



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

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The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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GENERAL NOTES (WHERE APPLICABLE)

- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO ESTABLISH A HIGH QUALITY LEVEL OF MATERIAL AND WORKMANSHIP BUT NOT NECESSARILY TO NOTE AND CALL FOR EVERY ITEM OF WORK TO BE DONE. ANY ITEM NOT SPECIFICALLY NOTED BUT DEEMED BY THE ARCHITECT TO BE NECESSARY FOR SATISFACTORY COMPLETION OF THE WORK SHALL BE ACCOMPLISHED BY THE CONTRACTOR IN A MANNER CONSISTENT WITH THE QUALITY OF WORK WITHOUT ADDITIONAL COST TO THE OWNER. ALL MATERIAL AND METHODS OF INSTALLATION SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS; MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS.
- WORK UNDER THIS CONTRACT SHALL INCLUDE A THOROUGH REVIEW OF ALL DRAWINGS, SPECIFICATIONS, AND EXISTING CONDITIONS; ANY DISCREPANCIES OR DIFFERENCES WITH THE ARCHITECTMENTED DOCUMENTS MUST BE REPORTED TO THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION. THE FAILURE OF THE CONTRACTOR TO SEEK MODIFICATION OR CHANGE REGARDING A DISCREPANCY SHALL CONSTITUTE AS FULL ACCEPTANCE OF THE CONDITION IN QUESTION BY THE CONTRACTOR. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL WORK DEPICTED BY THE CONTRACT DOCUMENTS REGARDLESS OF WHETHER THE SUBCONTRACTORS AGREE AS TO WHOSE JURISDICTION CERTAIN AREAS OF THE SCOPE OF WORK ARE UNDER.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY FULLY WITH THE CURRENT REQUIREMENTS OF ALL LOCAL AND STATE REGULATIONS GOVERNING THE PROJECT WORK AND SHALL PAY FOR AND OBTAIN ALL REQUIRED PERMITS, FEES, LICENSES, AND INSPECTIONS REQUIRED. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE LATEST ADOPTED VERSION OF THE 2007 CALIFORNIA BUILDING CODE, 2007 CALIFORNIA MECHANICAL CODE, AND CALIFORNIA FIRE CODE, 2007 CALIFORNIA PLUMBING CODE, 2007 CALIFORNIA ENERGY CODE, AND CALIFORNIA ELECTRICAL CODE.
- ALL SPECIFICATIONS THAT ARE PROPRIETARY SHALL REQUIRE THE CONTRACTOR TO INSTALL THE EXACT BRAND OR MANUFACTURER SPECIFIED UNLESS WRITTEN AUTHORIZATION TO SUBSTITUTE IS OBTAINED FROM THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR WILL BE EXPECTED TO PATCH, REPAIR, AND FINISH ALL EXISTING SURFACES THAT ARE PART OF THE SURFACES CREATED BY THE NEW WORK. IF EXISTING ADJACENT SURFACES ARE FOUND UNSUITABLE TO PROPERLY RECEIVE FINISHES AS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO COMMENCING THE WORK OR IT WILL BE AGreed THAT THE CONTRACTOR HAS ACCEPTED RESPONSIBILITY FOR THE WORK REQUIRED TO ACHIEVE PROPER FINISHES ON ALL ADJACENT SURFACES.
- IT SHALL BE ASSUMED THAT THE CONTRACTOR AND HIS SUBCONTRACTORS ARE SUFFICIENTLY EXPERIENCED TO BE CONSIDERED QUALIFIED IN THEIR RESPECTIVE WORK RESPONSIBILITIES. THE CONTRACTOR SHALL INSURE THAT THE OWNER RECEIVES ACCEPTABLE WORKMANSHIP COMMON TO THE INDUSTRY FROM ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS AND IS RESPONSIBLE FOR HIRING QUALIFIED STAFF PERSONNEL AND/OR SUBCONTRACTORS AS NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF THE WORK THROUGH COMPLETION AND SHALL REPAIR OR REPLACE ALL DAMAGED WORK.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES SO THAT THE WORK MAY PROCEED SAFELY AND COORDINATED AMONG ALL SUBCONTRACTORS AND PERSONNEL INVOLVED. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IN ADVANCE OF ANY WORK REQUIRED BY PUBLIC UTILITY ENTITIES THAT WILL AFFECT THE COST OR SCHEDULE OF THE WORK.
- THE CONTRACTOR SHALL MEET ALL OSHA REQUIREMENTS AND MAINTAIN A SAFE WORKING CLIMATE FOR ALL PERSONNEL AND OCCUPANTS DURING THE ENTIRE PROJECT. THE JOB SITE IS TO BE KEPT ORDERLY AND AS CLEAN AS POSSIBLE DURING ALL CONSTRUCTION ACTIVITIES.
- IN THE EVENT OF A CONFLICT WITHIN THE CONTRACT DOCUMENTS THE SPECIFICATIONS, THEN THE SPECIFIC NOTES AND DETAILS SHALL TAKE PRIORITY OVER THE GENERAL NOTES AND DRAWINGS WITH REGARD TO CORRECT INTERPRETATION. THE CONTRACTOR SHOULD BRING ANY APPARENT CONFLICT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RESULT IN LIABILITY ON THE CONTRACTOR'S PART.

CONCRETE
(SEE STRUCTURAL DRAWINGS).
REINFORCING STEEL
(SEE STRUCTURAL DRAWINGS).

- CABENILITY
- ALL FRAMING LUMBER SHALL BE DOUGLAS FIR LARCH (COAST REGION), GRADED AND MARKED IN ACCORDANCE WITH THE STANDARD GRADING RULES NUMBER 16 OF THE WEST COAST LUMBER INSPECTION BUREAU.
 - USE DOUGLAS FIR PLYWOOD IN CONFORMANCE WITH THE U.S. COMMERCIAL STANDARD PS-1 FOR PLYWOOD GRADE AND THICKNESS. SEE FLOOR, SHEAR WALL AND ROOF SHEATHING SCHEDULES. COMMON USES ARE C-0, C-3 ON STRUCTURAL II GRADE.
 - PROVIDE FULL BEARING AT SUPPORTS; 2" SOLID BLOCKING AT SUPPORTS UNDER PARTITIONS AT ANGLE TO JOISTS. PROVIDE SOLID BLOCKING AT MIDSPAN FOR SPANS 8 FT. TO 16 FT. FOR GREATER SPANS SPACING SHALL NOT EXCEED 8'-0". OMIT BLOCKING FOR ROOF AND CEILING JOISTS 8 INCHES AND UNDER IN DEPTH AND FOR FLOOR JOISTS WHERE GYPBOARD CEILING FRAMING IS ATTACHED DIRECTLY TO UNDERSIDE OF JOISTS. USE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
 - USE SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE UNLESS OTHERWISE NOTED OR SHOWN. STAGGER JOISTS IN UPPER AND LOWER MEMBERS OF TOP PLATES NOT LESS THAN 4'-0". SPOUCE TOP PLATES AS PER STANDARD TOP PLATE SPOUCE DETAILS.
 - PROVIDE A ROW OF SOLID BLOCKING AT MID-HEIGHT FOR WALLS 10 FT. HIGH AND TALLER.
 - UNLESS OTHERWISE NOTED ON SCHEDULES, PROVIDE SILL PLATE ANCHOR BOLTING @ 4'-0" O.C. WITH ONE BOLT NOT MORE THAN 12 INCHES FROM END OF SILL PLATE. PROVIDE MINIMUM OF 2 BOLTS PER SECTION OF PLATE. MINIMUM BOLT SIZE SHALL BE 5/8" DIAMETER AND 10 INCHES LONG WITH MINIMUM 7" INCH EMBEDMENT AND STEEL WASHERS.
 - SHEATHING IS TO BE STAGGERED WHERE POSSIBLE. PROVIDE FULL BEARING AT ALL EDGES. IN GENERAL, ABOUT AT CENTERLINE OF BEARING. WALL PER DETAIL OR SCHEDULE.
 - WOOD AND LAG SCREWS SHALL BE SPOUCED AND NOT DRAWN INTO PLACE. BEFORE PLACEMENT OF SCREWS, THE HOLES SHALL BE BORED TO THE SAME DIAMETER AND DEPTH OF THE SCREW SHANK. THE HOLES FOR THE THREADED PORTION OF THE SCREWS SHALL BE BORED WITH A BIT NOT LARGER THAN THE DIAMETER OF THE BASE OF THE THREAD.

- ELECTRICAL
- MANDATORY REQUIREMENTS:
 - OUTSIDE OUTLETS: ONE OUTLET AT EACH PATIO/DECK WITH A WATERPROOF COVER AND GFCI.
 - DESIGNATED CIRCUITS (IF APPLICABLE): 20 AMP APPLANCE CIRCUITS IN BASEMENT. PROVIDE SEPARATE CIRCUIT FOR EQUIPMENT - AMPERAGE AS REQUIRED. DISHWASHER, WASHER AND DRYER ARE TO BE DEDICATED CIRCUITS.
 - SMOKE DETECTOR AND CARBON MONOXIDE: PER CODE. HARD-WIRED AND INTERCONNECTED FOR NEW CONSTRUCTION. THESE INCLUDES EXISTING SLEEPING ROOMS WHERE BUILDING WIRING CAN BE INSTALLED WITHOUT THE REMOVAL OF INTERIOR FINISHES.
 - NEW ELECTRICAL WIRING SHALL BE #12 COPPER FOR RECEPTACLES AND #14 COPPER FOR LIGHTS AND SWITCHES.
 - EXTEND (E) HEATING SYSTEM TO (N) AREAS AS REQUIRED.
- MECHANICAL
- INSULATION:
- ALL BLANKET INSULATION TO BE KRAFT-FACED MINERAL FIBER TYPE:
 - WALLS: R-13 (2X4 STUD) R-19 (2X6 STUD)
 - CEILING: R-30
 - FLOORS: R-19 (FRAMED FLOOR SYSTEM) ROOF: R-30 (RIGID OR BLANKET)
 - ALL EXTERIOR GLAZING TO BE DUAL-GLAZED. ALL WINDOWS AND DOORS TO BE CERTIFIED AND LABELED TO MEET APPROPRIATE MITIGATION STANDARDS. WINDOWS TO BE FLASHED/W/ IS# FELTED BUILDING PAPER.
 - WEATHER-STRIP ALL NEW DOORS AND WINDOWS B/T CONDITIONED AND UNCONDITIONED SPACES. CAULK ALL OPENINGS IN EXTERIOR WALLS SUCH AS WINDOWS, DOOR FRAMES, LOWER PLATE LINES, BETWEEN EXTERIOR WALL PANELS. CAULK ALL OPENINGS FOR PLUMBING AND ELECTRICAL IN WALLS, CEILING AND FLOORS.
 - ALL INSULATION MATERIAL TO HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 PER UBC 1713 (C).
- MISCELLANEOUS
- ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED NATIVE SOIL. ALL LOOSE MATERIALS SHALL BE REMOVED FROM SURFACES TO WHICH FOOTING IS TO BE POURED PRIOR TO COMPACTION.
 - ROOF VENTING SHALL BE A MINIMUM OF 1:50 OF ROOF AREA (GROSS VENTILATION EITHER BY WAY OF PERFORATED EAVE BLOCKING WITH MESH SCREENS OR ROOF VENT UNITS).
 - ALL FRAMING HARDWARE TO BE SAMPSON STRONG-TITE® OR EQUAL.
 - CONTRACTOR TO PROVIDE CLEAN-UP OF ALL CONSTRUCTION DEBRIS AND DISPOSE OF PROPERLY PURSUANT TO LOCAL ORDINANCES.
- EXTERIOR
- MORE THAN THE REQUIRED AMOUNTS OF PERMEABLE AREA: 90 PERCENT OF THE LOT (NOT INCLUDING THE BUILDING FOOTPRINT) IS PERMEABLE, INCLUDING MOST OF THE DRIVEWAY VIA A "PERMEABLE PAVING SYSTEM".
 - COMPREHENSIVE RAINWATER AND GROUNDWATER CAPTUREMENT SYSTEM, 4,000-GALLON UNDERGROUND CISTERN CAPTURES RAIN, ROOF AND GROUNDWATER FOR IRRIGATION NEEDS.
 - MINIMUM 25 PERCENT FLY ASH CONTENT IN ALL CONCRETE SITE AND RETAINING WALLS.
 - 600-SQUARE-FOOT TUNING® OR "GREEN" ROOF AND DECK.
 - ENERGY STAR COOL ROOF.
 - SOLAR PV SYSTEM, SOLAR THERMAL (HOT WATER) SYSTEM.
 - THERMALLY BROKEN DUAL PANE, LOW-E, SOLARBAR 60 WINDOWS AND DOORS.
 - INNOVATING LED LIGHTING FOR ALL EXTERIOR AND LANDSCAPED LIGHTING; 280 PERCENT BETTER THAN ENERGY STAR LIGHTING REQUIREMENTS.
 - PASSIVE SOLAR DESIGN THAT INCORPORATES A UNIQUE ALUMINUM AND STEEL SHADE CANOPY, LARGE UPPER-STORY "EYEBROW" SHADING AND FLOOR-TO-CEILING WINDOWS ORIENTED SOUTH AND WEST.
 - OPERABLE WINDOWS AND DOORS DESIGNED TO TAKE ADVANTAGE OF PREVAILING WINDS COMING OFF THE BAY; NO MECHANICAL COOLING REQUIRED.
 - USE OF RECYCLED KILN TRAYS FROM HEALTH CERAMICS AS EXTERIOR WALL TILE AND PAVERS.
 - RAIN SCREEN WALL SYSTEM (CREATES AN AIR CAVITY BETWEEN SIDING AND WATERPROOFING MATERIAL).
- INTERIOR
- SOLAR-ASSIST. ON-DEMAND, IN-FLOOR RADIANT HEATING SYSTEM.
 - ZERO-VOC PAINTS AND FINISHES.
 - COMPUTER-CONTROLLED INDOOR AIR-QUALITY MANAGEMENT SYSTEM, LIGHTING AND POWER WINDOW SHADING SYSTEM.
 - PUSH-BUTTON HOT WATER DEMAND SYSTEM AT EACH WATER FIXTURE (NO WASTING WATER WHILE WAITING FOR IT TO GET HOT).
 - HOUSE BUNKERED INTO HILLSIDE FOR GEOTHERMAL COOLING AND HEATING EFFECT.
 - INNOVATIVE FRAMING TECHNIQUES THAT MINIMIZED LUMBER WASTE AND MAXIMIZED USE OF RECYCLED MATERIALS.
 - RECYCLED GLASS AND CONCRETE COUNTERTOPS.
 - HIGH-EFFICIENCY APPLANCES, LIGHTING, SHOWER HEADS AND TOILETS.
 - SPRAY-IN, SOY-BASED FOAM INSULATION THAT PRODUCES HIGHER R VALUES IN SAME THICKNESS AND IS FREE OF VOCs.
 - IN-WALL VACUUM SYSTEM (NO DUST OR ALLERGENS BLOWING AROUND FROM A CONVENTIONAL BAG VACUUM).
 - PASSIVE SOLAR: LARGE INTERIOR INSTALLATION OF THERMAL-MASS MATERIALS, SUCH AS TILE AND CONCRETE FLOORING AND WALLS. CONCRETE AND TILE ABSORB HEAT DURING THE DAY AND RADIATE BACK AT NIGHT.
- GENERAL
- MAXIMUM USE OF LOCALLY SOURCED AND MANUFACTURED MATERIALS.
 - COMPREHENSIVE RECYCLE AND WASTE MANAGEMENT PLAN DURING CONSTRUCTION, RESULTING IN 80 PERCENT OF CURB-HAULED WASTE RECYCLED.



LIST OF DRAWINGS

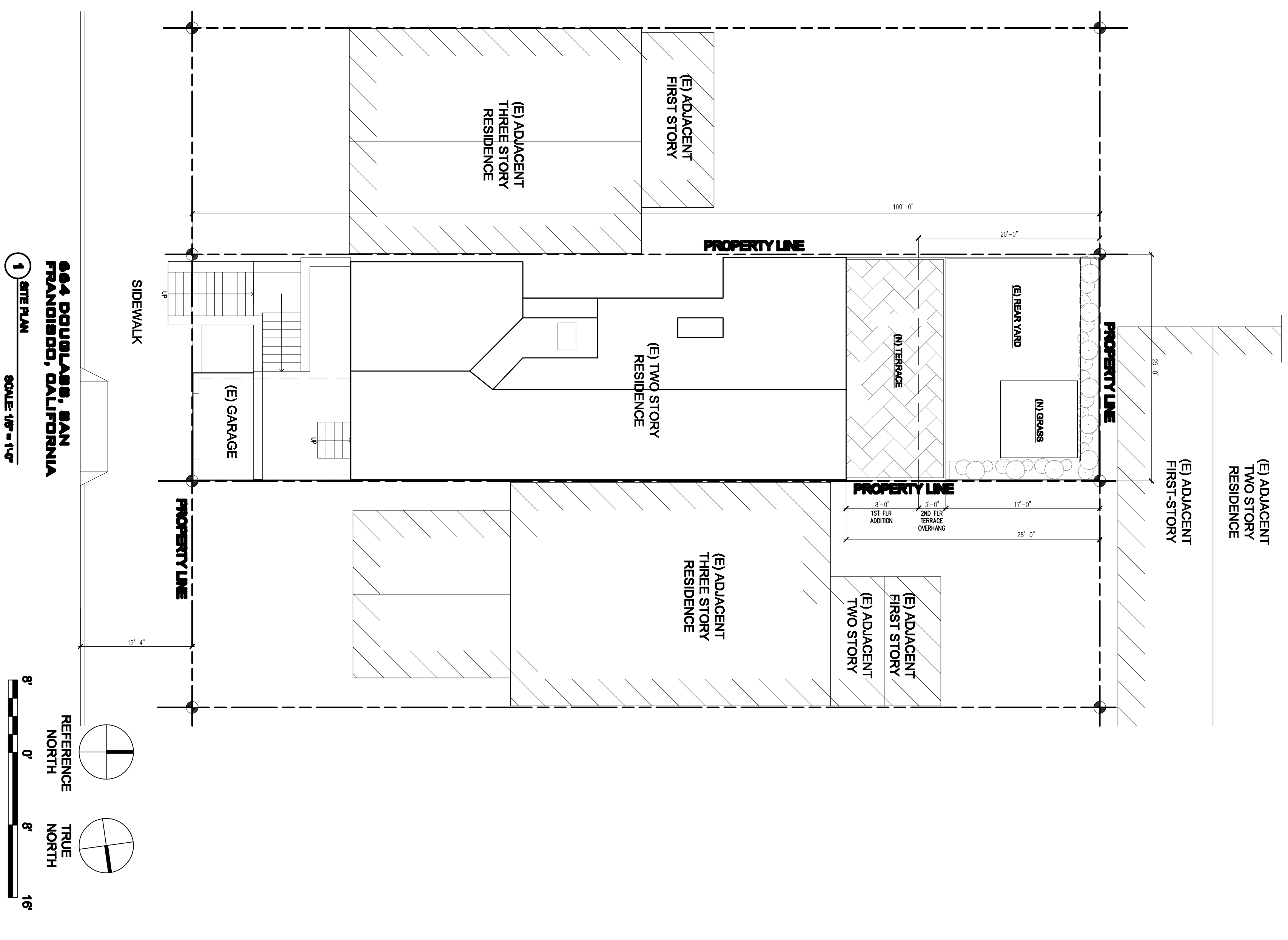
A1	SITE PLAN, PROJECT DATA, GENERAL NOTES & LOCATION MAP
A2	EXISTING FLOOR PLANS
A3	EXISTING/PROPOSED MAIN FLOOR PLANS
A4	EXISTING/PROPOSED SECOND FLOOR PLANS
A5	PROPOSED ELEVATIONS/SECTION
A6	PROPOSED ELEVATIONS/SECTION
A7	DETAILS
A8	DETAILS
A9	TITLE 24

SCOPE OF WORK: KITCHEN EXPANSION INTO REAR YARD, BATHROOM RENOVATION

PROJECT DATA

JOB ADDRESS:	664 DOUGLASS ST, SAN FRANCISCO, CALIFORNIA
LOT AREA:	2800
BLOCK/LOT:	2802/2003
ZONING:	RH - 2
CONSTRUCTION TYPE:	V B
OCCUPANCY GROUP:	R

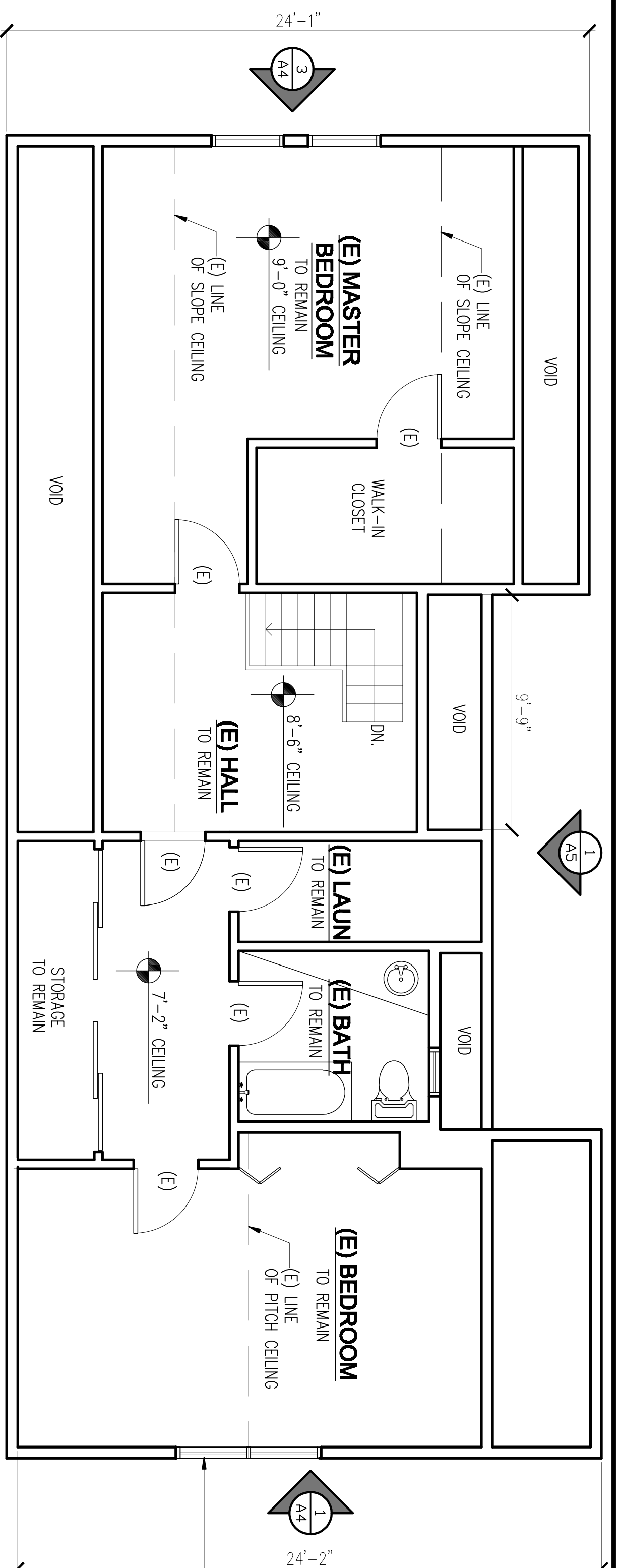
BUILDING AREAS:	EXISTING	PROPOSED
MAIN FLOOR	979 SF	1,189 SF
SECOND FLOOR	979 SF	979 SF
TOTAL	1,959 SF	2,165 SF
GARAGE/BASEMENT	631 SF	631 SF



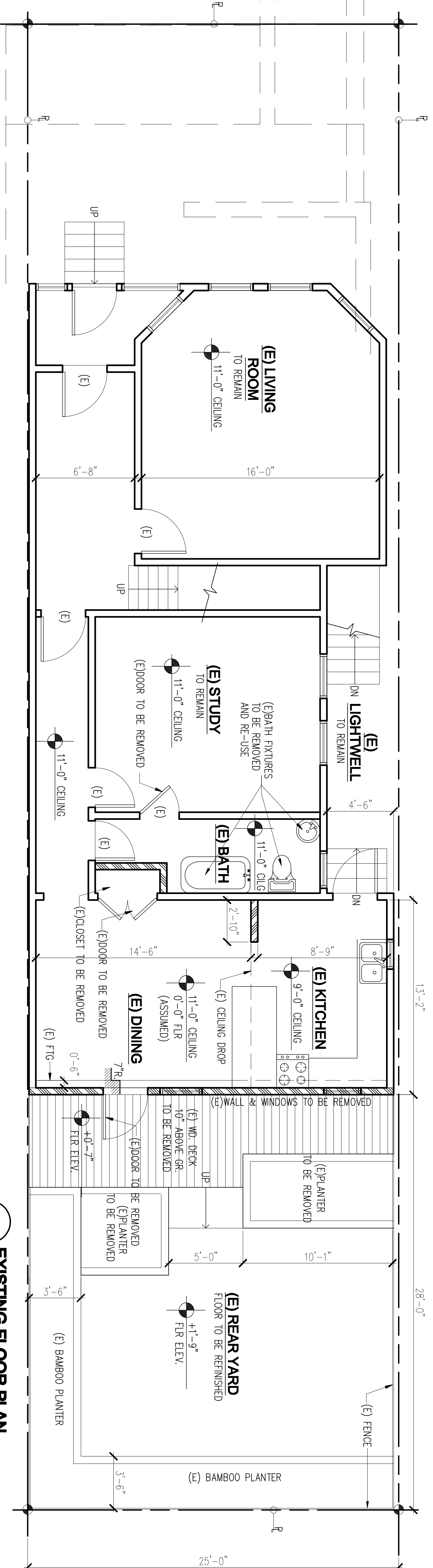
DRAWINGS: SITE PLAN LOCATION MAP PROJECT DATA SCOPE OF WORK GENERAL NOTES	DRAWN: M.G. CHECKED: P.M. DATE: 03/28/2013 SCALE: 1/8"=1'-0" JOB NO.: 12137 SHEET:	BEKIARIS RESIDENCE HOUSE RENOVATION FOR: 664 DOUGLASS SAN FRANCISCO, CALIFORNIA	114 VALERIOA STREET SAN FRANCISCO CA 94103 TEL: (415) 431-5901 FAX: (415) 431-5902 Email: shen@morarchitect.com	LICENSED ARCHITECT CIVIL CH322 REN. 9/30/13 STATE OF CALIFORNIA	REVISIONS BY
	OF 6 SHEETS A1				

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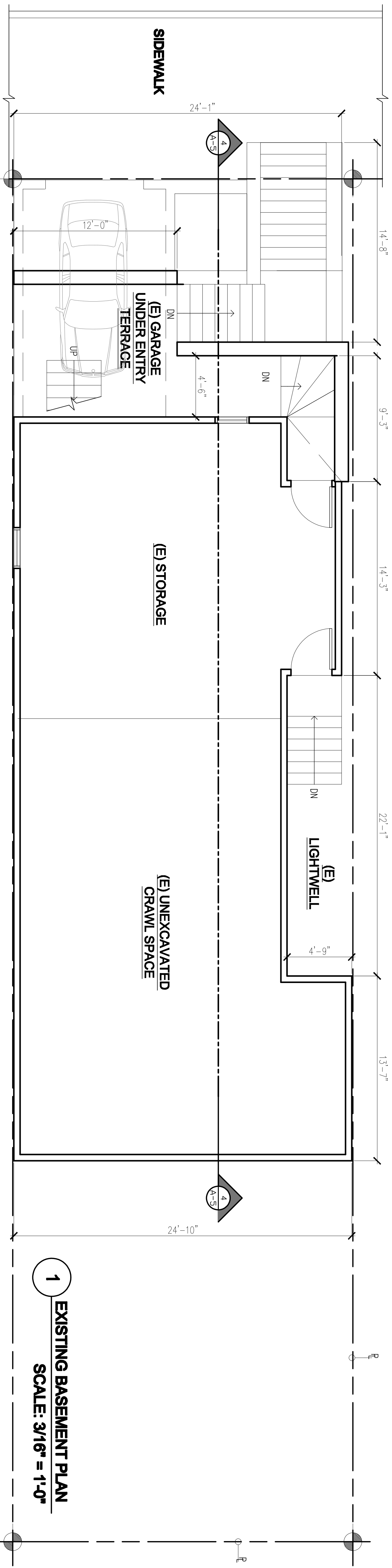
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3 EXISTING SECOND FLOOR
SCALE: 1/4" = 1'-0"



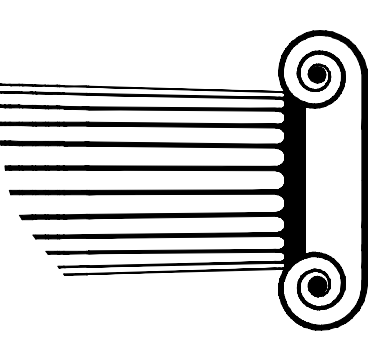
2 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



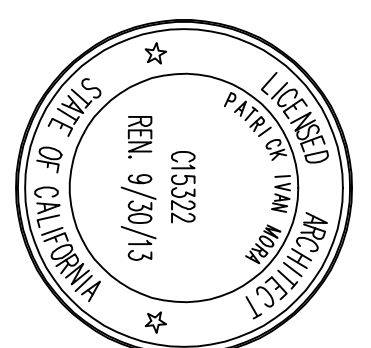
1 EXISTING BASEMENT PLAN
SCALE: 3/16" = 1'-0"

REVISIONS BY

MORA ARCHITECTS
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BEKIARIS RESIDENCE
HOUSE RENOVATION
FOR:
664 DOUGLASS
SAN FRANCISCO, CALIFORNIA

DRAWINGS:
EXISTING FLOOR PLANS

DRAWN: M.G.
CHECKED: P.M.

DATE: 03/25/2013

SCALE: 1/4" = 1'-0"

JOB NO.: 12137

SHEET: A2

OF 6 SHEETS

KITCHEN ELECTRICAL NOTES :

TWO OR MORE 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE RECEPTACLES OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS.

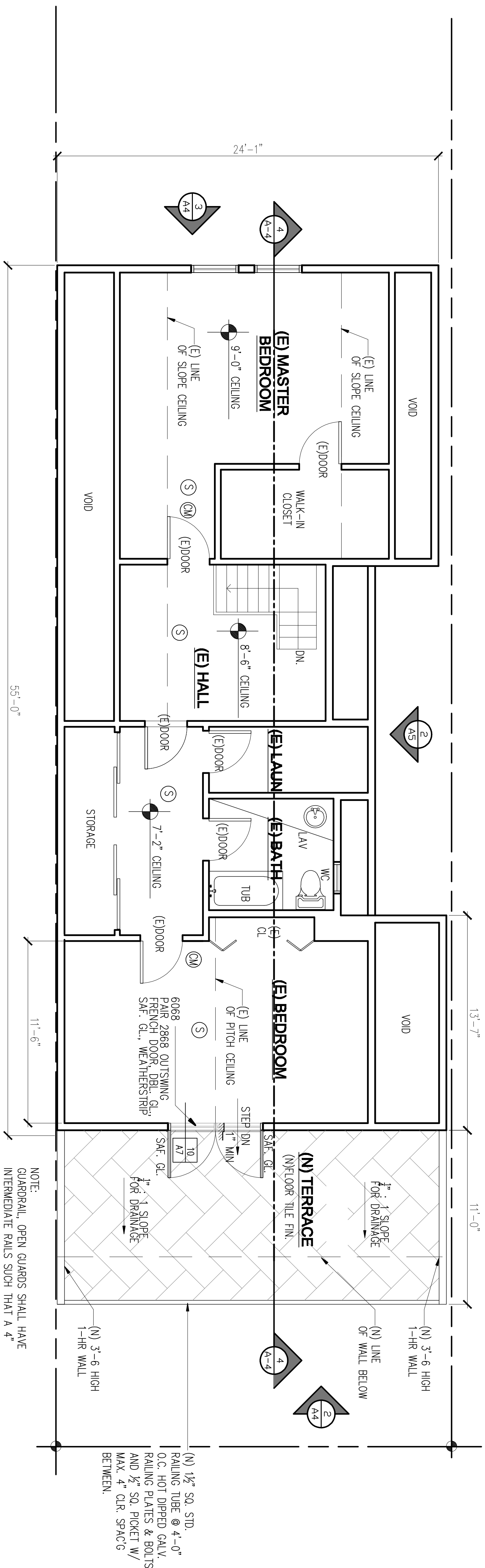
NOTE : THESE CIRCUITS CAN NOT BE SERVED OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHER OR MICROWAVES - ONLY THE REQUIRED COUNTER/WALL OUTLETS INCLUDING THE REFRIGERATOR. CCC ARTICLE 210.11(C)(1).

(E)ELECT. TO REMAIN (N) AS SHOWN, RELOCATE LIGHT SWITCHES TO (N)DOOR AS NECESSARY AT LEAST 50% OF THE INSTALLED WATTAGE MUST BE HIGH EFFICACY.

MINIMUM HIGH EFFICACY WATTAGE REQUIRED IS 100 LUMENS PER WATT.

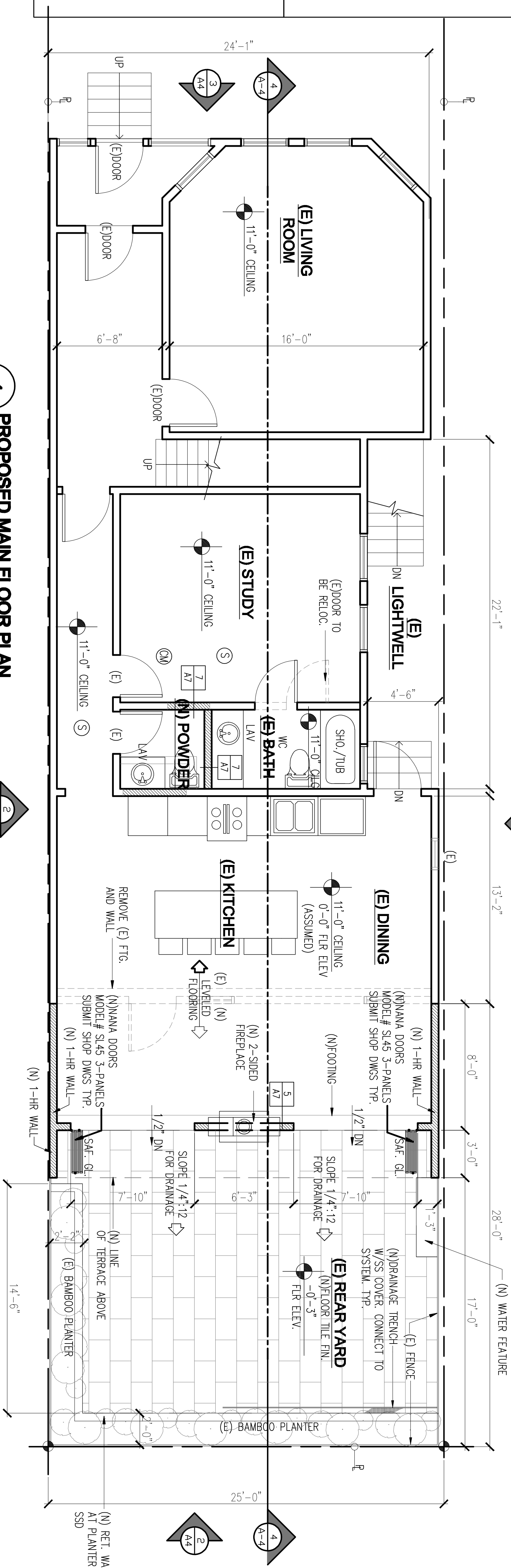
LEGEND :

	(N) WALL
	(E) WALL TO BE REMOVED/DEMOLISH
	(E) WALL TO REMAIN
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR



2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

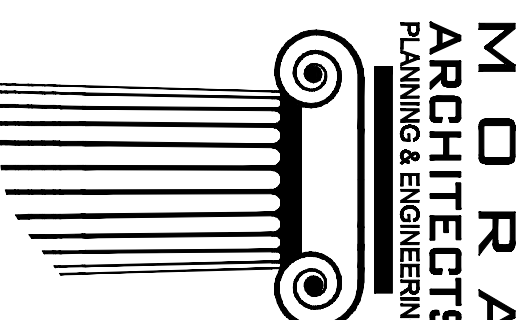
LEGEND	DESCRIPTION
	EXTERIOR WALL SCONCE/LIGHT + MOTION ACTIVATED
	EXHAUST FAN
	RECESSED LIGHT FIXT., TYP.
	4' FLUORESCENT FIXTURE FOR (2) LAMPS
	LIGHT SWITCH
	DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTING TYPE
	FLOOR DRAIN
	WATER
	WATERPROOF
	CEILING MOUNTED DECORATIVE LIGHT
	RECESSED CEILING LED FIXTURES DIMMABLE W/ WARM COLOR LIGHT FROSTED GLASS SHIELD
	SWITCH W/ DIMMER
	HANGING LOW VOLTAGE DECORATIVE LIGHT
	GFI
	3\$
	\$
	1/2
	1/4
	1/8
	1/16



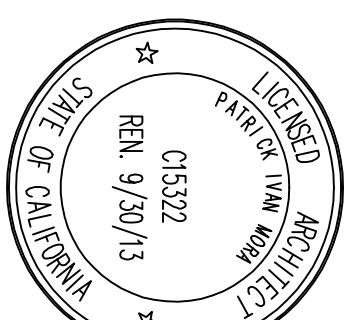
1 PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

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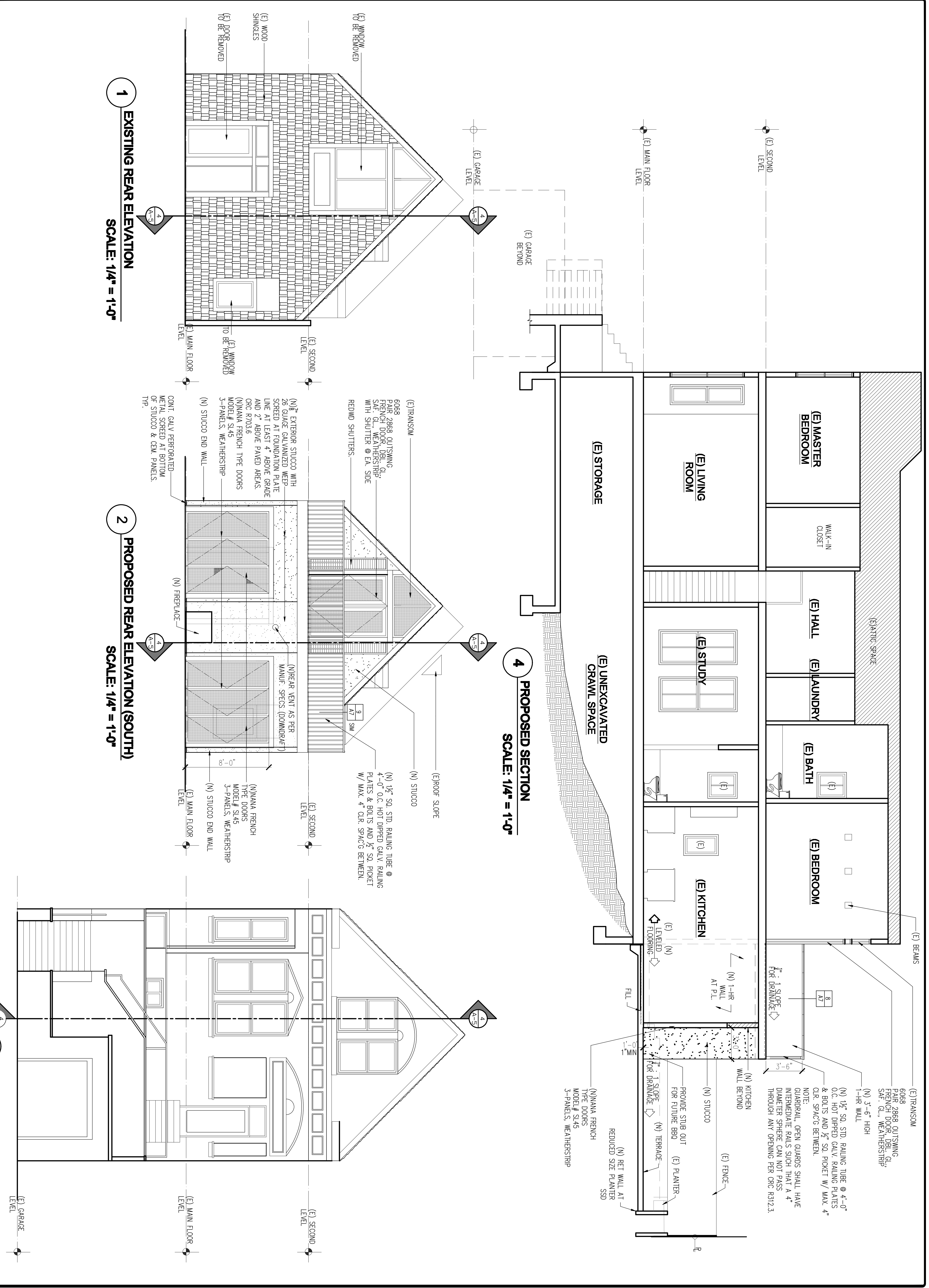
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BEKIARIS RESIDENCE
HOUSE RENOVATION
FOR:
664 DOUGLASS
SAN FRANCISCO, CALIFORNIA

PROPOSED FLOOR PLANS

DRAWN: M.G.
CHECKED: P.M.
DATE: 03/25/2013
SCALE: 1/4"=1'-0"
JOB NO.: 12137
SHEET: A3



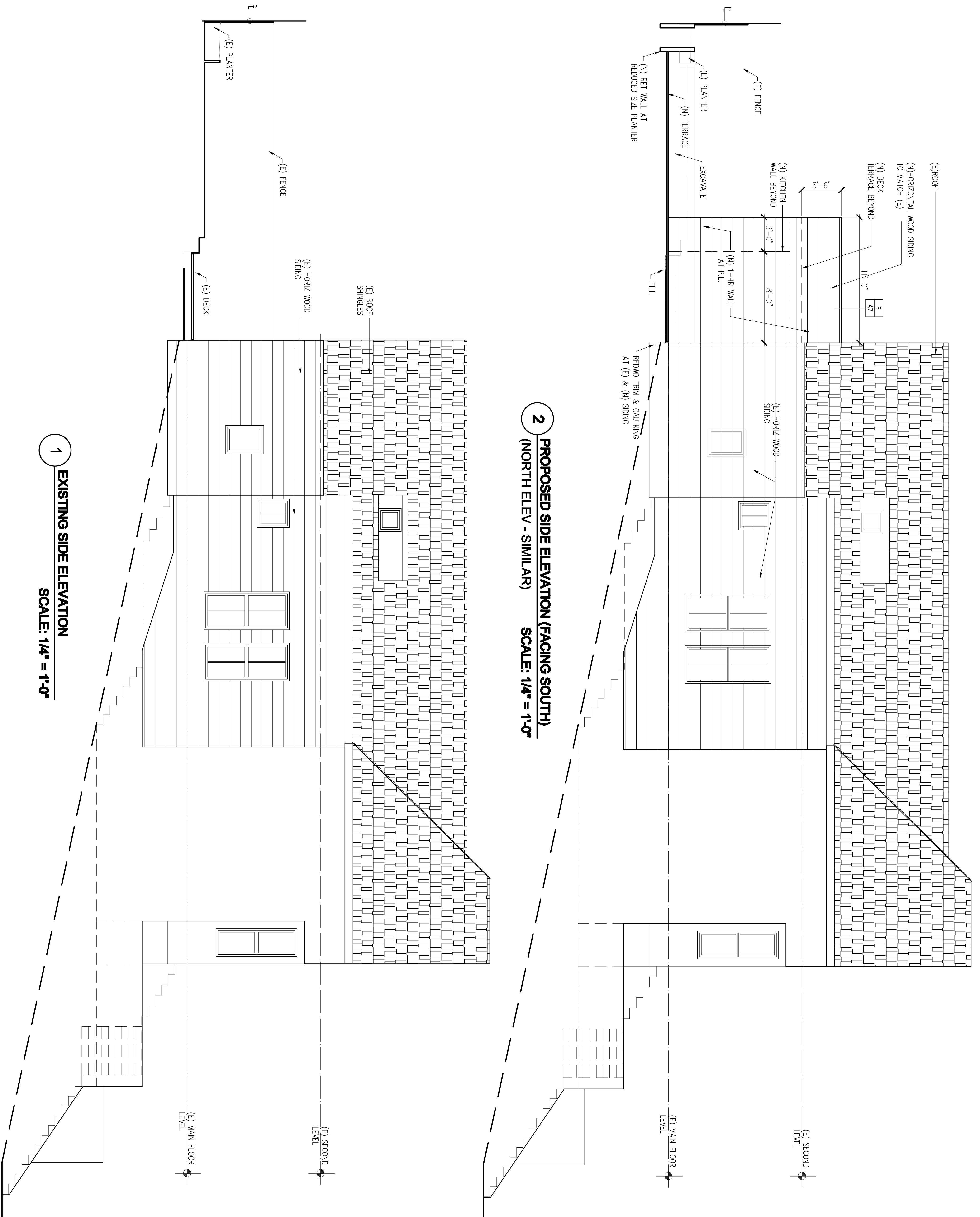
1 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"

2 PROPOSED REAR ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

3 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"

4 PROPOSED SECTION
SCALE: 1/4" = 1'-0"

<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION													<p>BY</p>	<p>MORA ARCHITECTS PLANNING & ENGINEERING 116 VALENCIA STREET SAN FRANCISCO CA 94108 TEL: (415) 431-8801 FAX: (415) 431-5382 Email: info@mora.com</p>		<p>Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions and conditions on the job, and the Architect shall be notified of any variations from the dimensions and conditions shown. Shop details must be submitted to this office for approval before proceeding with fabrication.</p>
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<p>DRAWINGS: PROPOSED & EXISTING ELEVATIONS & SECTION</p>		<p>DRAWN: M.G. CHECKED: P.M. DATE: 03/25/2013 SCALE: 1/4"=1'-0" JOB NO.: 12137 SHEET: 6 OF 6</p>	<p>A4</p>																



1 EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"

2 PROPOSED SIDE ELEVATION (FACING SOUTH)
(NORTH ELEV - SIMILAR) SCALE: 1/4" = 1'-0"

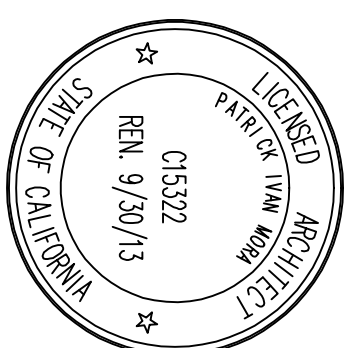
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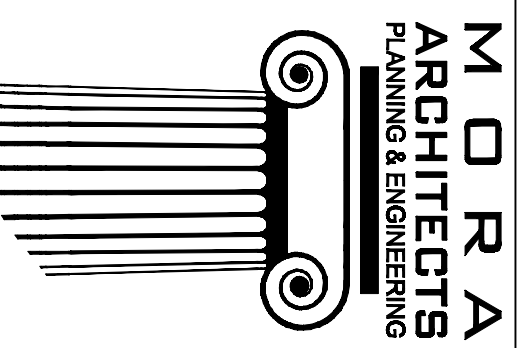
DRAWINGS:
PROPOSED &
EXISTING
ELEVATIONS

DRAWN: M.G.
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JOB NO.: 12137
SHEET:

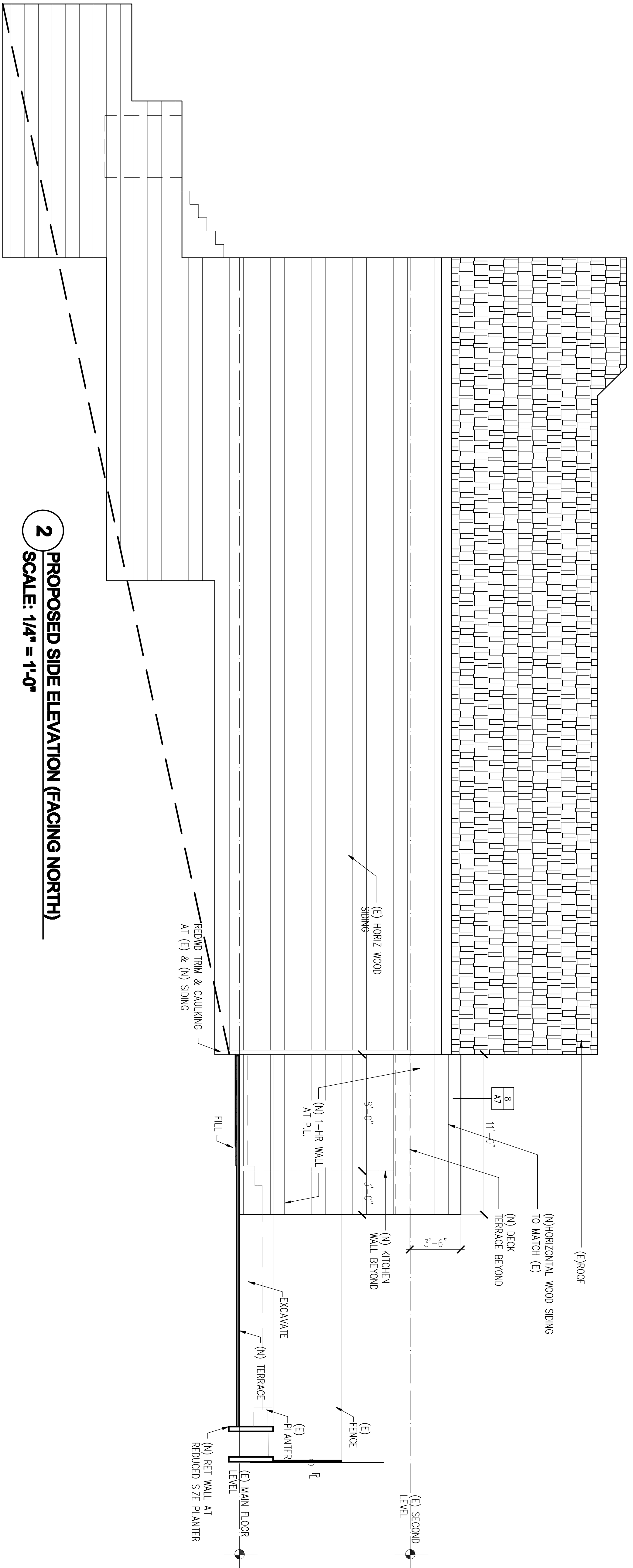
BEKIARIS RESIDENCE
HOUSE RENOVATION
FOR:
664 DOUGLASS
SAN FRANCISCO, CALIFORNIA



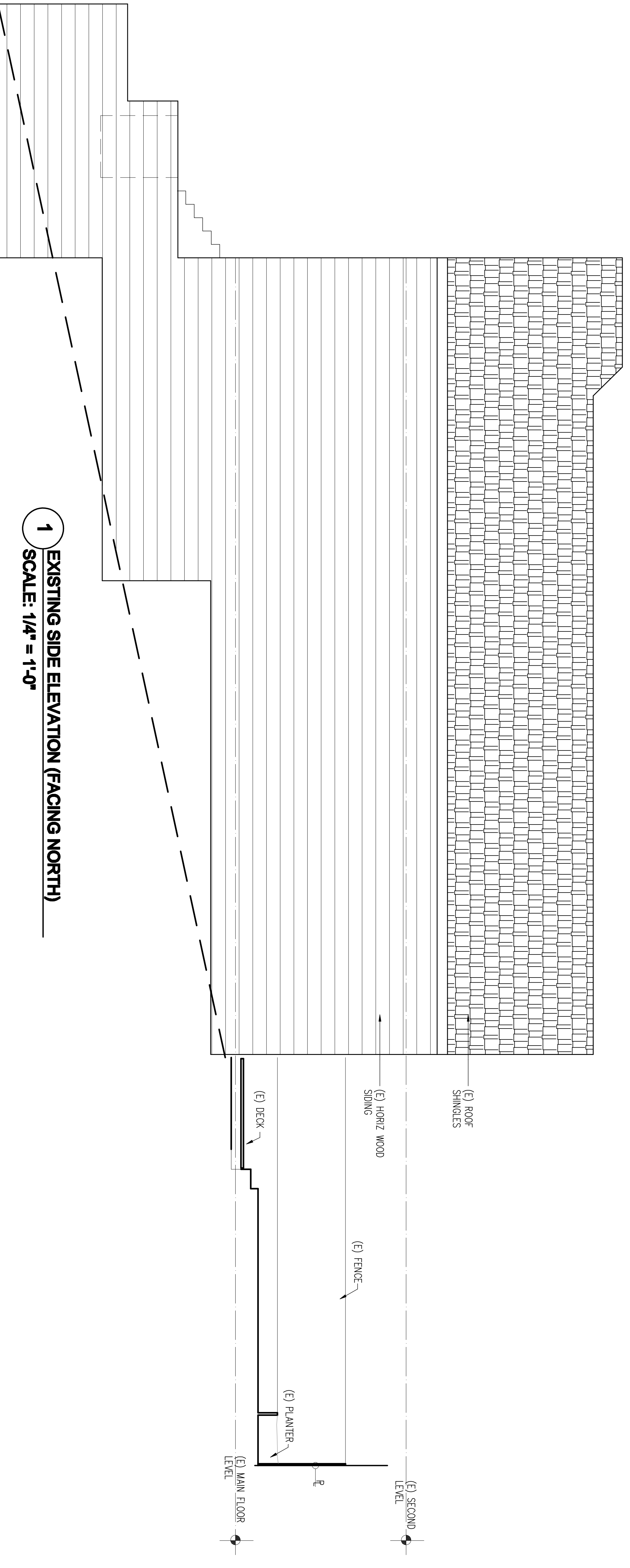
118 VALENCIA STREET
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REVISIONS BY



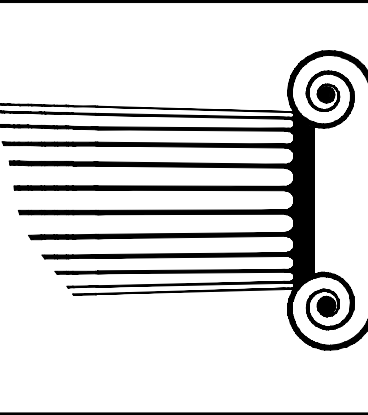
2 PROPOSED SIDE ELEVATION (FACING NORTH)
SCALE: 1/4" = 1'-0"



1 EXISTING SIDE ELEVATION (FACING NORTH)
SCALE: 1/4" = 1'-0"

REVISIONS BY

MORA
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Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions and conditions on the job, and the Architect shall be notified of any variations from the dimensions and conditions shown. Shop details must be submitted to this office for approval before proceeding with fabrication.

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BEKIARIS RESIDENCE
HOUSE RENOVATION
FOR:
664 DOUGLASS
SAN FRANCISCO, CALIFORNIA

DRAWINGS:
PROPOSED &
EXISTING
ELEVATIONS

DRAWN: M.G.
CHECKED: P.M.
DATE: 03/25/2013
SCALE: 1/4"=1'-0"
JOB NO.: 12137
SHEET:

OF 6 SHEETS
A6