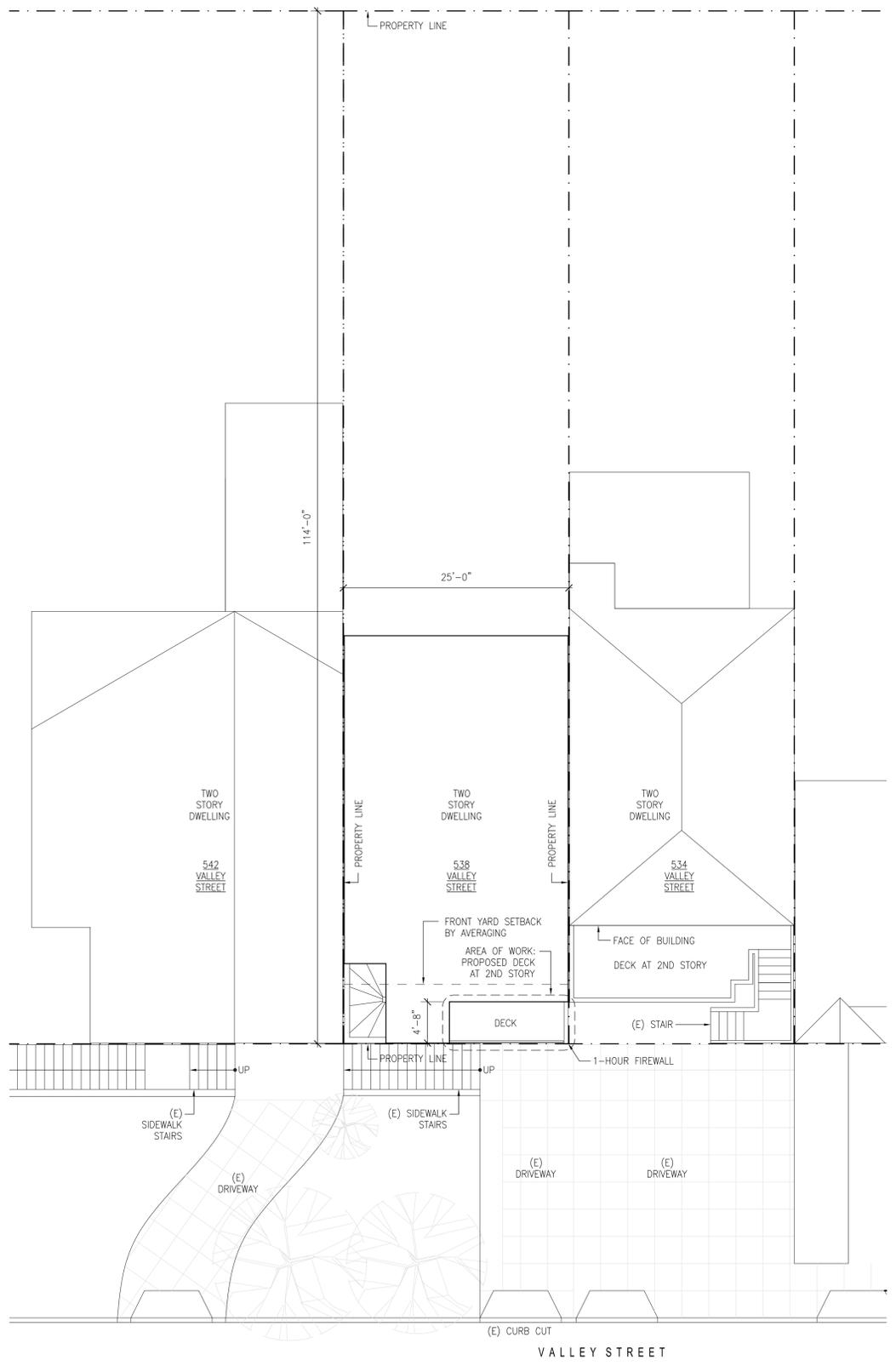
2 EXISTING FLOOR PLAN AT SECOND STORY  
SCALE: 1/4" = 1'-0"



2 PROPOSED FLOOR PLAN AT FIRST STORY  
SCALE: 1/4" = 1'-0"



2 EXISTING FLOOR PLAN AT SECOND STORY  
SCALE: 1/4" = 1'-0"



1 SITE PLAN  
SCALE: 1/8" = 1'-0"

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107. PHONE/FAX 415.631.0869

**538 VALLEY STREET**

OWNER: DAVE HOPKINS  
538 VALLEY STREET  
SAN FRANCISCO, CA, 94131  
DHOPKINS@SRGNC.COM  
PHONE: 415.912.6715

ISSUE: ISSUED FOR REVIEW DATE: 06.15.12

CONSULTANT

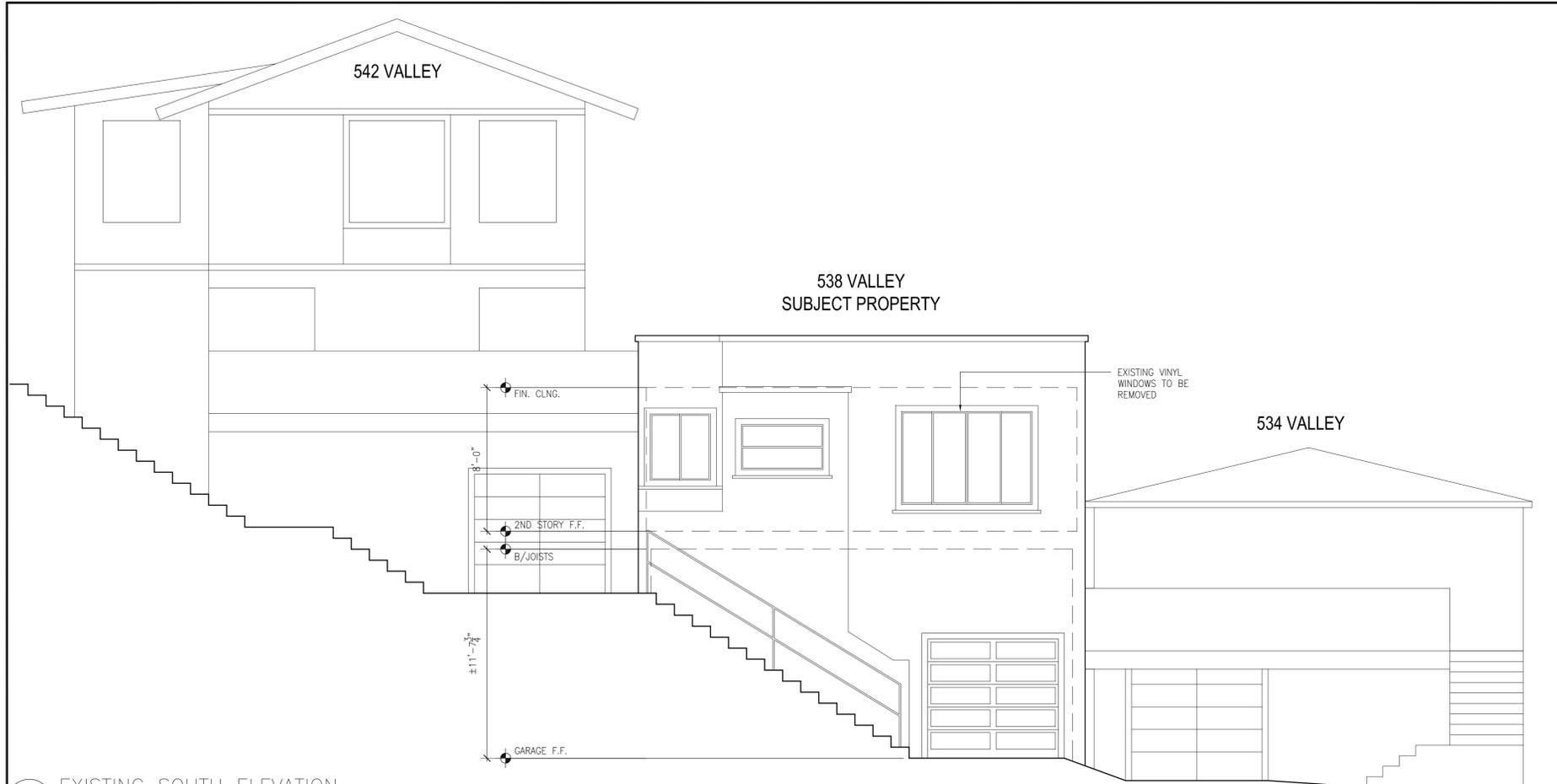
APPROVAL

LICENCED ARCHITECT  
TROY KASHANIPOUR  
C 27646  
REN. 6/30/2013  
STATE OF CALIFORNIA

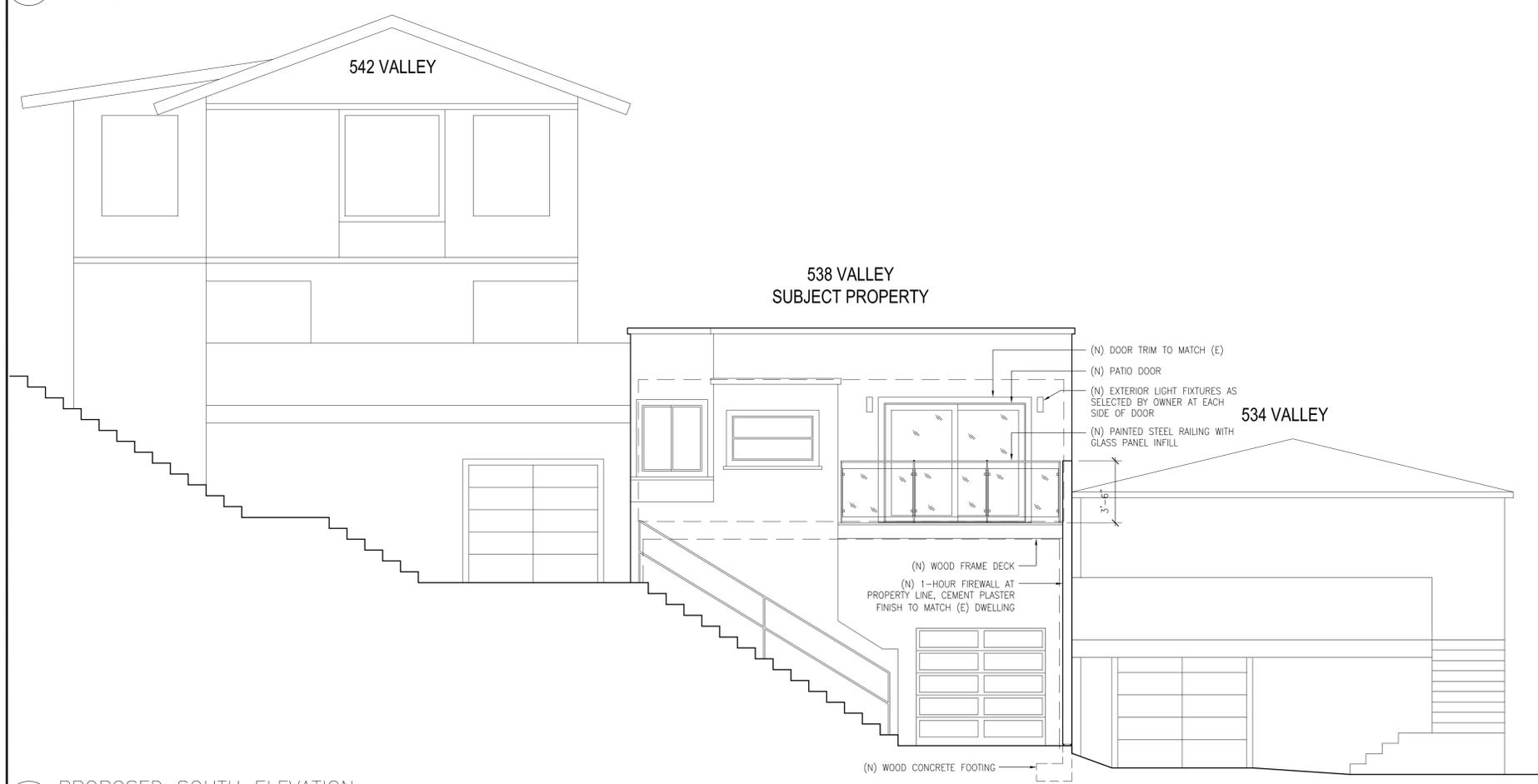
DRAWN: TK  
CHECKED: TK  
SCALE: AS SHOWN

SITE PLAN  
EXISTING & PROPOSED  
FLOOR PLANS

**A2.0**



2 EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

538 VALLEY  
LOCATION OF  
PROPOSED DECK



538 VALLEY  
LOCATION OF  
PROPOSED DECK



534 VALLEY  
ADJACENT PROPERTY



538 VALLEY  
SUBJECT PROPERTY

542 VALLEY  
ADJACENT PROPERTY



538 VALLEY  
SUBJECT PROPERTY

534 VALLEY



TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF, CA 94107. PHONE/FAX 415.631.0869

**538 VALLEY STREET**

OWNER:  
DAVE HOPKINS  
538 VALLEY STREET  
SAN FRANCISCO, CA, 94131  
DHOPKINS@SRGNC.COM  
PHONE: 415.912.6715

ISSUE: ISSUED FOR PERMIT DATE: 06.15.12

CONSULTANT: -

APPROVAL:

LICENCED ARCHITECT  
TROY KASHANIPOUR  
C 27646  
REN. 6/30/2013  
STATE OF CALIFORNIA

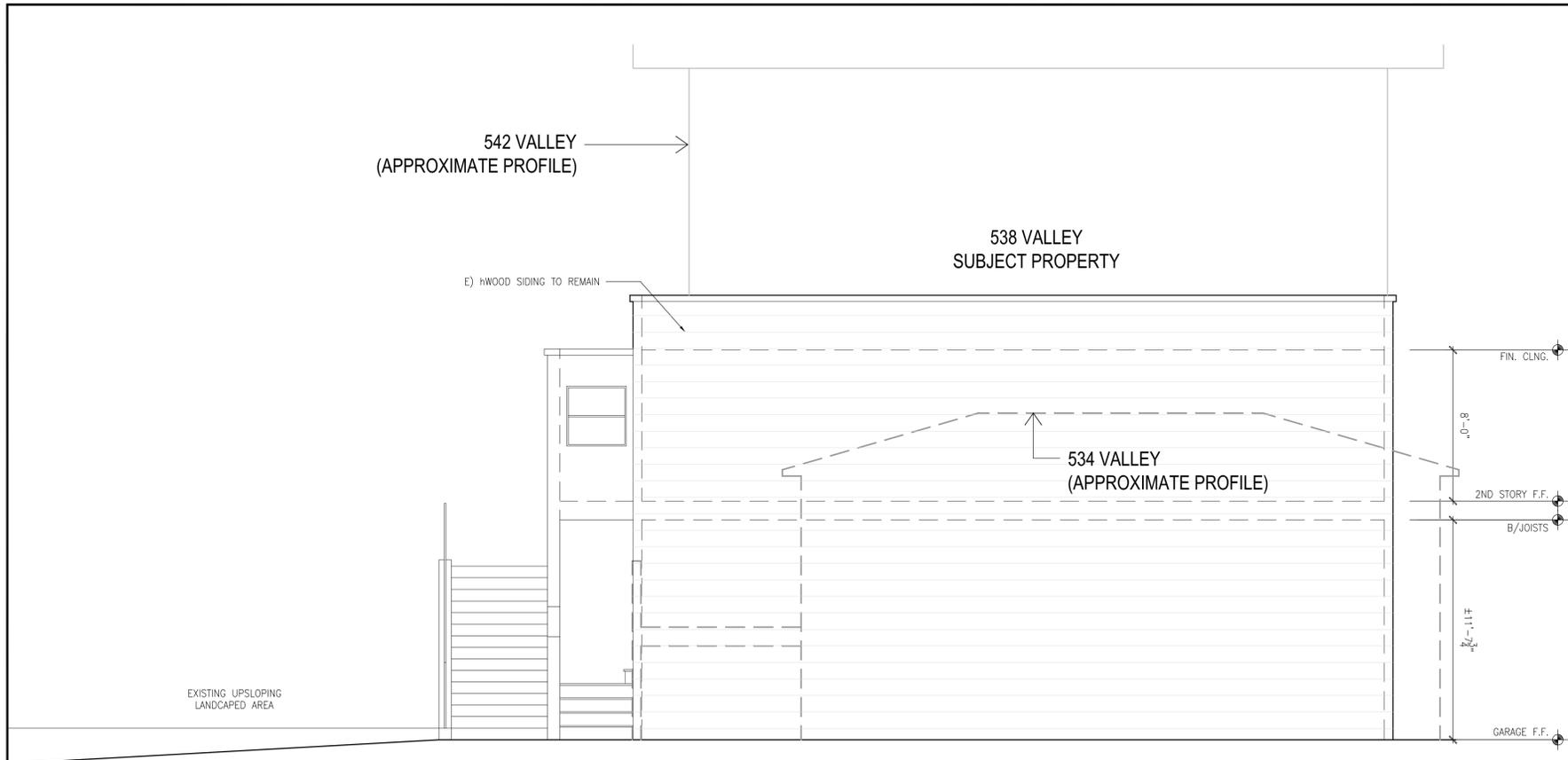
DRAWN: TK

CHECKED: TK

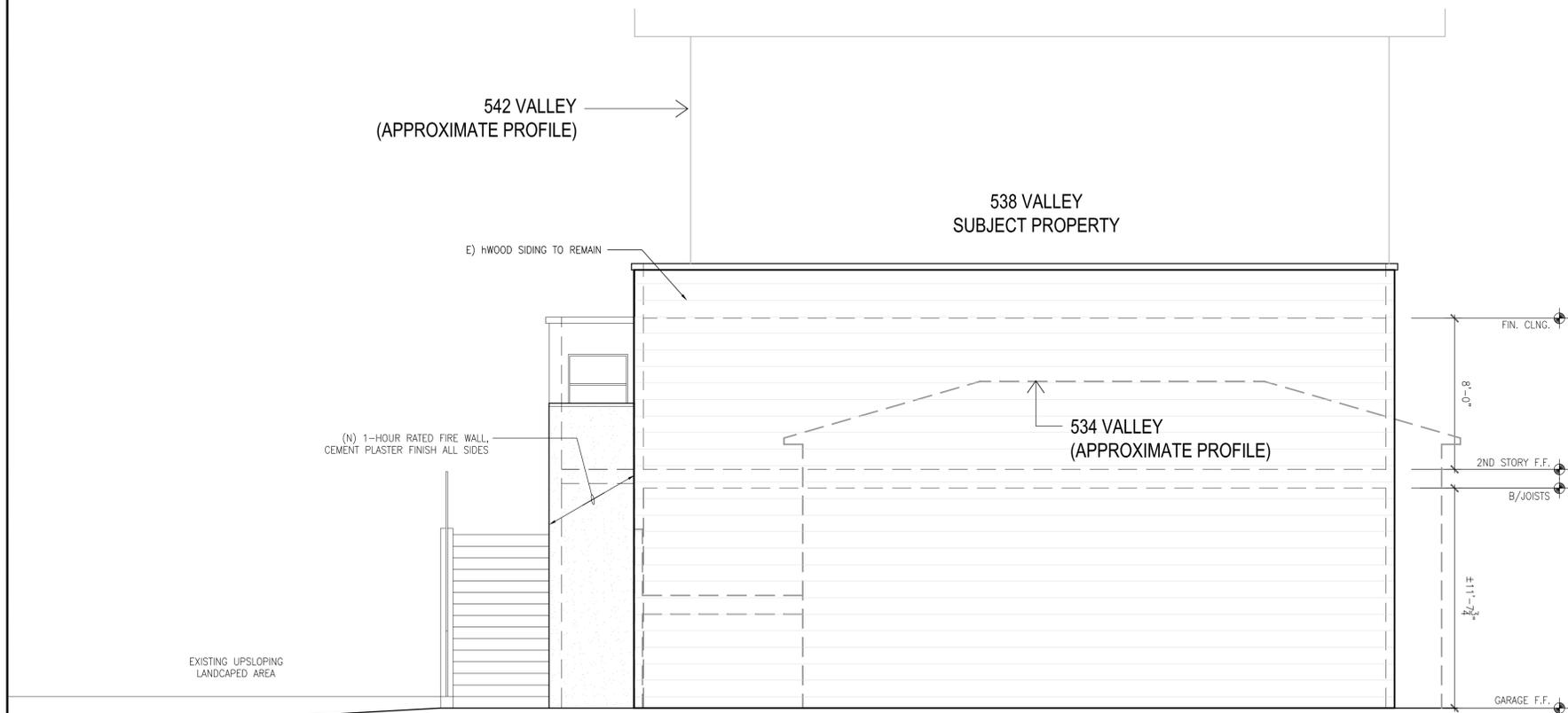
SCALE: 1/4" = 1'-0"

**EXISTING & PROPOSED ELEVATIONS / PHOTOGRAPHS**

A3.0



2 EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



3 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107. PHONE/FAX 415.631.0869

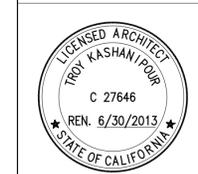
538 VALLEY STREET

OWNER:  
DAVE HOPKINS  
538 VALLEY STREET  
SAN FRANCISCO, CA, 94131  
DHOPKINS@SRGNC.COM  
PHONE: 415.912.6715

ISSUE: ISSUED FOR PERMIT DATE: 09.13.12

CONSULTANT  
-

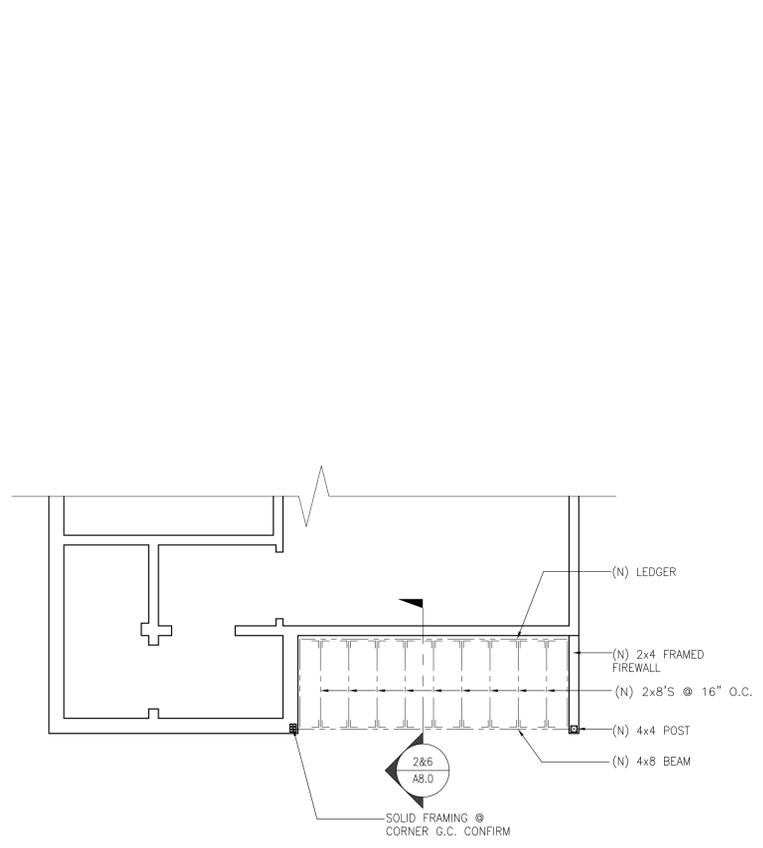
APPROVAL



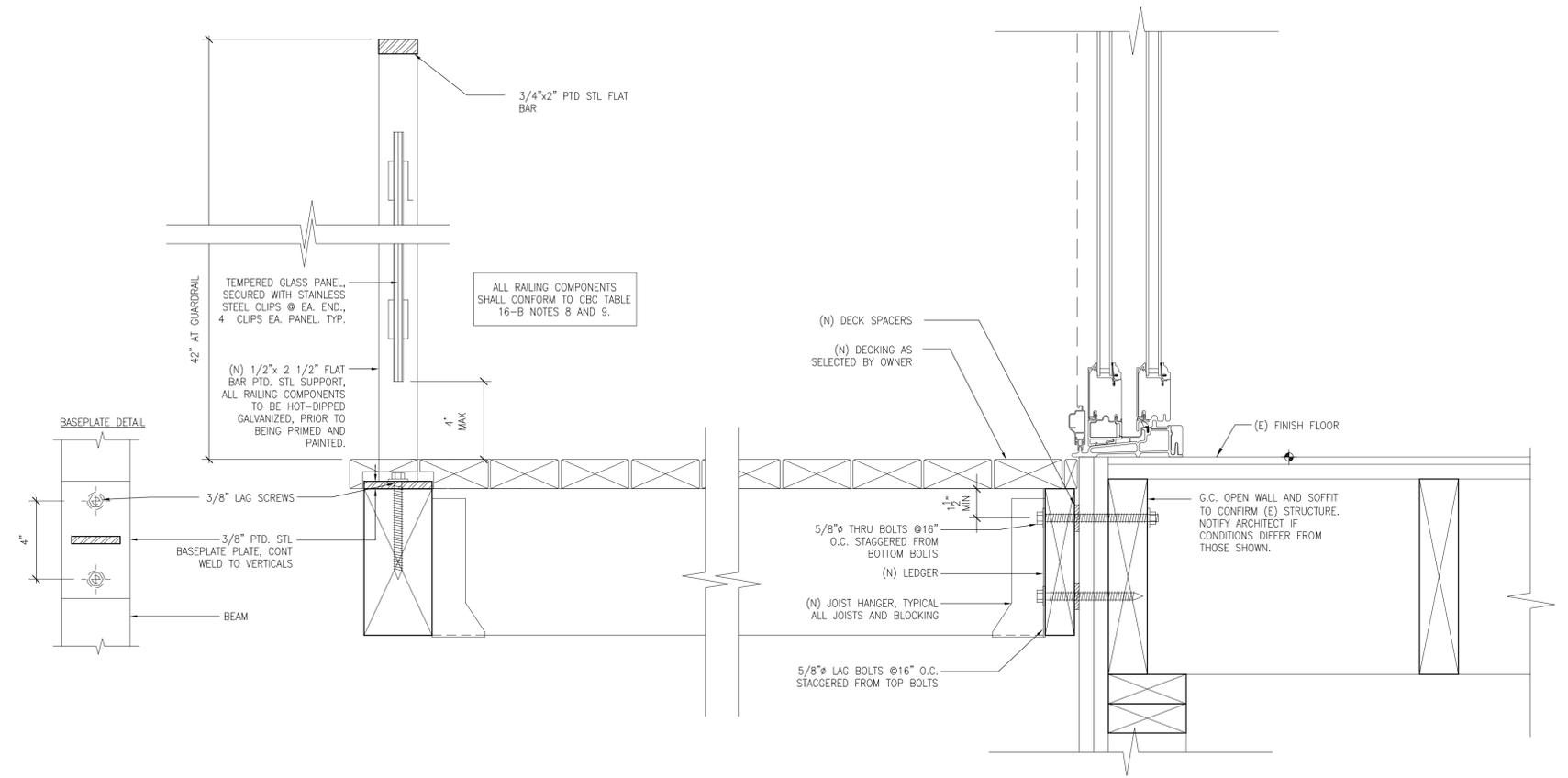
DRAWN: TK  
CHECKED: TK  
SCALE: 1/4"=1'-0"

EXISTING & PROPOSED ELEVATIONS

A3.1

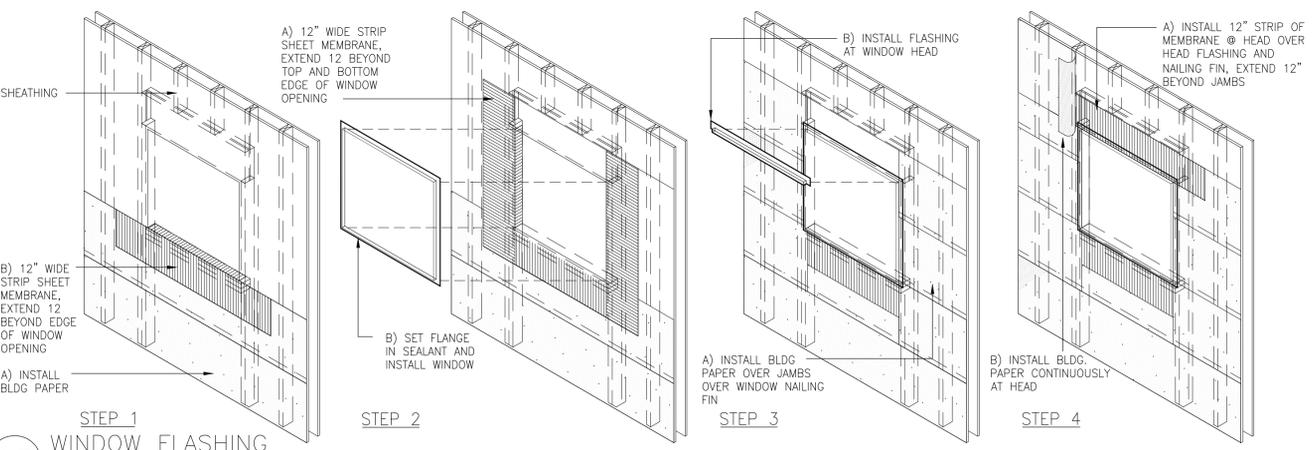


14 FRAMING PLAN AT SECOND FLOOR DECK  
SCALE: 1/4" = 1'-0"

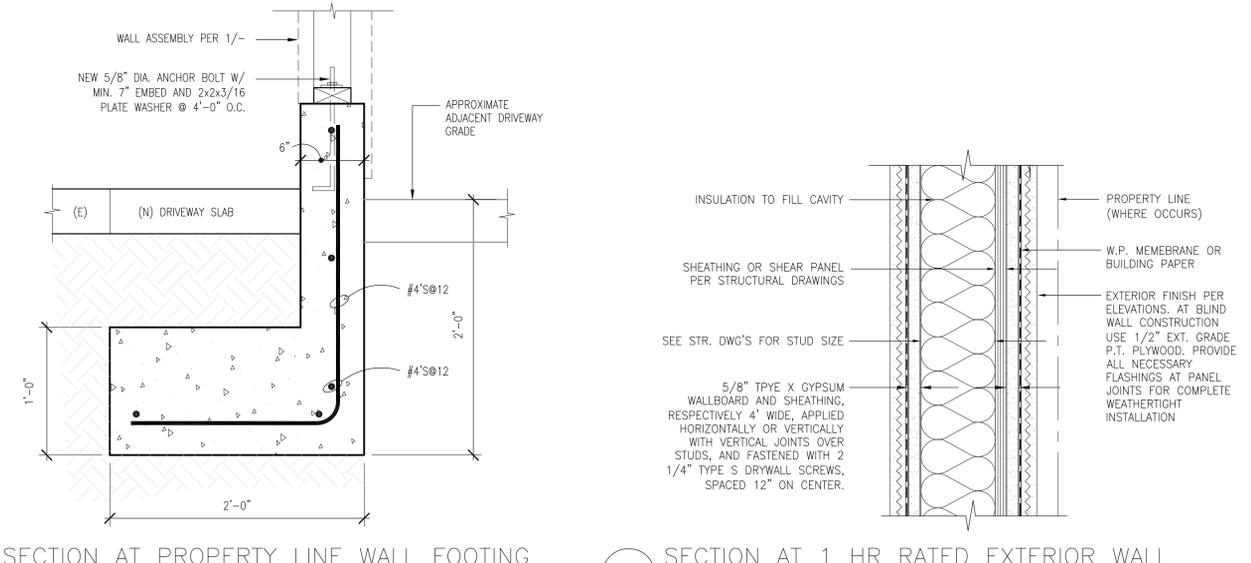


6 SECTION AT DECK & RAILING  
SCALE: 3" = 1'-0"

2 SECTION AT LEDGER & DOOR THRESHOLD  
SCALE: 3" = 1'-0"



13 STEP 1 WINDOW FLASHING  
SCALE: NTS



5 SECTION AT PROPERTY LINE WALL FOOTING  
SCALE: 1-1/2" = 1'-0"

1 SECTION AT 1 HR RATED EXTERIOR WALL  
SCALE: 1-1/2" = 1'-0"

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107. PHONE/FAX 415.431.0869

**538 VALLEY STREET**

OWNER: DAVE HOPKINS  
538 VALLEY STREET  
SAN FRANCISCO, CA, 94131  
DHOPKINS@SRGNC.COM  
PHONE: 415.912.8715

ISSUE: ISSUED FOR PERMIT DATE: 06.15.12

CONSULTANT: -

APPROVAL: -

DRAWN: TK  
CHECKED: TK  
SCALE: 1/4" = 1'-0"

**CONSTRUCTION DETAILS**

**A8.0**

