



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 23, 2013**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear Yard Modification)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 101-109 Duboce Avenue	Case No.: 2012.1072V
Cross Street(s): Valencia Street	Building Permit: 2012.08.28.8377
Block / Lot No.: 3533/001	Applicant/Agent: Jeremy Schaub
Zoning District(s): NCT-3 / 50-X	Telephone: 415-682-8060 x103
Area Plan: Mission	E-Mail: jeremy@gabrielngarchitects.com

PROJECT DESCRIPTION

The proposal includes construction of a one-story vertical addition on an existing three-story fire damaged mixed-use (residential-over-retail) building. The proposal would increase the number of dwelling units from five to seven (with two new dwelling units in the new one-story vertical addition) and be setback 10 feet from each street frontage.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 20 feet. Currently, the existing apartment building encroaches into the rear yard by 10 feet. The new proposal would construct a one-story vertical addition within a portion of the required rear yard; therefore, a rear yard modification is required per Planning Code Section 134.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Richard Sucre** Telephone: **415-575-9108** Mail: Richard.Sucre@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1072V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

ABBREVIATIONS

&	AND
@	AT
○	CENTER LINE
◊	DIAMETER
○	POUND OR NUMBER
#	PROPERTY LINE
ℓ	
A.D.	AREA DRAIN
ADJ.	ADJACENT
ALUM.	ALUMINUM
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
AWN.	AWNING WINDOW
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BM.	BEAM
BOT.	BOTTOM
C.B.	CATCH BASIN
C.O.	CLEANOUT
CAB.	CABINET
CLG.	CEILING
CLO.	CLOSET
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONST.	CONSTRUCTION
CORR.	CORRIDOR
CSMT.	CASEMENT WINDOW
D.H.	DOUBLE HUNG WINDOW
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DR.	DOOR
D/W.	DISHWASHER
DWG.	DRAWING
E.	EAST
(E)	EXISTING
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EQ.	EQUAL
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
F.D.C.	FIRE DEPT. CONNECTION
F.G.	FIXED GLASS WINDOW
F.P.	FIREPLACE
FDN.	FOUNDATION
FIN.	FINISH
FLR.	FLOOR
FLUOR.	FLUORESCENT
FT.	FOOT OR FEET
FTG.	FOOTING
G.F.I.	GROUND FAULT
INTERRUPTER	
G.S.M.	GALVANIZED
	SHEET METAL
GA.	GAUGE
GL.	GLASS
GND.	GROUND
GYP.	GYPSUM
H.B.	HOSE BIBB
HDWD.	HARDWOOD
HORIZ.	HORIZONTAL
HR.	HOUR
HT.	HEIGHT
INSUL.	INSULATION
INT.	INTERIOR
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
MECH.	MECHANICAL
MET.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
N.	NORTH
(N)	NEW
N.T.S.	NOT TO SCALE
NO. OR #	NUMBER
O.C.	ON CENTER
O.F.D.	OVERFLOW DRAIN
O.H.	OVERHANG
OBS.	OBSCURED
OPNG.	OPENING
PL	PROPERTY LINE
PL.	PLATE
PLYWD.	PLYWOOD
PT.	POINT
Q.T.	QUARRY TILE
R.	RISER
R.D.	ROOF DRAIN
R.W.	REDWOOD
R.W.L.	RAIN WATER LEADER
RAD.	RADIUS
REFR.	REFRIGERATOR
REINFC.	REINFORCED
REQ.	REQUIRED
RET.	RETAINING
S.	SOUTH
S.G.D.	SLIDING GLASS DOOR
S.H.	SINGLE HUNG WINDOW
SIM.	SIMILAR
SL.	SLIDER WINDOW
SPEC.	SPECIFICATION
SQ.	SQUARE
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STRL.	STRUCTURAL
SYM.	SYMMETRICAL
T.&G.	TONGUE & GROOVE
THK.	THICK
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
W.	WEST
W/	WITH
WD.	WOOD
W/O	WITHOUT
WP.	WATERPROOF
WT.	WEIGHT

101-09 DUBOCE AVE / 200 VALENCIA ST



SUBJECT APPLICATION

DRAWING INDEX

A-0	PROJECT DATA
A-0.1	PRE-APPLICATION LETTER, FIRE FLOW & EGRESS PLANS
A-1.0	SITE & ROOF PLAN
A-2.0	LOWER FLOOR PLANS
A-2.1	3RD & 4TH FLOOR PLANS
A-3.0	FRONT & REAR ELEVATIONS
A-3.1	RIGHT ELEVATION
A-3.2	LEFT ELEVATION
A-3.3	LONG. SECTION
A-3.4	CROSS SECTION

SCOPE OF WORK:

- 1 STORY VERTICAL ADDITION w/ 2 NEW DWELLING UNITS
- ADD FIRE ESCAPE TO REAR OF BUILDING
- BUILDING TO BE FULLY SPRINKLED UNDER SEPARATE PERMIT

PROJECT PHASING:

- 1: FOUNDATION REINFORCEMENT & FIRE DAMAGE REPAIR: 2012-07-24-5700
- 2: COMMERCIAL & RESIDENTIAL REMODEL w/ LIGHTWELL INFILL
- 3: 4TH FLOOR VERTICAL ADDITION

PROJECT DATA

BUILDING PERMIT APPLICATION #: 2012-08-28-8439 S

BLOCK/LOT: 3533 / 001

ZONING: NCT-3

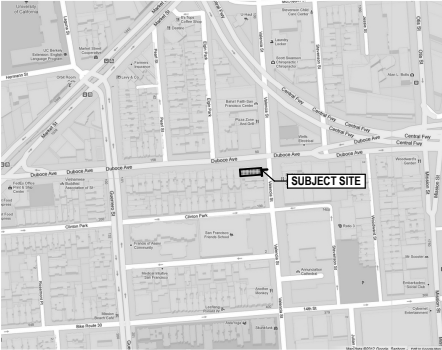
OCCUPANCY: R-2 / M

NUMBER OF UNITS: EXISTING: 5 RESIDENTIAL, 1 COMMERCIAL
PROPOSED: 7 RESIDENTIAL, 1 COMMERCIAL

NUMBER OF STORIES: EXISTING: 3 w/ BASEMENT
PROPOSED: 4 w/ BASEMENT

TYPE OF CONSTRUCTION: EXISTING: V-B
PROPOSED: V-A, FULLY SPRINKLED

VICINITY MAP



SYMBOLS

	COLUMN GRID LINE		EL. = XX.XX' ELEVATION
	SECTION / DETAIL IDENTIFICATION SHEET NUMBER		EXISTING STUD WALL
	INTERIOR ELEVATION ID		NEW STUD WALL
	INTERIOR ELEVATION #		NEW DOOR
	SHEET NUMBER		EXISTING WALL/DOOR TO BE REMOVED
	ENLARGED PLAN SECTION OR DETAIL REFERENCE		EXISTING WALL/DOOR TO REMAIN
	DOOR NUMBER		WALL DETAIL NUMBER
	WINDOW NUMBER		

Area Calculation (In Square Feet):

	Existing								
	Valencia St.	#200	#101	#103	#105	#107	#109	Common Area	Total
4th Floor									
3rd Floor				1205			1146	180	2531
2nd Floor				1205			1146	180	2531
1st Floor					1071			124	1195
Ground Floor	1670							412	2082
Basement								940	940
Total	1670	1205	1205	1071	1146	1146	1836	9279	

Total Living area for all Units = 7097 S.F.

Total Commercial Area = 1670 S.F.

Total Common Area= 1985 S.F.

Total Gross Area = 10752 S.F.

NOTE:

Area Calculation as shown is intended for permit application purposes only and shall not be used for selling or leasing purposes. Final square footage and finished dimensions may vary from these plans due to construction variables.

* Unit area includes net area inside of unit only

** Common area includes all areas outside of unit (common stair/hallway, exterior walls, etc.)

Open Space (In Square Feet):

	#101	#103	#105	#107	#109	#111	#113	Total
4th Floor						294	140	434
3rd Floor		0			0			0
2nd Floor	0			0				0
1st Floor			320					320
Provided area	0	0	320	0	0	294	140	754
Required area	80	80	80	80	80	80	80	

GENERAL NOTES

PLEASE TAKE NOTICE THAT THE DRAWINGS AS PREPARED BY GABRIEL NG + ARCHITECTS, INC. FOR THE PROJECT ARE LIMITED TO THE EXTENT AS REQUIRED FOR PLAN CHECK PURPOSES BY CITY AGENCIES HAVING JURISDICTION OVER THE PROJECT.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN-BUILD (DESIGN AND INSTALL) ALL SYSTEMS AND ELEMENTS AS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, MECHANICAL, FIRE SPRINKLER AND ELECTRICAL SYSTEMS; AND ALL DETAILS FOR ROOFING, FLASHING, WATERPROOFING AND SOUND PROOFING STANDARDS.

THE USE OF THESE DRAWINGS FOR THE CONSTRUCTION OF THE PROJECT SHALL CONSTITUTE THE CONTRACTOR'S REPRESENTATION THAT IT HAS REVIEWED AND VERIFIED THE BUILDABILITY OF THE PROJECT AS SHOWN ON THESE DRAWINGS IN THE LIGHT OF SITE CONDITIONS AND APPLICABLE CODE REQUIREMENTS; AND THAT ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR SHALL UNDERTAKE FULL RESPONSIBILITIES TO DESIGN-BUILD ALL ELEMENTS AND MAKE NECESSARY ADJUSTMENTS AS REQUIRED FOR THE COMPLETION OF THE PROJECT IN ITS ENTIRETY PURSUANT TO ALL APPLICABLE CODE REQUIREMENTS, TRADE AND WORKMANSHIP STANDARDS.

ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY BUILDING CODE AND INTERNATIONAL BUILDING CODE, AS WELL AS ALL APPLICABLE FEDERAL, STATE, OSHA, BAY AREA AIR QUALITY MANAGEMENT DISTRICT, COUNTY AND CITY ORDINANCES, AMENDMENTS AND RULINGS. THE CITY CODE SHALL GOVERN WHEN IT AND THE IBC OR ANY OTHER REFERENCE CODES AND STANDARDS ARE IN CONFLICT.

THE CONTRACTOR SHALL GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE LAWFUL EXECUTION OF THE WORK.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE LOT, EASEMENT, SOIL CONDITIONS, ALL PROPOSED DIMENSIONS, INCLUDING EXCAVATION, UNDERPINNING, DRAINAGE AND UTILITY LINES AT SUBJECT PROPERTY, AS WELL AS, AT ADJACENT PROPERTIES. IF THE CONTRACTOR ENCOUNTERS DISCREPANCIES IN THE DRAWINGS, HE SHALL CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF CORRECTIONS TO THE WORK IF HE NEGLECTS TO ADHERE TO THIS PROCESS.

THE DRAWINGS ARE INTENDED TO DESCRIBE AND PROVIDE FOR A FINISHED PIECE OF WORK. THE CONTRACTOR SHALL UNDERSTAND THAT THE WORK HEREIN DESCRIBED SHALL BE COMPLETED IN A GOOD AND WORKMANLIKE MANNER AND IN EVERY DETAIL ALTHOUGH EVERY NECESSARY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. EXCEPT AS OTHERWISE SPECIFICALLY STATED, THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS, FEES, MATERIALS, LABOR, TOOLS, AND EQUIPMENT FOR THE ENTIRE COMPLETION OF THE WORK INTENDED TO BE DESCRIBED.

AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE, SUBJECT PROPERTY, AND ADJACENT PROPERTIES. THE ARCHITECT SHALL NOT REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR THE OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTORS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

ALL DRAWINGS, SPECIFICATIONS, AND INFORMATION FURNISHED HERewith ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL BE HELD CONFIDENTIAL AND SHALL NOT BE USED FOR ANY PURPOSE OR PURPOSES OTHER THAN THOSE FOR WHICH THEY HAVE BEEN SUPPLIED AND PREPARED. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING, AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

ANY DRAWINGS ISSUED WITHOUT THE APPROVAL STAMP, SIGNED AND DATED BY THE BUILDING DEPARTMENT SHALL BE CONSIDERED IN THE PRELIMINARY STAGE AND SHALL NOT BE USED FOR CONSTRUCTION.

DO NOT SCALE DRAWINGS.



GABRIEL NG + ARCHITECTS INC.

1360 9TH AVENUE, SUITE 210
SAN FRANCISCO CA 94122
415-682-8060 Fax 510-281-1359
www.gabrielngarchitects.com

ONE STORY VERTICAL ADDITION
101-9 DUBOCE AVE / 200 VALENCIA ST
BLOCK 3533, LOT 001
SAN FRANCISCO, CA 94103

PROJECT DATA

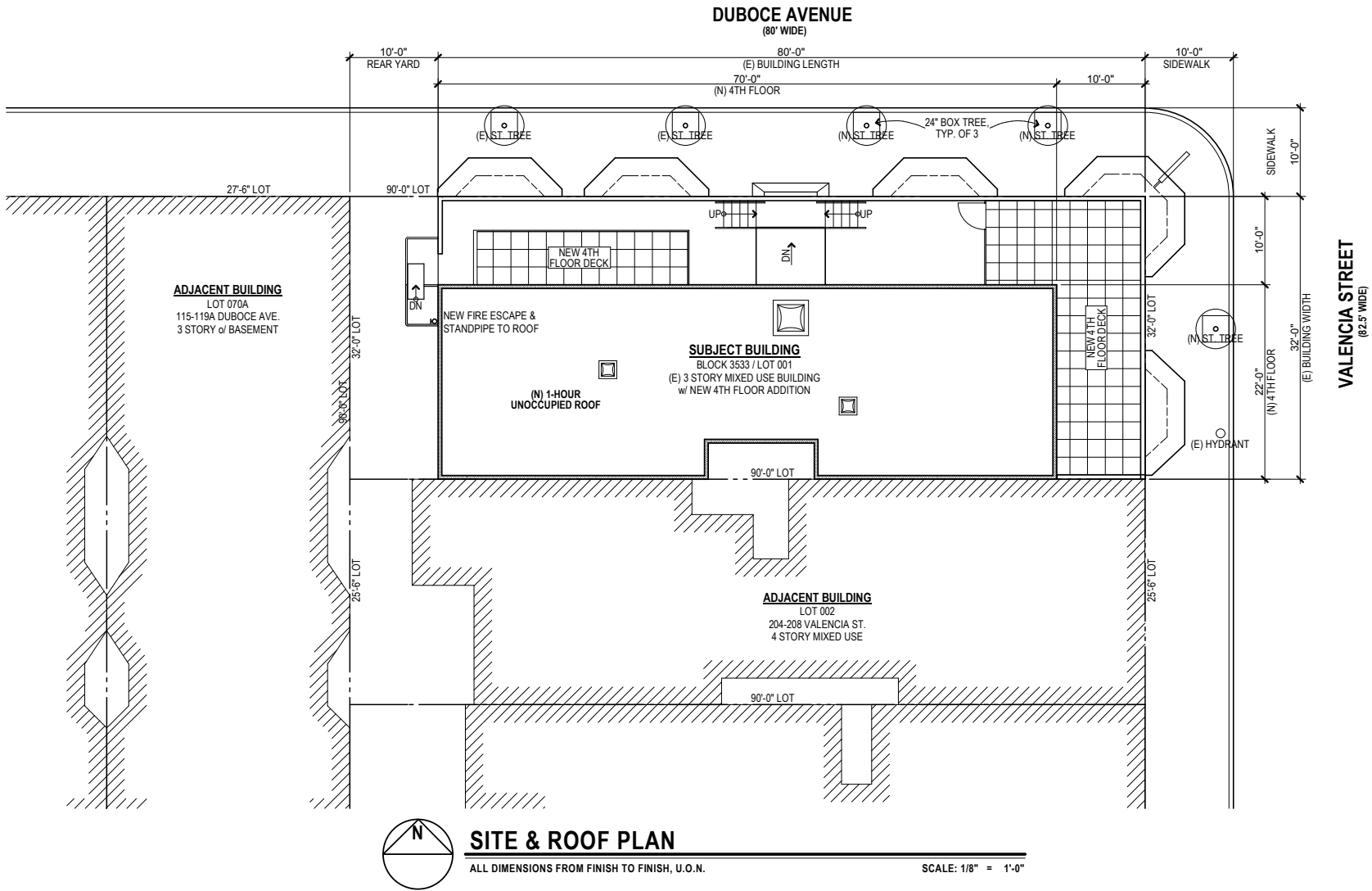
Date	By
8/1/12	JS
8/15/12	JS
8/23/12 Pre-Application Meeting	JS
11/29/12 Preservation Comments	JS

Job 120607

Sheet

A-0

Of 9 Sheets



ONE STORY VERTICAL ADDITION
101-9 DUBOCE AVE / 200 VALENCIA ST
BLOCK 3533, LOT 001
SAN FRANCISCO, CA 94103

SITE & ROOF PLAN



Date	By
8/1/12	JS
8/15/12	JS
8/23/12	JS
Pre-Application Meeting	JS
11/29/12	JS
Preservation Comments	

Job 120607

Sheet

A-1.0

Of 9 Sheets



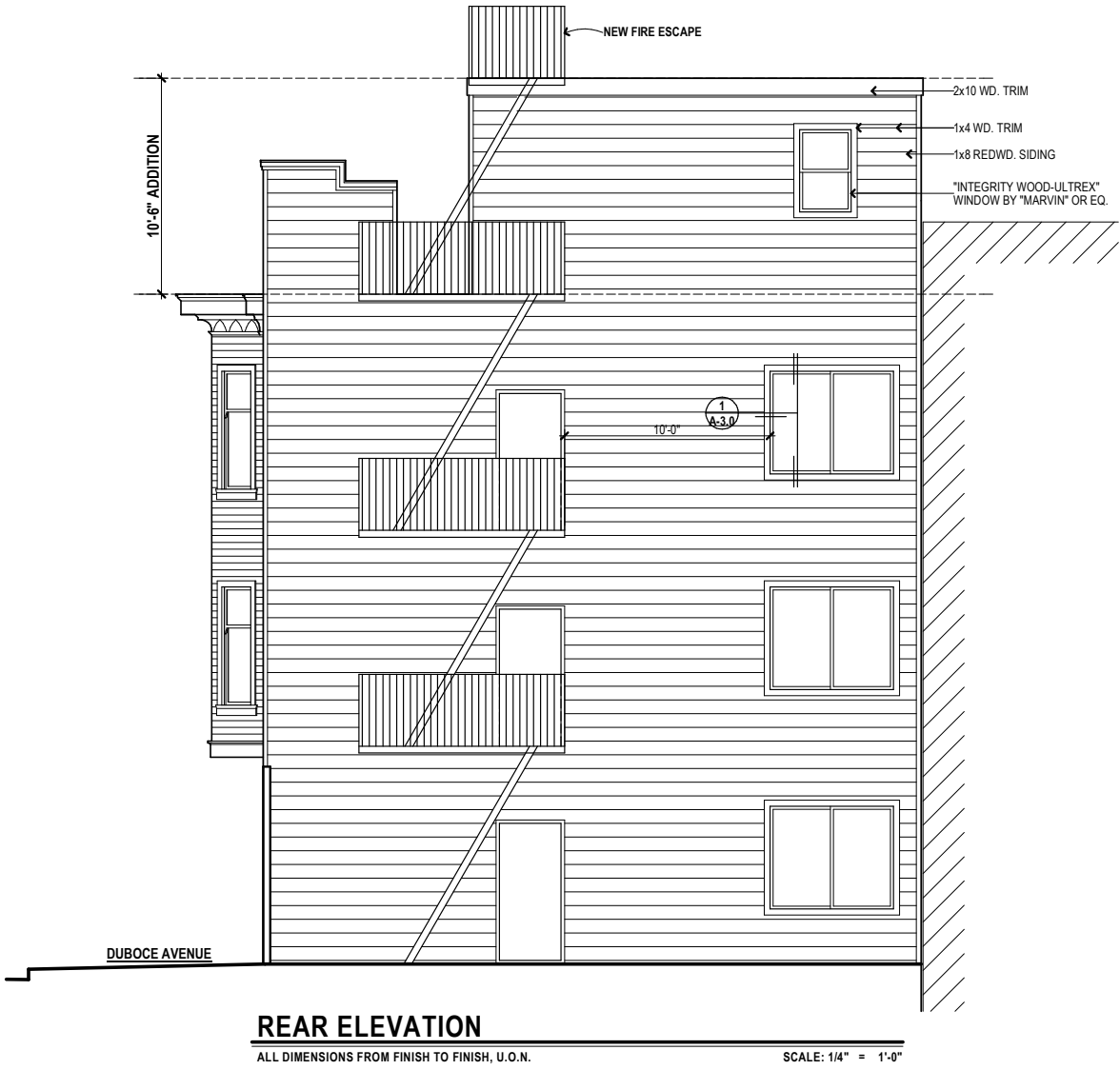
GABRIEL NG + ARCHITECTS INC.
1360 9TH AVENUE, SUITE 210
SAN FRANCISCO CA 94122
415-682-8060 Fax 510-281-1359
www.gabrielngarchitects.com

ONE STORY VERTICAL ADDITION
101-9 DUBOCE AVE / 200 VALENCIA ST
BLOCK 3533, LOT 001
SAN FRANCISCO, CA 94103

FRONT & REAR ELEVATIONS



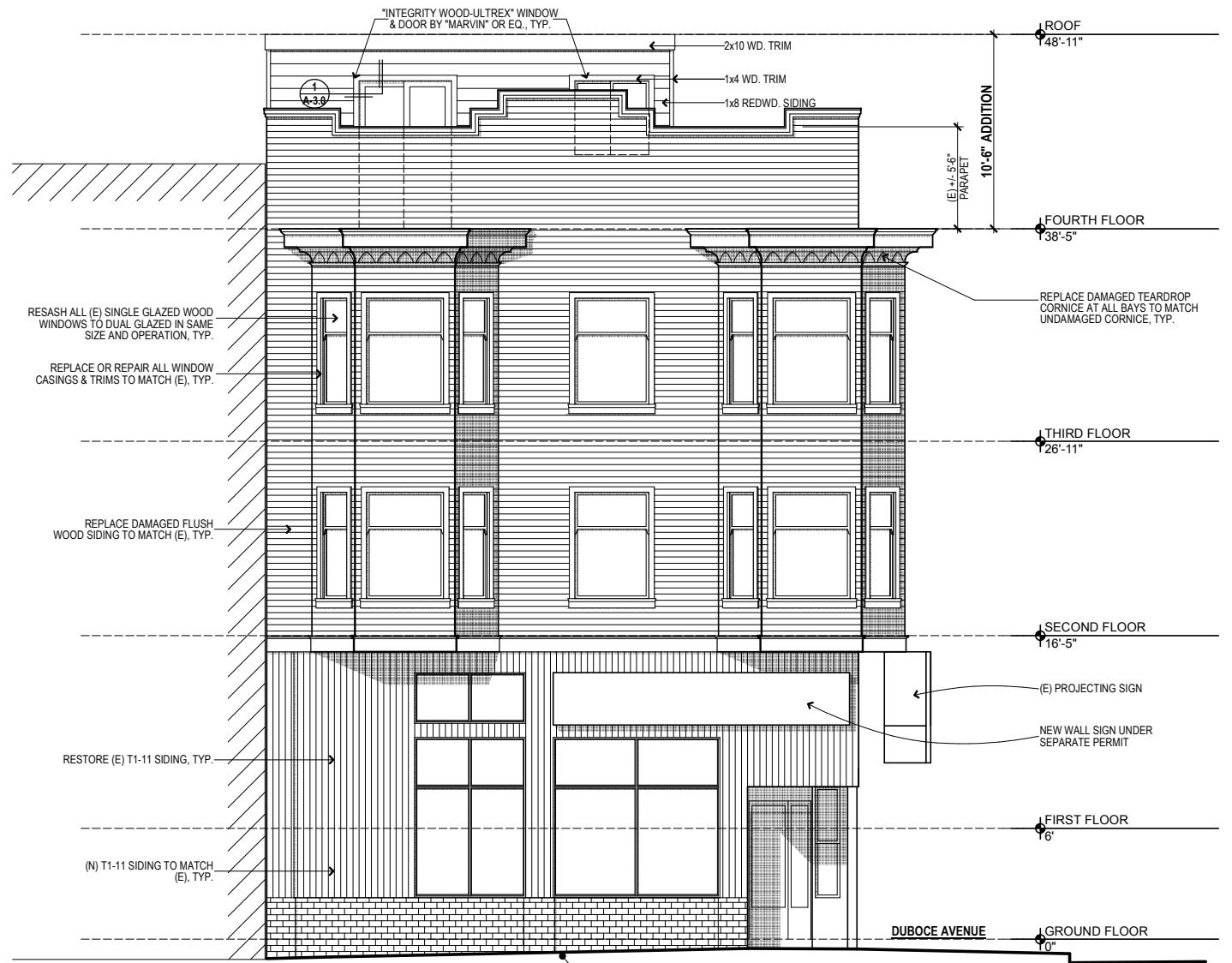
Date	By
8/1/12	JS
8/15/12	JS
8/23/12 Pre-Application Meeting	JS
11/29/12 Preservation Comments	JS



REAR ELEVATION

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

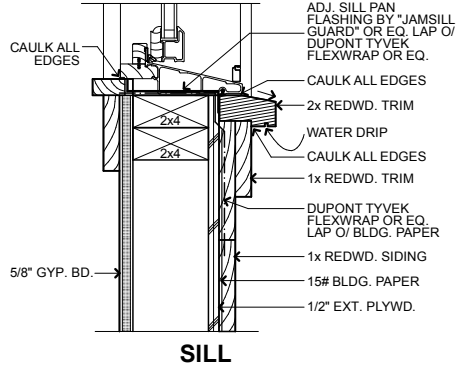
SCALE: 1/4" = 1'-0"



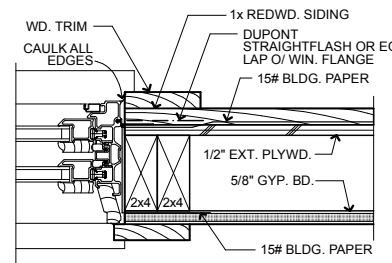
FRONT ELEVATION - VALENCIA ST.

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

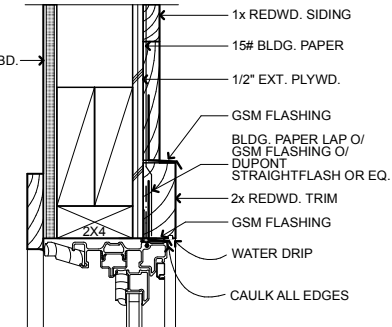
SCALE: 1/4" = 1'-0"



SILL



JAMB



HEAD

1. PROVIDE FLASHING SYSTEM BY DUPONT TYVEK OR EQ., U.O.N.
 2. INSTALL ALL WINDOWS & FLASHING PER MFR. INSTRUCTIONS
 3. VERIFY EGRESS SIZES W/ MANUFACTURER
- "INTEGRITY WOOD-ULTREX" WINDOW BY MARVIN OR EQ., TYP.

1 WINDOW DETAIL - WOOD SIDING
SCALE 3" = 1'-0"



GABRIEL NG +
ARCHITECTS INC.
1360 9TH AVENUE, SUITE 210
SAN FRANCISCO CA 94122
415-682-8060 Fax 510-281-1359
www.gabrielngarchitects.com

ONE STORY VERTICAL ADDITION
101-9 DUBOCE AVE / 200 VALENCIA ST
BLOCK 3533, LOT 001
SAN FRANCISCO, CA 94103

RIGHT ELEVATION

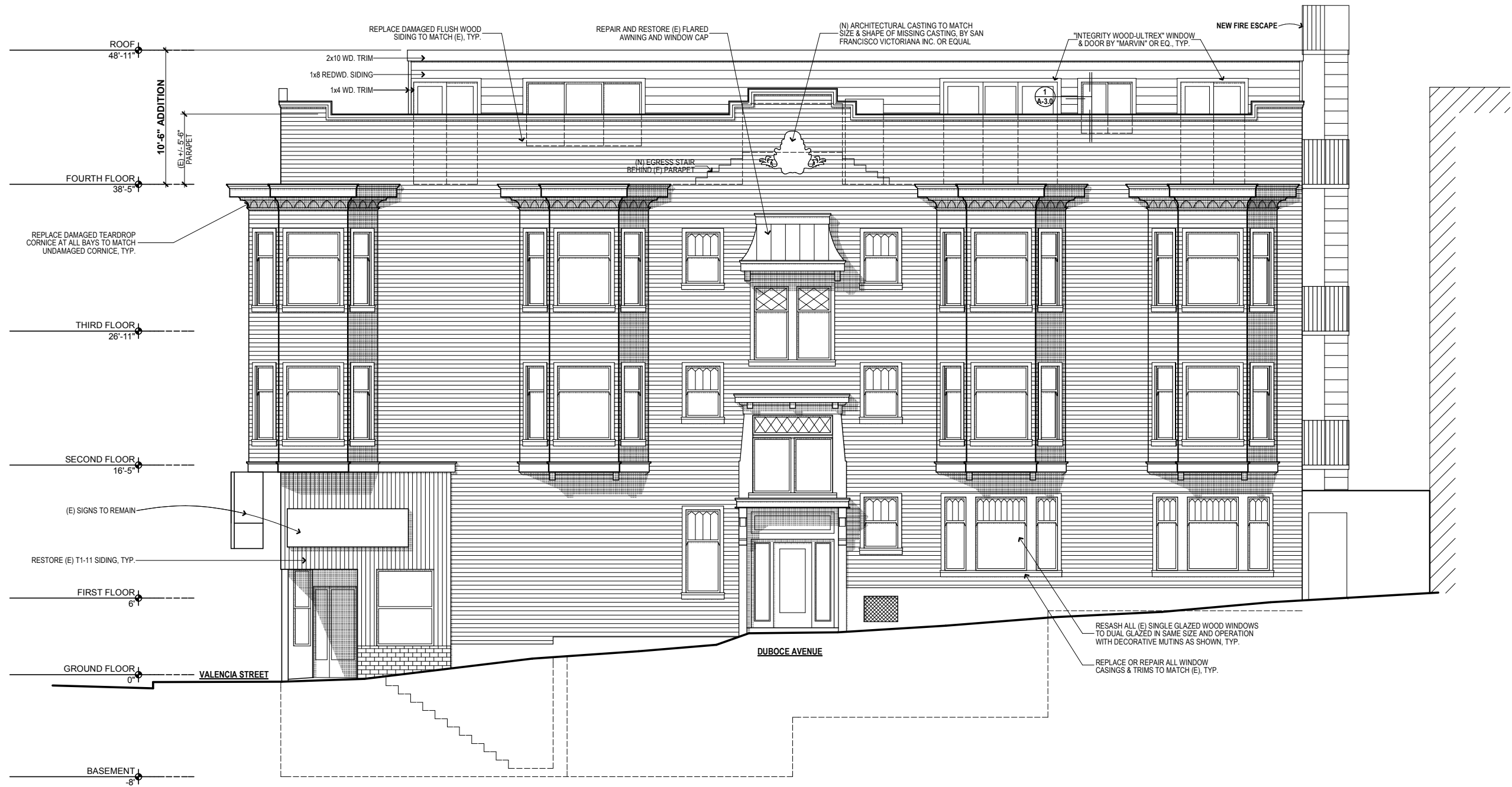


Date	By
8/1/12	JS
8/15/12	JS
8/23/12 Pre-Application Meeting	JS
11/29/12 Preservation Comments	JS

Job 120607

Sheet

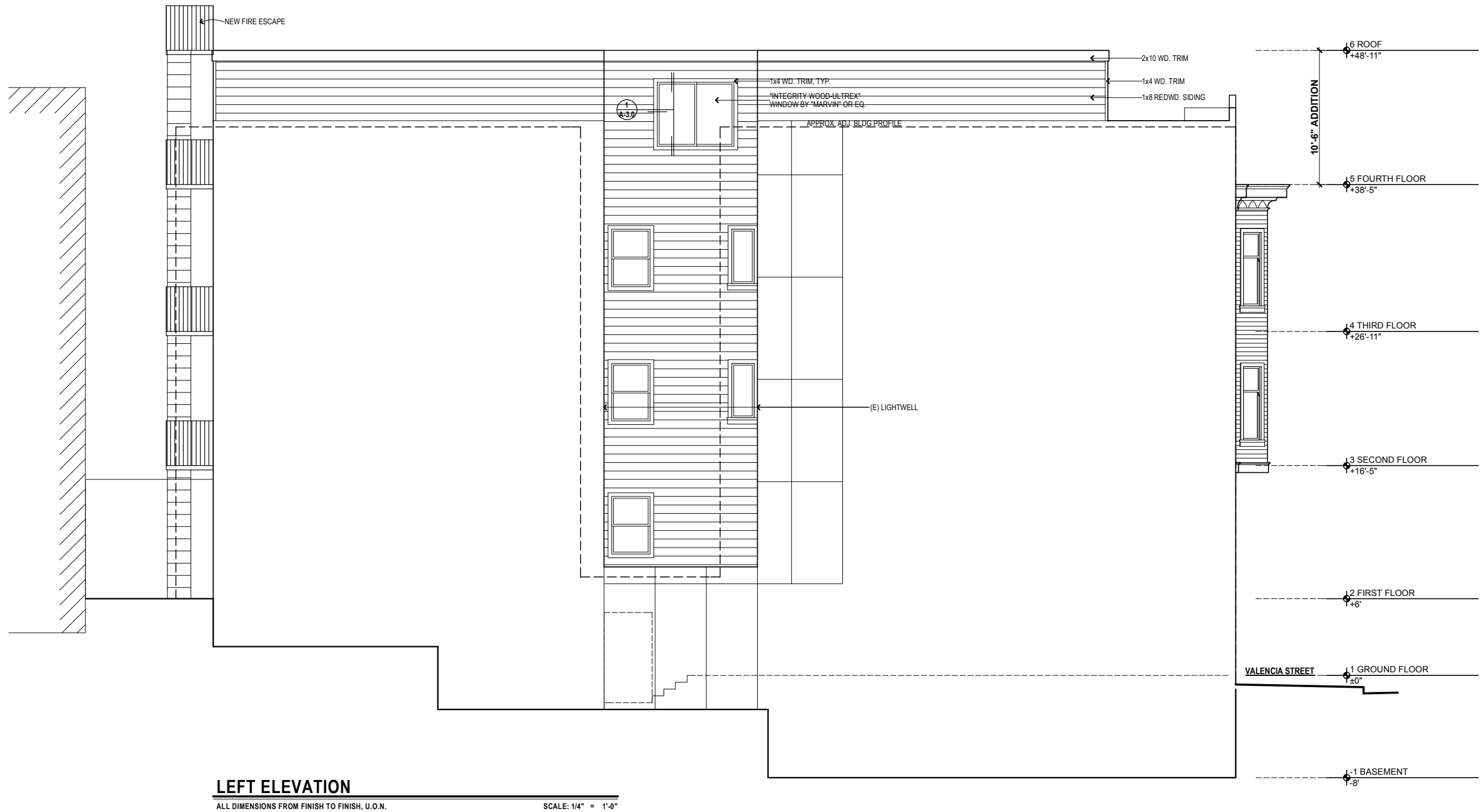
A-3.1
Of 9 Sheets



RIGHT ELEVATION - DUBOCE AVE.

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

SCALE: 1/4" = 1'-0"



GABRIEL NG +
ARCHITECTS INC.

1360 9TH AVENUE, SUITE 210
SAN FRANCISCO CA 94122
415-682-8060 Fax 510-281-1359
www.gabrielngarchitects.com

ONE STORY VERTICAL ADDITION
101-9 DUBOCE AVE / 200 VALENCIA ST
BLOCK 3533, LOT 001
SAN FRANCISCO, CA 94103

LEFT ELEVATION



Date	By
8/1/12	JS
8/15/12	JS
8/23/12 Pre-Application Meeting	JS
11/29/12 Preservation Comments	JS

Job 120607

Sheet

A-3.2

Of 9 Sheets