



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 25, 2013**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Front Setback and Street Frontage)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 2440 Vallejo St	Case No.: 2012.1283V
Cross Street(s): Pierce/Steiner Streets	Building Permit: 2013.06.19.9987
Block / Lot No.: 0559/039	Applicant/Agent: Robin Potampa-Ziv
Zoning District(s): RH-2 / 40-X	Telephone: 415 616-9600
Area Plan: N/A	E-Mail: zivdavis@mindspring.com

PROJECT DESCRIPTION

The project proposes to relocate the garage door closer to the street to align with the forward edge of the existing one-story deck at the front of the 3-story single-family home.

Planning Code Sections 132(g)&(h), require that 20 percent of the required front setback be devoted to landscaping and 50 percent of the required front setback be comprised of permeable surfaces. The project requires approximately 41 sf of landscaping and 102 sf of permeable surfaces. The project proposes approximately 28 sf of landscaping and permeable surfaces; therefore, a variance is required.

Planning Code Section 144(b)(1) requires that street-facing garage structures and garage doors not extend closer to the street than a primary building facade. The project would place the garage door forward of the main building facade; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **glenn cabreros** Telephone: **415-558-6169** Mail: **glenn.cabreros@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: **<http://sf-planning.org/ftp/files/notice/2012.1283V.pdf>**

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

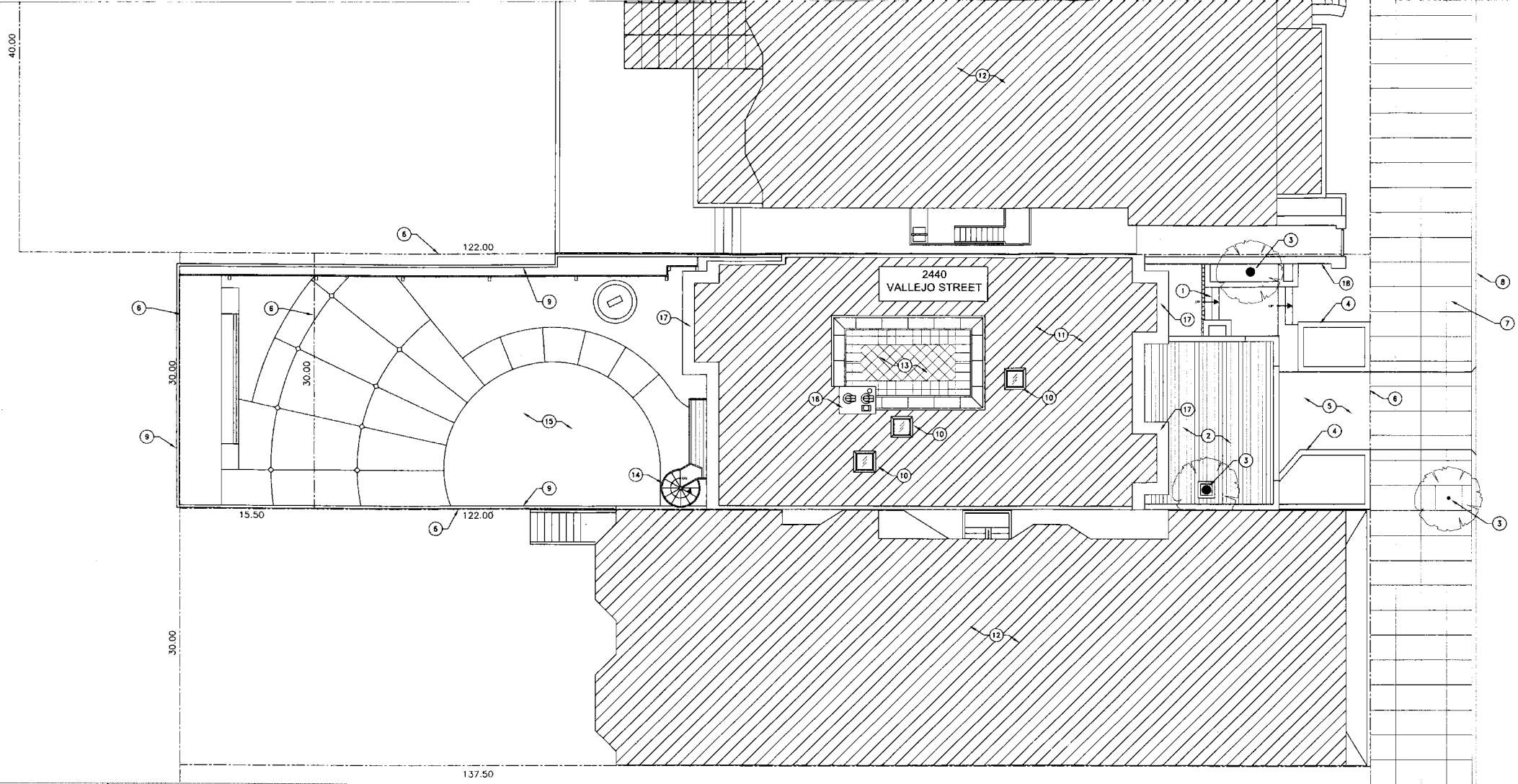
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

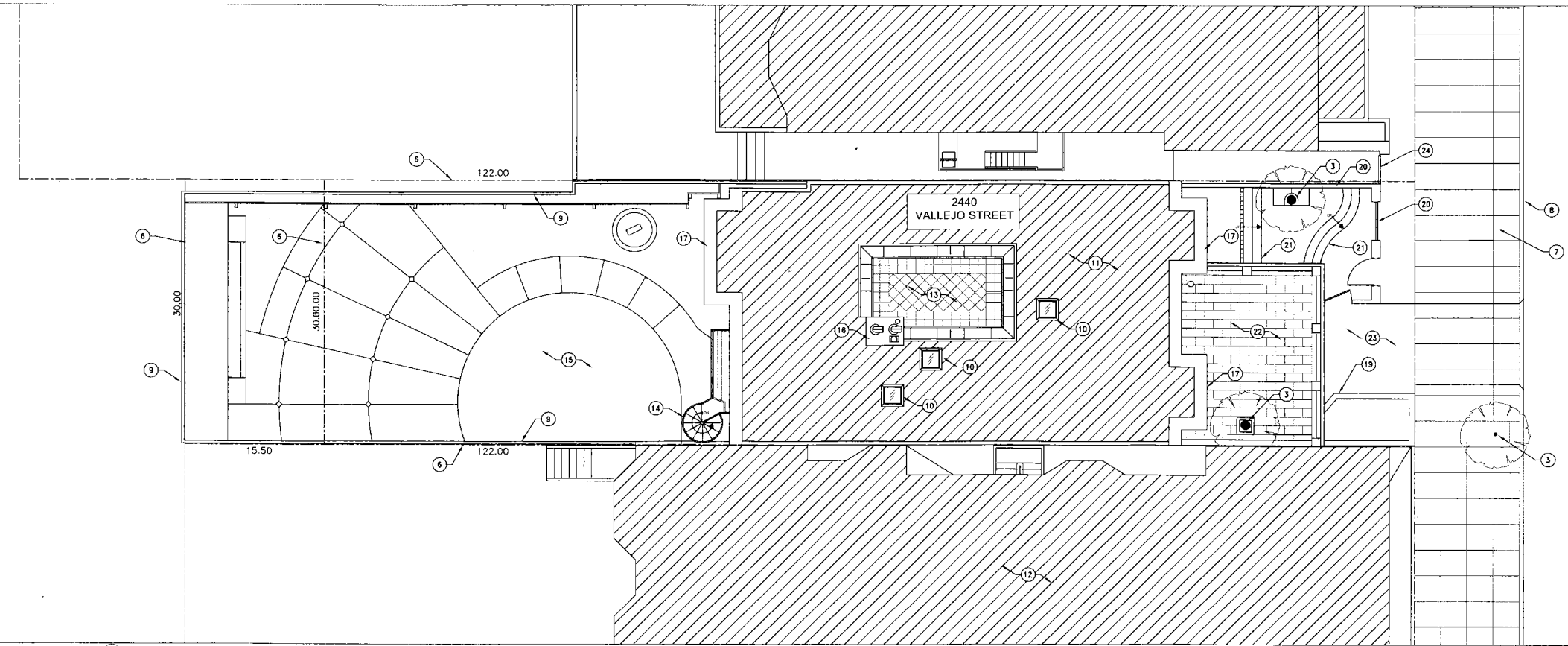
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



WEST SITE-ROOF PLAN
1" = 1'-0"



EAST SITE-ROOF PLAN
1" = 1'-0"

ZONING RH-1
TYPE V-B
OCCUPANCY R-3
PROJECT AREA 690 SQ FT / ALL EXISTING
CODES CBC 2010 EDITION
SAN FRANCISCO CODE AMENDMENTS 2010 EDITION

PROJECT DESCRIPTION:
NEW GATE AT SIDEWALK, NEW COURTYARD WALL & FINISHES AT ENTRY COURTYARD & DRIVEWAY. NEW DECK RAILING.

SITE - ROOF PLANS KEYED NOTES

1. EXISTING ENTRANCE (TO BE MODIFIED PER PLAN).
2. EXISTING DECK - CAR PORT (TO BE MODIFIED PER PLAN).
3. EXISTING TREE (NO CHANGE, PROTECT AS REQUIRED).
4. EXISTING PLANTER (TO BE REMOVED).
5. EXISTING DRIVEWAY (TO BE MODIFIED PER PLAN).
6. EXISTING PROPERTY LINE.
7. EXISTING CONCRETE SIDEWALK (NO CHANGE).
8. EXISTING 6" CONCRETE CURB (NO CHANGE).
9. EXISTING WOOD FENCE (NO CHANGE).
10. EXISTING SKYLIGHT (NO CHANGE).
11. EXISTING MIN. SLOPED BUILT UP BITUMINOUS ROOF (NO CHANGE).
12. EXISTING ADJACENT STRUCTURE.
13. EXISTING OPEN PATIO BELOW (NO CHANGE).
14. EXISTING STEEL SPIRAL STAIR & DECK (NO CHANGE).
15. EXISTING REAR YARD (NO CHANGE).
16. EXISTING CHIMNEY FLUES (NO CHANGE).
17. EXISTING BAY WINDOWS AND FACADE (NO CHANGE).
18. EXISTING WOOD FENCE (TO BE MODIFIED PER PLAN).
19. NEW CAST CONCRETE PLANTER (PER PLAN, ELEVATION).
20. NEW GARDEN WALL AND GATE (PER PLAN, ELEVATION).
21. NEW STAIR TO ENTRY (PER PLAN, ELEVATION).
22. NEW MODIFIED DECK - CAR PORT (PER PLAN, ELEVATIONS).
23. NEW MODIFIED DRIVEWAY PAVING (PER PLAN, ELEVATIONS).
24. RELOCATED EXISTING GATE.

SITE - ROOF PLANS SHEET NOTES

1. VERIFY IN THE FIELD ALL EXISTING CONDITIONS.

RECEIVED
JUN 14 2013
CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
RECEPTION DESK

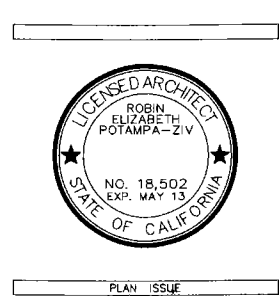
SHEET INDEX

- ARCHITECTURAL DRAWINGS
- A0.0 SITE - ROOF PLAN, PROJECT DATA, SHEET INDEX
 - A1.1 EXISTING - DEMO FIRST & SECOND FLOOR PLANS
 - A1.2 NEW FIRST & SECOND FLOOR PLANS
 - A5.0 SECTION
 - A6.1 EXISTING SOUTH EXTERIOR ELEVATION
 - A6.2 EXISTING EAST EXTERIOR ELEVATION
 - A6.3 EXISTING WEST EXTERIOR ELEVATION
 - A6.4 NEW SOUTH EXTERIOR ELEVATION
 - A6.5 NEW EAST EXTERIOR ELEVATION
 - A6.6 NEW WEST EXTERIOR ELEVATION
 - A7.0 DETAILS
- STRUCTURAL DRAWINGS
- S1.0 STRUCTURAL NOTES & SPECIAL INSPECTION REQUIREMENTS
 - S1.1 ABBREVIATIONS & TYPICAL DETAILS
 - S1.2 TYPICAL DETAILS
 - S2.0 FIRST, FOUNDATION & SECOND FLOOR PLANS
 - S3.0 SECTIONS & DETAILS
 - S3.1 SECTIONS & DETAILS

RENOVATION
2440 VALLEJO STREET
SAN FRANCISCO CA
94123

ZIV DAVIS
ZIV DAVIS
2900 BRIDGEWAY
SAUSALITO CA
94965 USA
PH 415 616 9600
zivdavis@mindspring.com

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PLAN ISSUE

PERMIT ISSUE 01-29-13

R. POTAMPA-ZIV
PRINCIPAL IN CHARGE

PROJECT DESIGNER
THOMAS ZIV
DRAWN BY

SET 3 - EXTERIOR

SHEET TITLE

**EXISTING & NEW
SITE - ROOF
PLANS
TITLE SHEET**

PROJECT NUMBER

SHEET NUMBER

A0.0



EXTERIOR ELEVATIONS KEYED NOTES

1. EXISTING STRUCTURE (NO CHANGE, PER PLAN)
2. EXISTING PLANTER (TO BE MODIFIED PER PLAN)
3. EXISTING CAR PORT & ROOF DECK (TO BE MODIFIED PER PLAN, ELEVATIONS, SSD)
4. LINE OF ADJACENT STRUCTURE (TYP. PER PLANS & ELEVATIONS)
5. GRADE (TYP)
6. EXISTING FENCE (TO BE MODIFIED PER PLAN, ELEVATIONS, SSD)
7. EXISTING ADJACENT GATE.

EXISTING SOUTH ELEVATION
 1" = 1'-0"

EXTERIOR ELEVATIONS SHEET NOTES

1. VERIFY IN THE FIELD ALL EXISTING CONDITIONS.

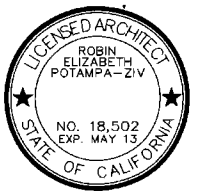
**BARKER
 RESIDENTIAL
 RENOVATION**

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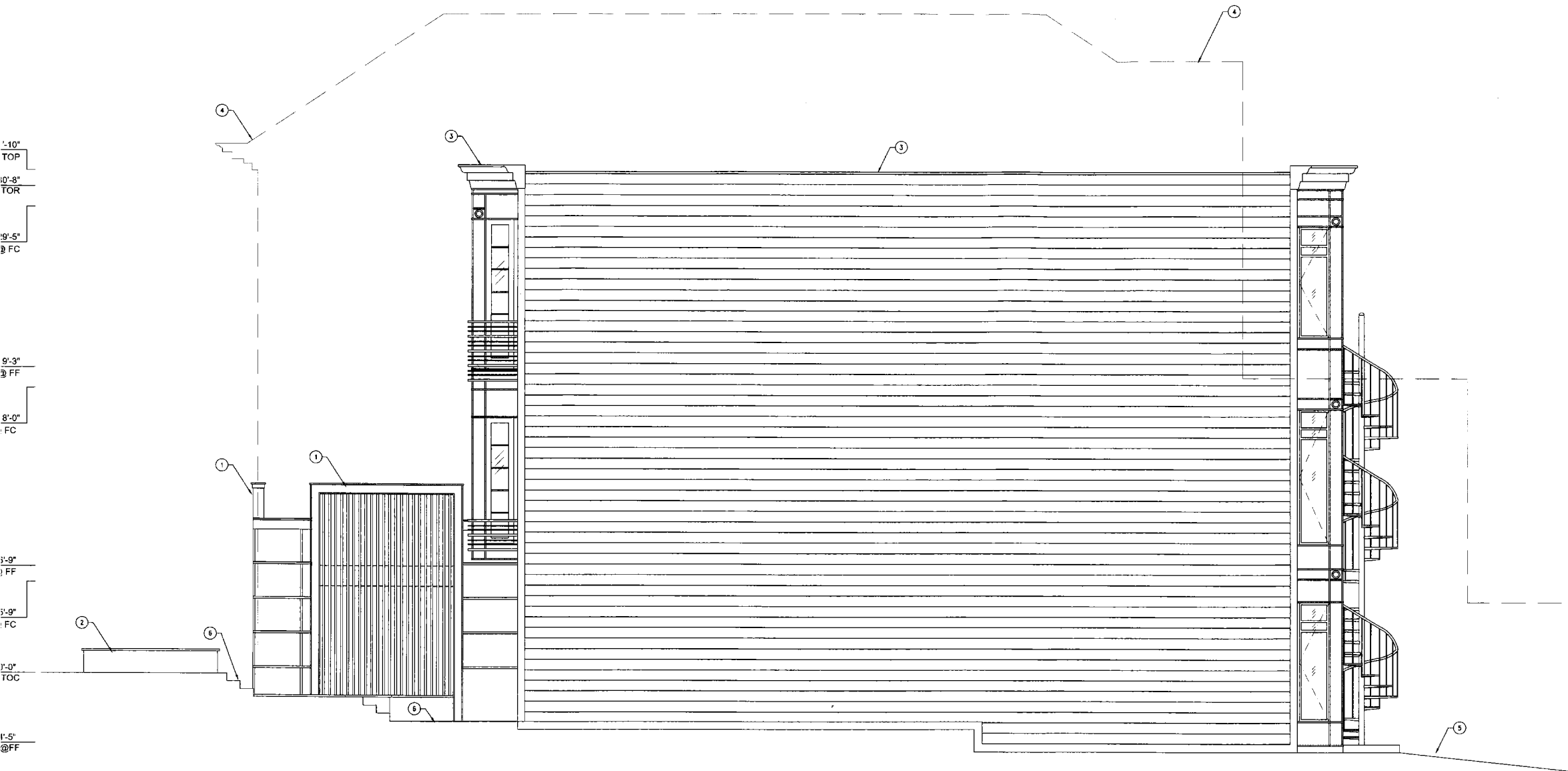
R. POTAMPA-ZIV
 PRINCIPAL IN CHARGE

PROJECT DESIGNER
 THOMAS ZIV
 DRAWN BY

SET 3 - EXTERIOR

SHEET TITLE

EXISTING
 SOUTH
 EXTERIOR ELEVATION



EXISTING EAST ELEVATION
 = 1' - 0"

- EXTERIOR ELEVATIONS KEYED NOTES**
1. EXISTING CARPORT & DECK (TO BE MODIFIED PER PLAN, ELEVATIONS, SSD)
 2. EXISTING PLANTER (TO BE MODIFIED PER PLAN, ELEVATIONS)
 3. EXISTING STRUCTURE (NO CHANGE)
 4. LINE OF ADJACENT STRUCTURE (TYP. PER PLANS & ELEVATIONS)
 5. GRADE (TYP)
 6. EXISTING CONC WALKWAY & STAIRS (TO BE MODIFIED PER PLAN, SECTION, ELEVATIONS)

- EXTERIOR ELEVATIONS SHEET NOTES**
1. VERIFY IN THE FIELD ALL EXISTING CONDITIONS.

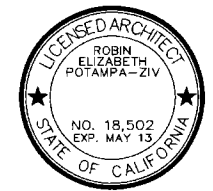
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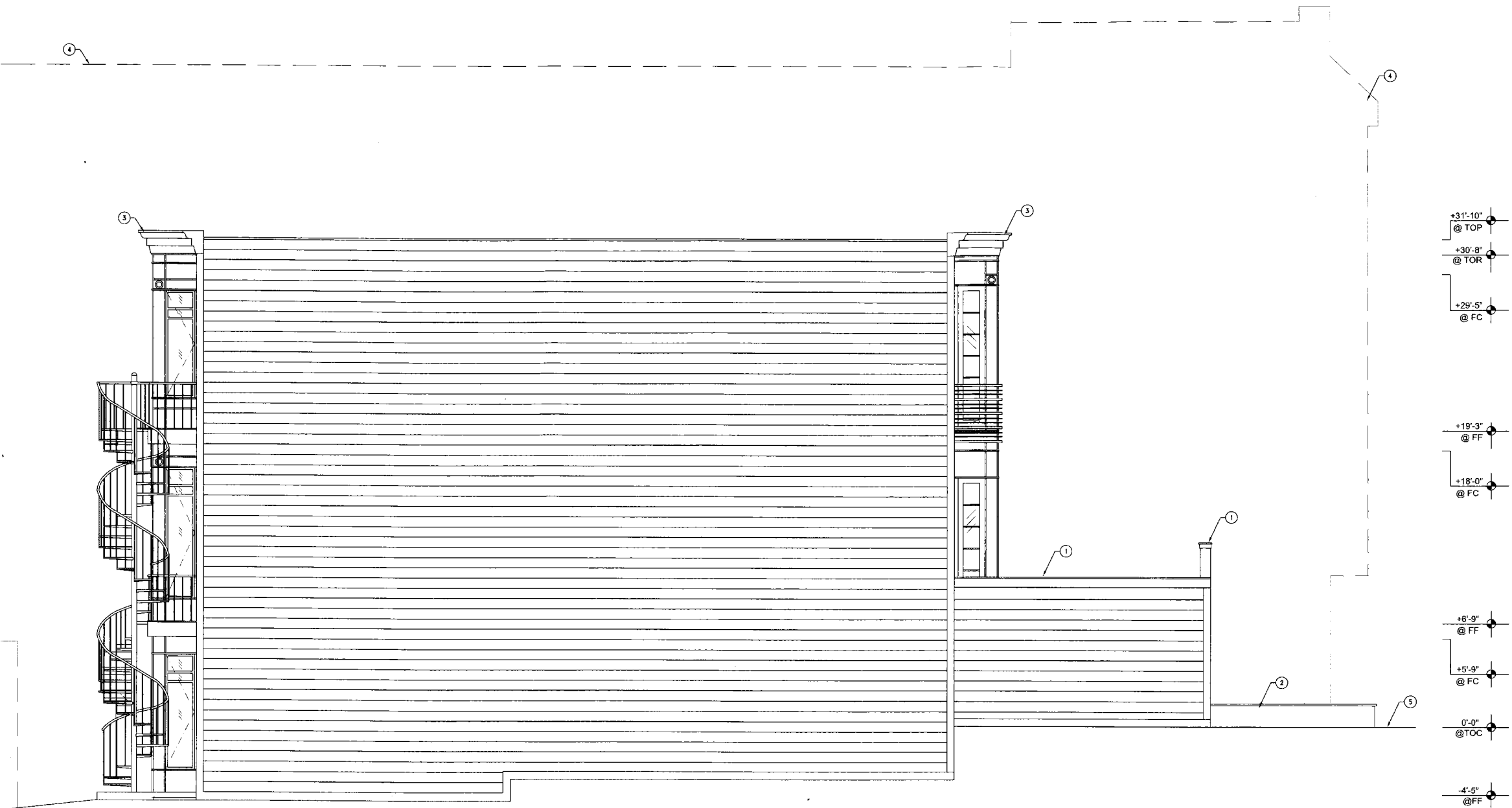


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R. POTAMPA-ZIV
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THOMAS ZIV
 DRAWN BY

SET 3 - EXTERIOR
 SHEET TITLE

EXISTING
 EAST
 EXTERIOR ELEVATION



EXTERIOR ELEVATIONS KEYED NOTES

1. EXISTING CARPORT & DECK (TO BE MODIFIED PER PLAN, ELEVATIONS, SSD).
2. EXISTING PLANTER (TO BE MODIFIED PER PLAN, ELEVATIONS).
3. EXISTING STRUCTURE (NO CHANGE).
4. LINE OF ADJACENT STRUCTURE (TYP. PER PLANS & ELEVATIONS).
5. GRADE (TYP).

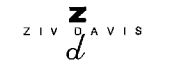
EXISTING EAST ELEVATION
= 1'-0"

EXTERIOR ELEVATIONS SHEET NOTES

1. VERIFY IN THE FIELD ALL EXISTING CONDITIONS.

**BARKER
RESIDENTIAL
RENOVATION**

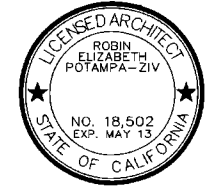
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PROJECT DESIGNER
THOMAS ZIV
DRAWN BY

SET 3 - EXTERIOR

SHEET TITLE

EXISTING
WEST
EXTERIOR ELEVATION

PROJECT NUMBER



W SOUTH ELEVATION
 1" = 1'-0"

EXTERIOR ELEVATIONS KEYED NOTES

1. EXISTING STRUCTURE [NO CHANGE, TYP].
2. PROVIDE & INSTALL NEW OPEN METAL TRELLIS [PER PLAN, DETAIL, DOOR & WINDOW SCHEDULE].
3. PROVIDE & INSTALL NEW STUCCO FINISH @ EXISTING STRUCTURE [INTEGRAL COLOR SYSTEM PER DETAILS, SPECIFICATIONS, TYP].
4. PROVIDE & INSTALL NEW STUCCO CLAD COLUMN W/ PRE CAST CONCRETE CAP & BASE [PER PLAN, DETAIL, SPECIFICATION].
5. PROVIDE & INSTALL NEW PRE CAST CONCRETE BASE ALL AROUND [PER DETAIL, SPECIFICATIONS].
6. NEW OWNER SUPPLIED WATERPROOF LIGHT FIXTURE [INSTALL & PROVIDE ELECTRICAL AS REQ'D].
7. OPEN CAR PORT TO GARAGE DOOR BEYOND.
8. PROVIDE & INSTALL NEW PRE CAST CONC CROWN MOULDING CURB @ MODIFIED CAR PORT [PER PLAN, DETAIL, SPECIFICATIONS].
9. PROVIDE & INSTALL NEW PRE CAST CONC MOULDING SURROUND @ MODIFIED CAR PORT [PER PLAN, DETAIL, SPECIFICATIONS].
10. PROVIDE & INSTALL NEW FROSTED TEMPERED GLASS SCREEN [ZIV DAVIS TO PROVIDE CAMERA READY ART].
11. PROVIDE & INSTALL NEW STUCCO CLAD FENCE W/ PRE CAST CONC CAP & BASE [PER PLAN, DETAILS, SPECIFICATIONS].
12. PROVIDE & INSTALL NEW OPEN METAL GATE [PER PLAN, DETAIL, DOOR & WINDOW SCHEDULE].
13. PROVIDE & INSTALL NEW MAIL BOX & ADDRESS SIGNAGE [NUMBERS TO BE "NEURAFACE MEDIUM" 3"H X 3/4"D DEEP BRUSHED S.S. BY CUSTOMHOUSENUMBERS.COM, PROVIDE \$500.00 ALLOWANCE FOR MAILBOX, SEE HARDWARE SCHEDULES FOR MAILBOX SPECIFICATIONS].
14. EXISTING GATE @ ADJACENT PROPERTY [MODIFY AS REQ'D].
15. GRADE [TYP].
16. LINE OF FLOOR BEYOND [PER SECTION].
17. ADJACENT STRUCTURE [NO CHANGE].
18. PROVIDE & INSTALL NEW CAST STONE PLANTER [REDUCE WIDTH OF EXISTING PLANTER 12", PER PLAN].

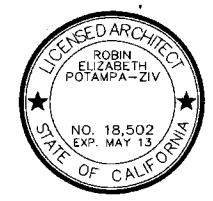
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EXTERIOR ELEVATIONS SHEET NOTES

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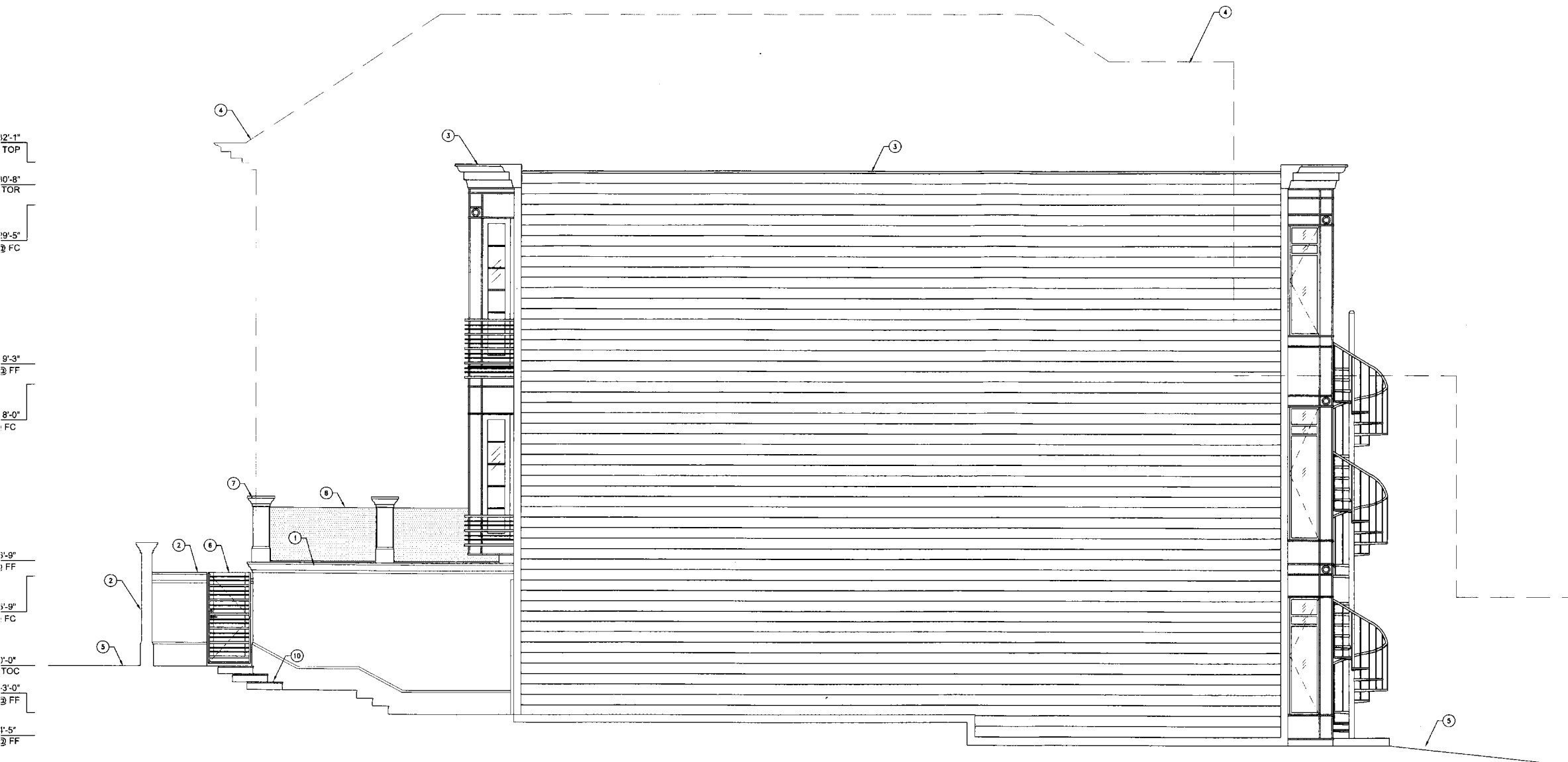
R. POTAMPA-ZIV
 PRINCIPAL IN CHARGE

PROJECT DESIGNER
THOMAS ZIV
 DRAWN BY

SET 3 - EXTERIOR

SHEET TITLE

NEW
 SOUTH
 EXTERIOR ELEVATION



STING EAST ELEVATION
 1" = 1'-0"

- EXTERIOR ELEVATIONS KEYED NOTES**
1. MODIFIED EXISTING CARPORT & DECK BEYOND (PER PLAN, ELEVATIONS)
 2. NEW FENCE (PER PLAN, SPECIFICATIONS)
 3. EXISTING STRUCTURE (NO CHANGE)
 4. LINE OF ADJACENT STRUCTURE (TYP, PER PLANS & ELEVATIONS)
 5. GRADE (TYP)
 6. NEW GATE (PER PLAN, SPECIFICATIONS)
 7. NEW STUCCO CLAD POSTS W/ PRECAST CONC CAP (PER PLAN, SPEC)
 8. NEW TEMPERED GLASS WINDSCREEN (PER PLAN, SPEC)
 9. NOT USED
 10. NEW STAIRS @ NEW ENTRY PATIO (PER PLAN)

- EXTERIOR ELEVATIONS SHEET NOTES**
1. VERIFY IN THE FIELD ALL EXISTING CONDITIONS.

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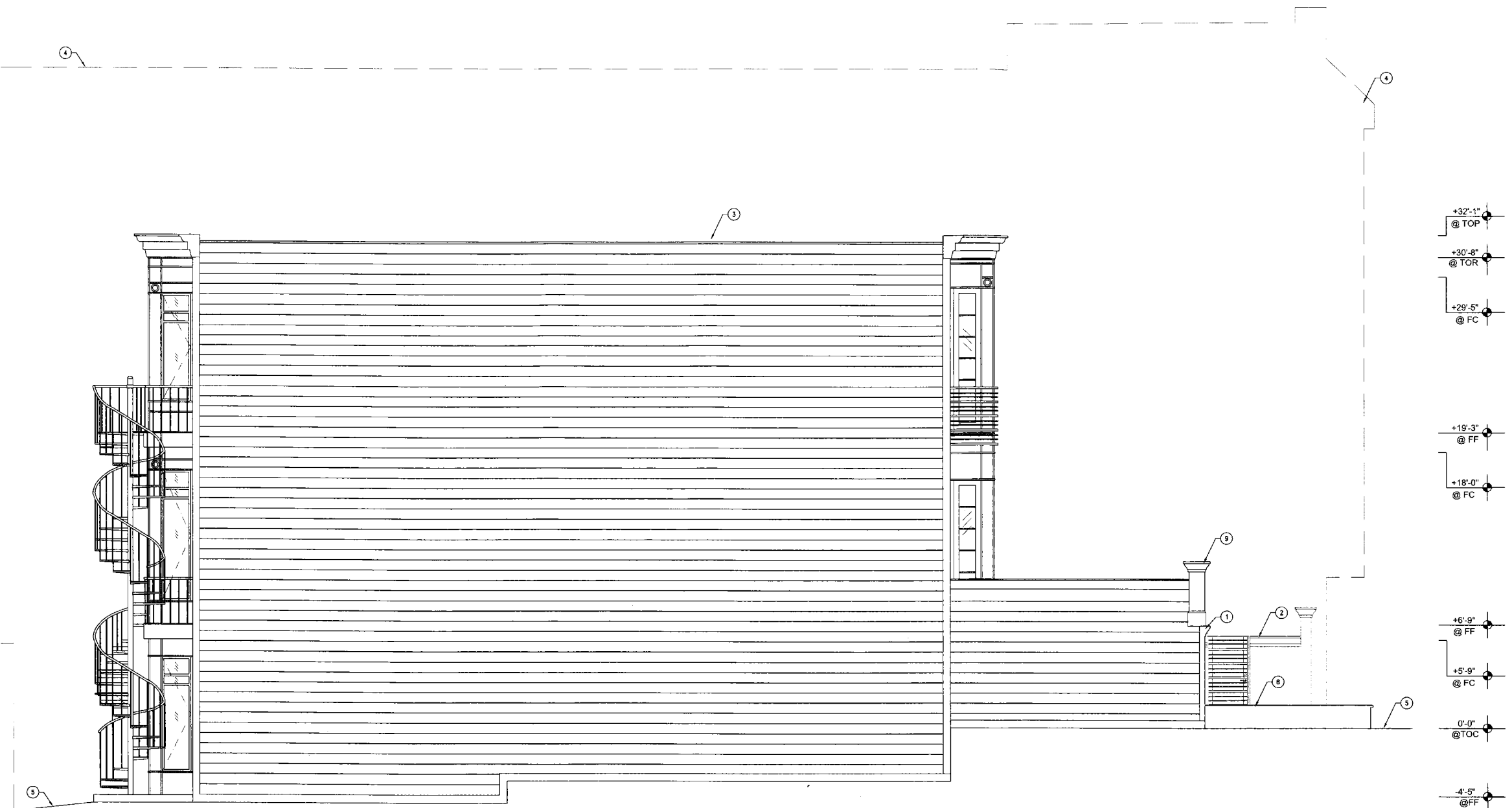
PLAN ISSUE
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R. POTAMPA-ZIV
 PRINCIPAL IN CHARGE
 PROJECT DESIGNER
THOMAS ZIV
 DRAWN BY

SET 3 - EXTERIOR

SHEET TITLE

NEW
 EAST
 EXTERIOR ELEVATION



EXTERIOR ELEVATIONS KEYED NOTES

1. MODIFIED CARPORT & DECK [PER PLAN, ELEVATIONS].
2. NEW FENCE & GATE [PER PLAN, DETAIL, SPECIFICATIONS].
3. EXISTING STRUCTURE [NO CHANGE].
4. LINE OF ADJACENT STRUCTURE [TYP. PER PLANS & ELEVATIONS].
5. GRADE [TYP].
6. NOT USED.
7. NOT USED.
8. NEW CONC PLANTER [PER PLAN, DETAIL].
9. PROVIDE & INSTALL NEW STUCCO CLAD COLUMN W/ PRE CAST CONCRETE CAP [PER DETAIL, SPECIFICATION].

EXISTING EAST ELEVATION
1" = 1'-0"

EXTERIOR ELEVATIONS SHEET NOTES

1. VERIFY IN THE FIELD ALL EXISTING CONDITIONS.

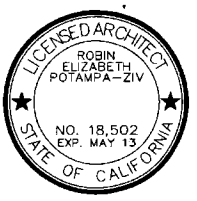
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SET 3 - EXTERIOR

SHEET TITLE

NEW
WEST
EXTERIOR ELEVATION