



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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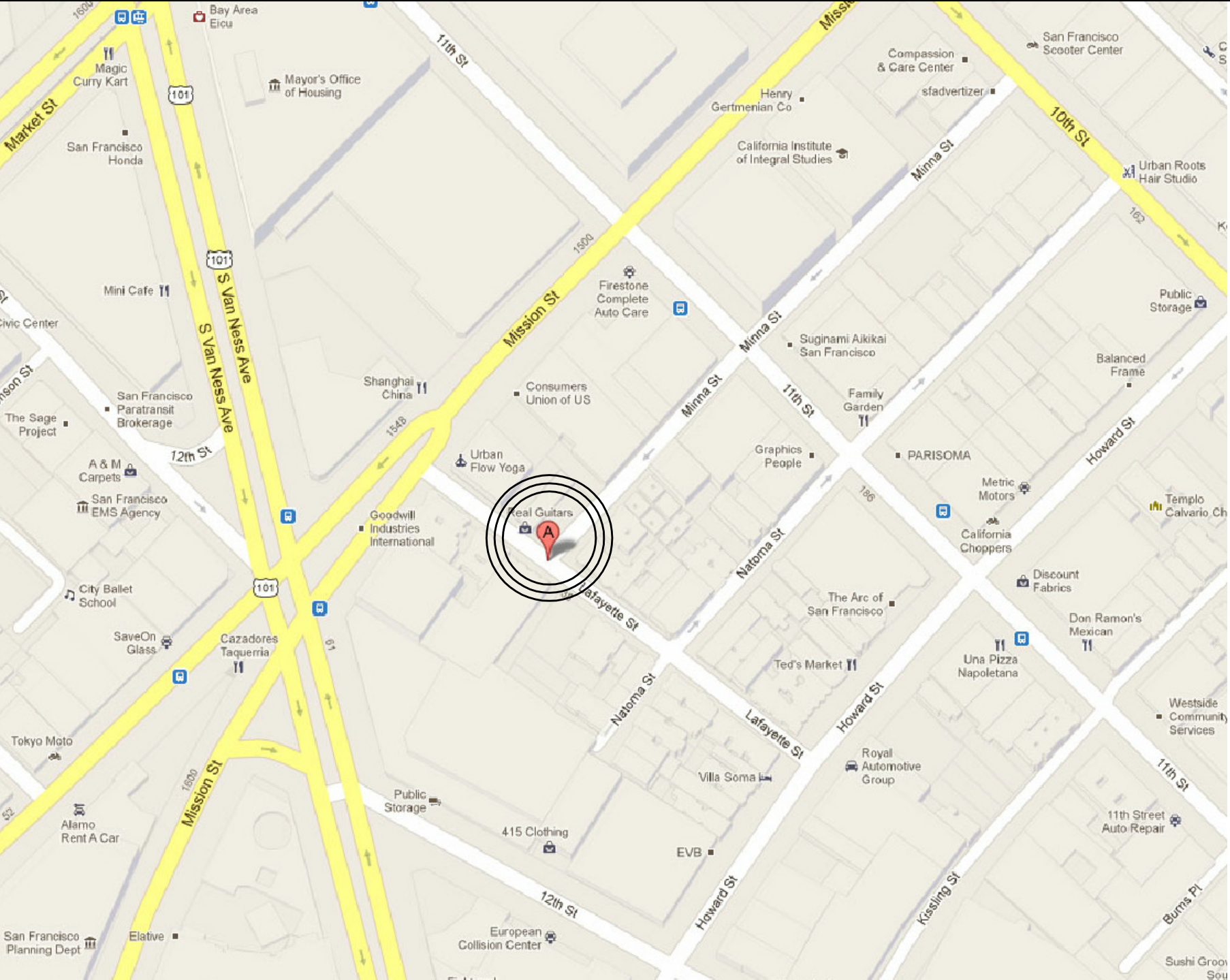
Planning
Information:
415.558.6377

GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE AND BE FULLY COGNIZANT OF ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY PROPOSITIONS OR BIDS. IF ANY ASBESTOS, KNOWN MATERIALS CONTAINING ASBESTOS OR ANY MATERIALS CLASSIFIED BY THE EPA AS HAZARDOUS MATERIALS ARE DISCOVERED, THEN THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, AS REQUIRED, FOR THE REMOVAL OF THESE CONDITIONS...

17. THE CONTRACTOR SHALL IDENTIFY IN HIS PROPOSAL OR BID, WHICH PERMITS HE EXPECTS TO OBTAIN AND WHICH PERMITS AND APPLICATION FEES HE EXPECTS THE OWNER TO PROVIDE. 18. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY ANY CONFLICTS BETWEEN HIS CONTRACT WITH THE OWNER AND THESE DRAWINGS, THE ARCHITECT, THE CONTRACTOR AND THE OWNER SHALL REVIEW THESE CONFLICTS IN ORDER TO AMEND ONE OF THESE DOCUMENTS BEFORE THE START OF THE CONSTRUCTION...

VICINITY MAP



ABBREVIATIONS

- A.F.F ABOVE FINISH FLOOR
ALUM. ALUMINUM
BD. BOARD
BLDG. BUILDING
BLKG. BLOCKING
BM. BEAM
B.O. BOTTOM OF
CLG. CEILING
CLR. CLEAR
CONC. CONCRETE
DTL. DETAIL
DWS. DRAWING
EX. EXISTING
ELEC. ELECTRICAL
ELEV. ELEVATION
EQ. EQUAL
EXT. EXTERIOR
F.F. FINISH FLOOR
GA. GUAGE
GSM. GALVANIZED SHEET METAL
GYP. GYPSUM
HDR. HEADER
HVAC. HEATING, VENTILATING, AND AIR CONDITIONING
HW. HOT WATER HEATER
INT. INTERIOR
LAM. LAMINATE
MAX. MAXIMUM
MECH. MECHANICAL
MIN. MINIMUM
MTL. METAL
NEW. NEW
N/C. NOT IN CONTRACT
O.C. ON CENTER
PL. PLASTIC
PLY. PLYWOOD
REQ'D. REQUIRED
SIM. SIMILAR
SHE. SHEATHING
S.S.D. SEE STRUCTURAL DRAWINGS
STL. STEEL
T.B.D. TO BE DETERMINED
T.O. TOP OF
TYP. TYPICAL
U.O.N. UNLESS OTHERWISE NOTED
V.F. VERIFY IN FIELD
W. WATER
W.C. WATER CLOSET
WD. WOOD
WP. WATERPROOF

DRAWING INDEX

- ARCHITECTURAL DRAWINGS
A0.0 TITLE SHEET
A0.1 PHOTOS OF THE PROPERTIES
A1.0 EXISTING SITE/ROOF PLAN
A1.1 EXISTING/DEMO FIRST FLOOR PLAN
A1.2 EXISTING SECOND FLOOR PLAN - NO CHANGES
A1.3 EXISTING THIRD FLOOR PLAN - NO CHANGES
A1.4 EXISTING/DEMO WEST ELEVATION - LAFAYETTE STREET
EXISTING/DEMO NORTH ELEVATION - MINNA STREET
A2.0 PROPOSED SITE/ROOF PLAN
A2.1 PROPOSED FIRST FLOOR PLAN
A3.0 PROPOSED WEST ELEVATION - LAFAYETTE STREET
PROPOSED NORTH ELEVATION - MINNA STREET
A3.1 PROPOSED SECTION A-A, EXTERIOR DOOR AND WINDOW SCHEDULE

LAFAYETTE & MINNA STREET

35-41 Lafayette Street and 1043-1049 Minna Street, SF, Ca 94103

WINDER GIBSON architects

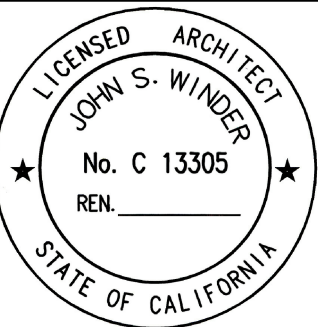
interiors
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PROJECT DESCRIPTION

THIS PROJECT PROPOSES TO INSERT TWO NEW RESIDENTIAL UNITS (4 TOTAL) INTO EACH OF THE TWO BUILDINGS LOCATED ON THIS PROPERTY. THESE UNITS WILL BE LOCATED AT THE FIRST FLOOR OF EACH OF THE BUILDINGS, WHICH IS CURRENTLY UNUSED SPACE, DUE TO THE UNIQUE HISTORICAL CONSTRUCTION OF THE BUILDING, WHICH LOCATED THE FIRST LEVEL OF THE EXISTING RESIDENTIAL UNITS ON THE SECOND FLOOR OF THESE BUILDINGS.

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DEMOLITION NOTES

1. THE DEMOLITION WORK SHOWN ON THESE DRAWINGS MAY NOT BE THE COMPLETE DEMOLITION REQUIRED TO ACCOMMODATE THE NEW WORK, WHICH IS SHOWN ELSEWHERE. THE INTENT OF THESE DRAWINGS IS TO GENERALLY SHOW THE DEMOLITION SCOPE OF WORK EXPECTED OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE TO COORDINATE ANY ADDITIONAL DEMOLITION WORK AND VERIFY THE EXTENT OF DEMOLITION REQUIRED IN ORDER TO ACCOMMODATE ANY NEW WORK.

ABBREVIATIONS

- A.F.F ABOVE FINISH FLOOR
ALUM. ALUMINUM
BD. BOARD
BLDG. BUILDING
BLKG. BLOCKING
BM. BEAM
B.O. BOTTOM OF
CLG. CEILING
CLR. CLEAR
CONC. CONCRETE
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DWS. DRAWING
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A0.0 TITLE SHEET
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A1.1 EXISTING/DEMO FIRST FLOOR PLAN
A1.2 EXISTING SECOND FLOOR PLAN - NO CHANGES
A1.3 EXISTING THIRD FLOOR PLAN - NO CHANGES
A1.4 EXISTING/DEMO WEST ELEVATION - LAFAYETTE STREET
EXISTING/DEMO NORTH ELEVATION - MINNA STREET
A2.0 PROPOSED SITE/ROOF PLAN
A2.1 PROPOSED FIRST FLOOR PLAN
A3.0 PROPOSED WEST ELEVATION - LAFAYETTE STREET
PROPOSED NORTH ELEVATION - MINNA STREET
A3.1 PROPOSED SECTION A-A, EXTERIOR DOOR AND WINDOW SCHEDULE

PROJECT DATA

Table with 2 columns: Block, Lot, Zoning, Intersection, Lot Size, Occupancy Type, Construction Type, Code Used. Includes details for 3511 Block, 066 Lot, Eastern Neighborhood Mixed Use Districts, etc.

PROJECT DIRECTORY

Table with 2 columns: Architect, Client, Contact. Lists Winder Gibson Architects as Architect and Mr. Ken Paige as Client. Includes contact information for Ania Klepacz and Ken Paige.

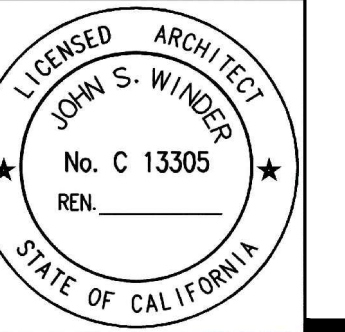
TITLE SHEET

Table for revision and comments, with columns for revision number, date, and description.

A0.0

Table with 2 columns: Date, Scale, Drawn. Shows date 01.05.13, scale AS NOTED, and drawn by ak.

LAFAYETTE & MINNA STREET
35-41 Lafayette Street and 1043-1049 Minna Street, SF, CA 94103



LAFAYETTE & MINNA STREET
35-41 Lafayette St & 1043-1049 Minna St, SF, CA 94103

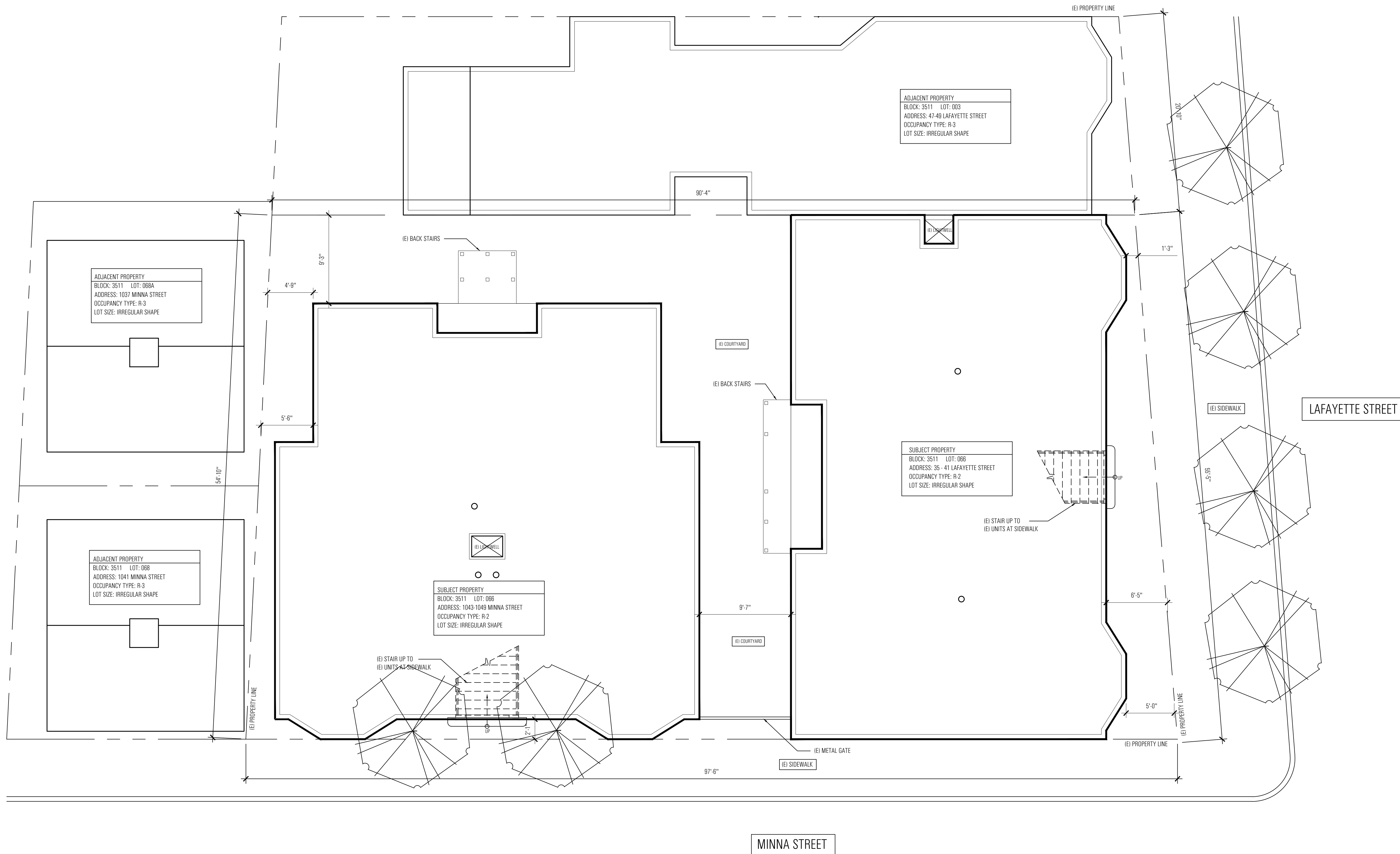
PERMIT

EXISTING SITE / ROOF PLAN

REVISION 1 PLANNING COMMENTS 08/08/13

A 1.0

DATE 01.05.13
SCALE AS NOTED
DRAWN ak



EXISTING SITE/ROOF PLAN
1/8" = 1'-0"

1
A1.0

NORTH

WALL TYPES

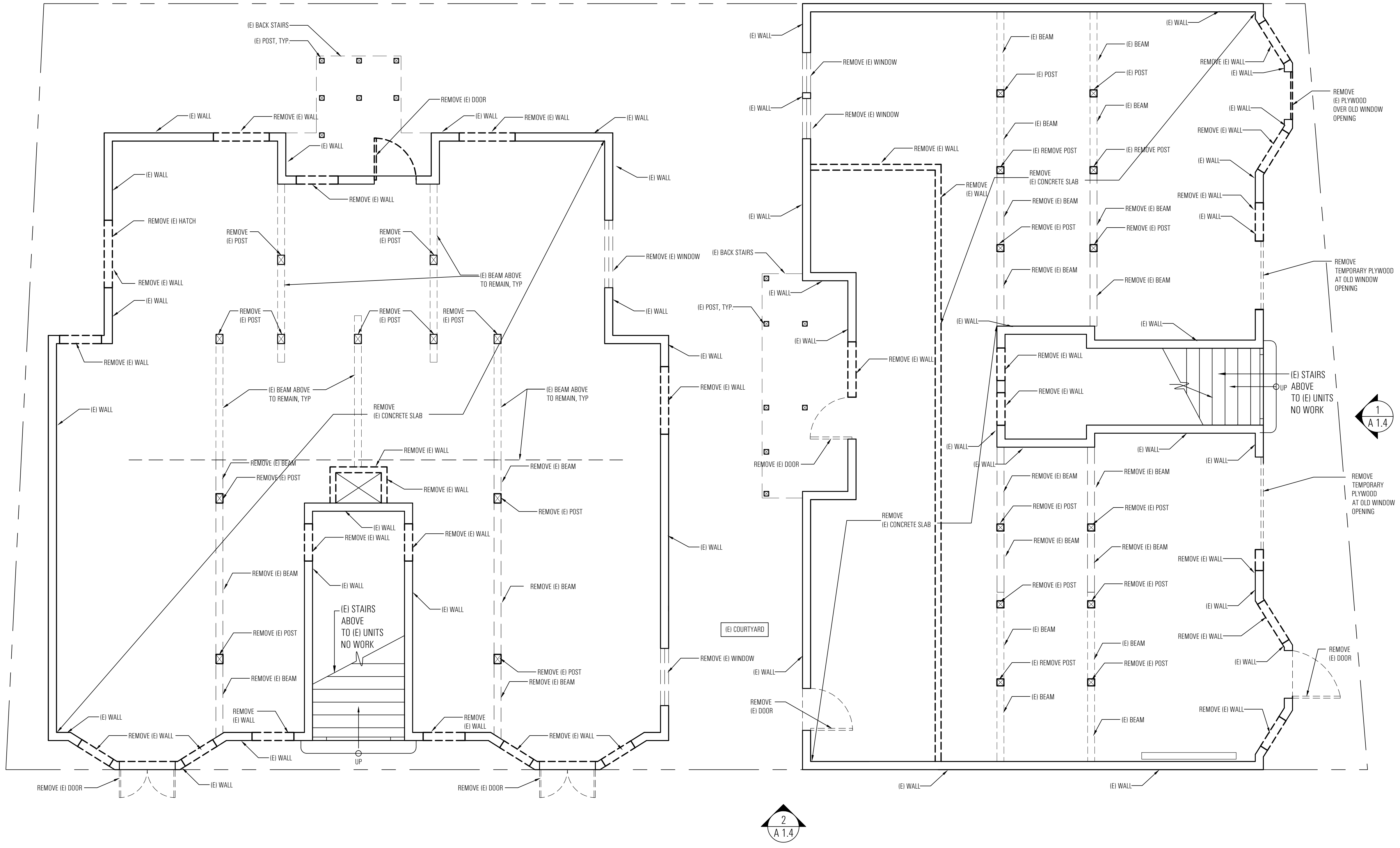
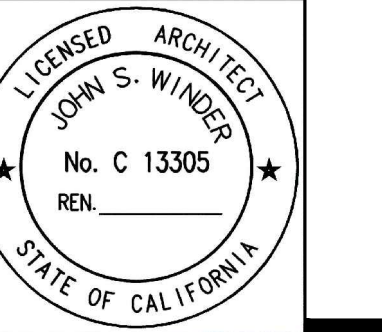
- (E) WALL TO BE REMAIN
- (E) WALL TO BE REMOVED

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LAFAYETTE STREET

MINNA STREET

EXISTING / DEMOLITION FIRST FLOOR PLAN
1/4" = 1'-0"

1
A1.1

NORTH

LAFAYETTE & MINNA STREET
35-41 Lafayette St & 1043-1049 Minna St, SF, CA 94103

PERMIT

EXISTING / DEMOLITION FIRST FLOOR PLAN

REVISION 1 PLANNING COMMENTS 08/08/13

A 1.1

DATE 01.05.13
SCALE AS NOTED
DRAWN ak

WALL TYPES

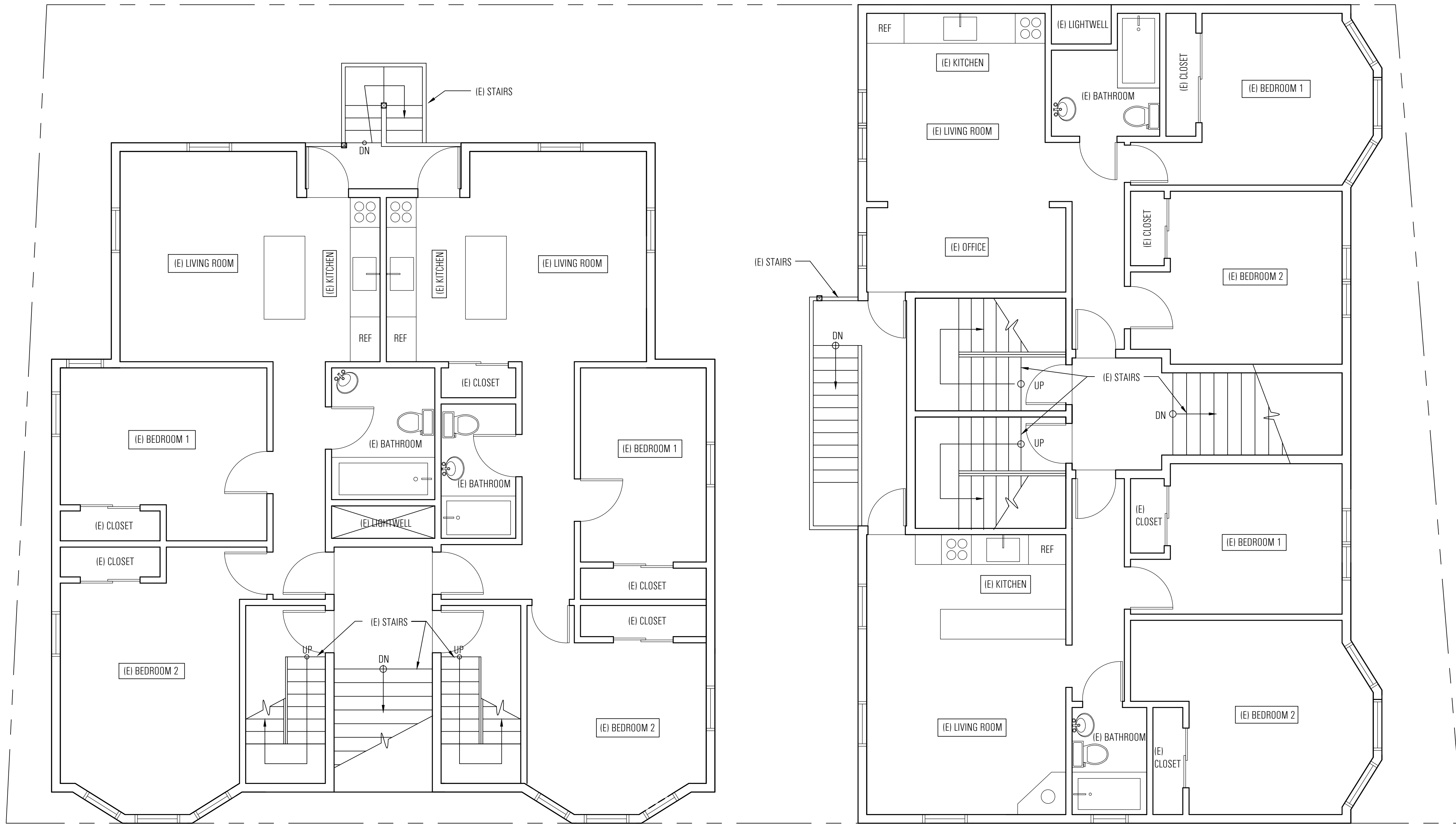
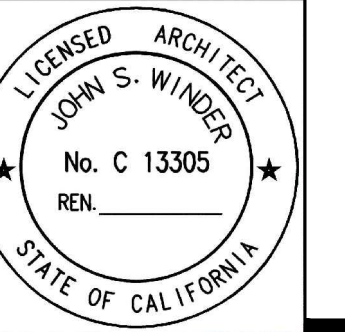
- (E) WALL TO BE REMAIN
- (E) WALL TO BE REMOVED

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MINNA STREET

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PERMIT

EXISTING SECOND FLOOR PLAN

REVISION/PLANNING COMMENTS 08/08/13

EXISTING SECOND FLOOR PLAN - NO CHANGES
1/4" = 1'-0"

1
A1.2



A 1.2

DATE 01.05.13

SCALE AS NOTED

DRAWN ak

1224

WALL TYPES

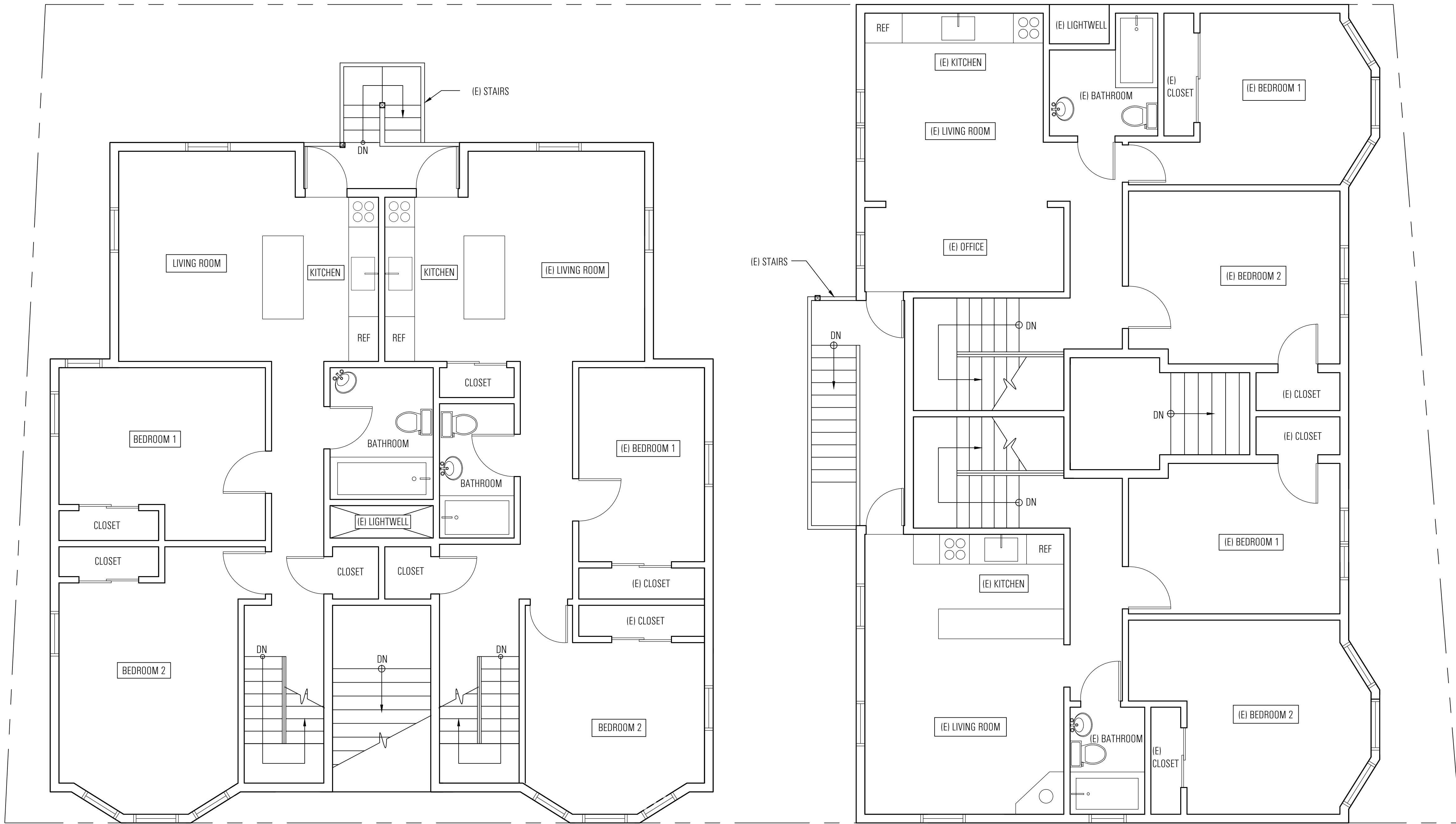
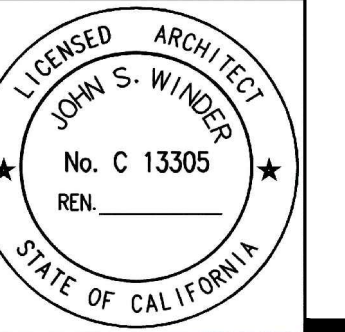
- (E) WALL TO BE REMAIN
- (E) WALL TO BE REMOVED

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LAFAYETTE STREET

MINNA STREET

EXISTING THIRD FLOOR PLAN - NO CHANGES
1/4" = 1'-0"

1	NORTH
A1.3	

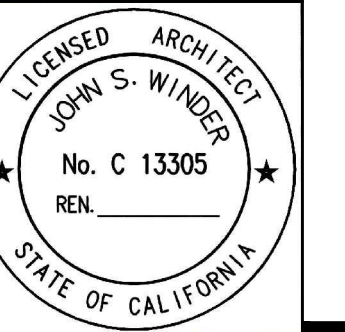
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35-41 Lafayette St & 1043-1049 Minna St, SF, CA 94103

PERMIT

EXISTING THIRD FLOOR PLAN	
REVISION	PLANNING COMMENTS 08/08/13

DATE	01.05.13
SCALE	AS NOTED
DRAWN	ak

A 1.3



LAFAYETTE & MINNA STREET
35-41 Lafayette St & 1043-1049 Minna St, SF, CA 94103

PERMIT

EXISTING ELEVATIONS

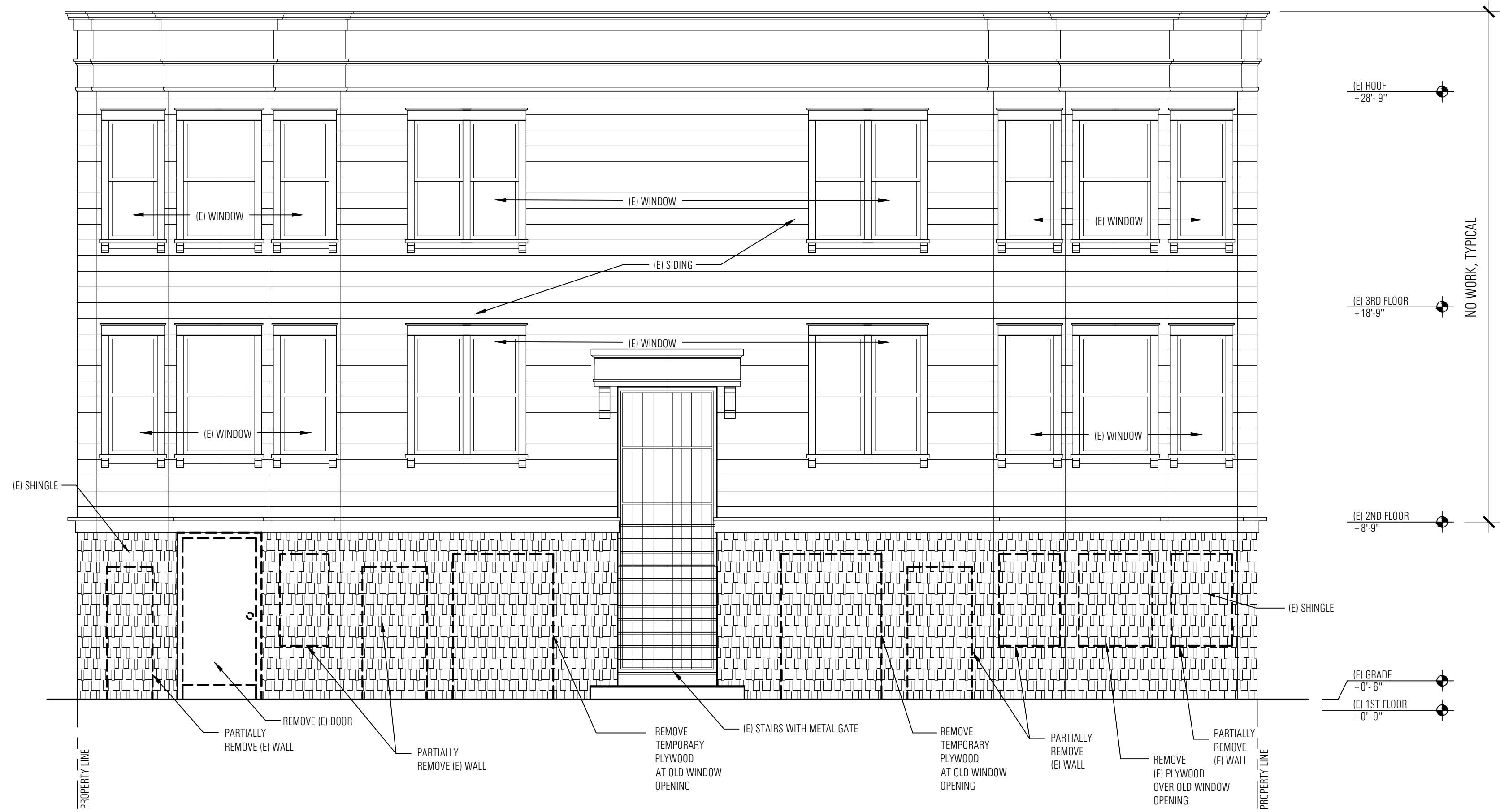
REVISION / PLANNING COMMENTS 08/08/13

A1.4

DATE 01.05.13

SCALE AS NOTED

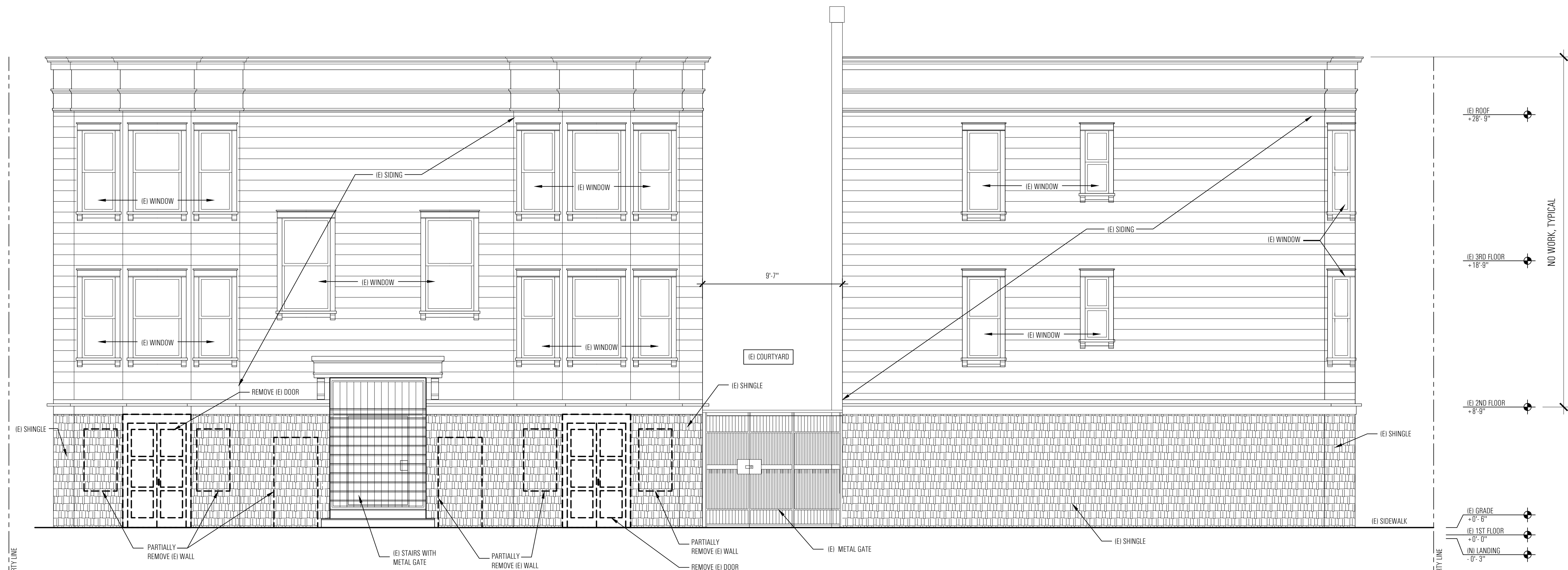
DRAWN ak



EXISTING WEST ELEVATION - LAFAYETTE STREET

1/4" = 1'-0"

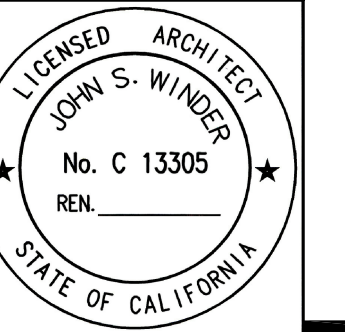
1
A1.4



EXISTING NORTH ELEVATION - MINNA STREET

1/4" = 1'-0"

2
A1.4



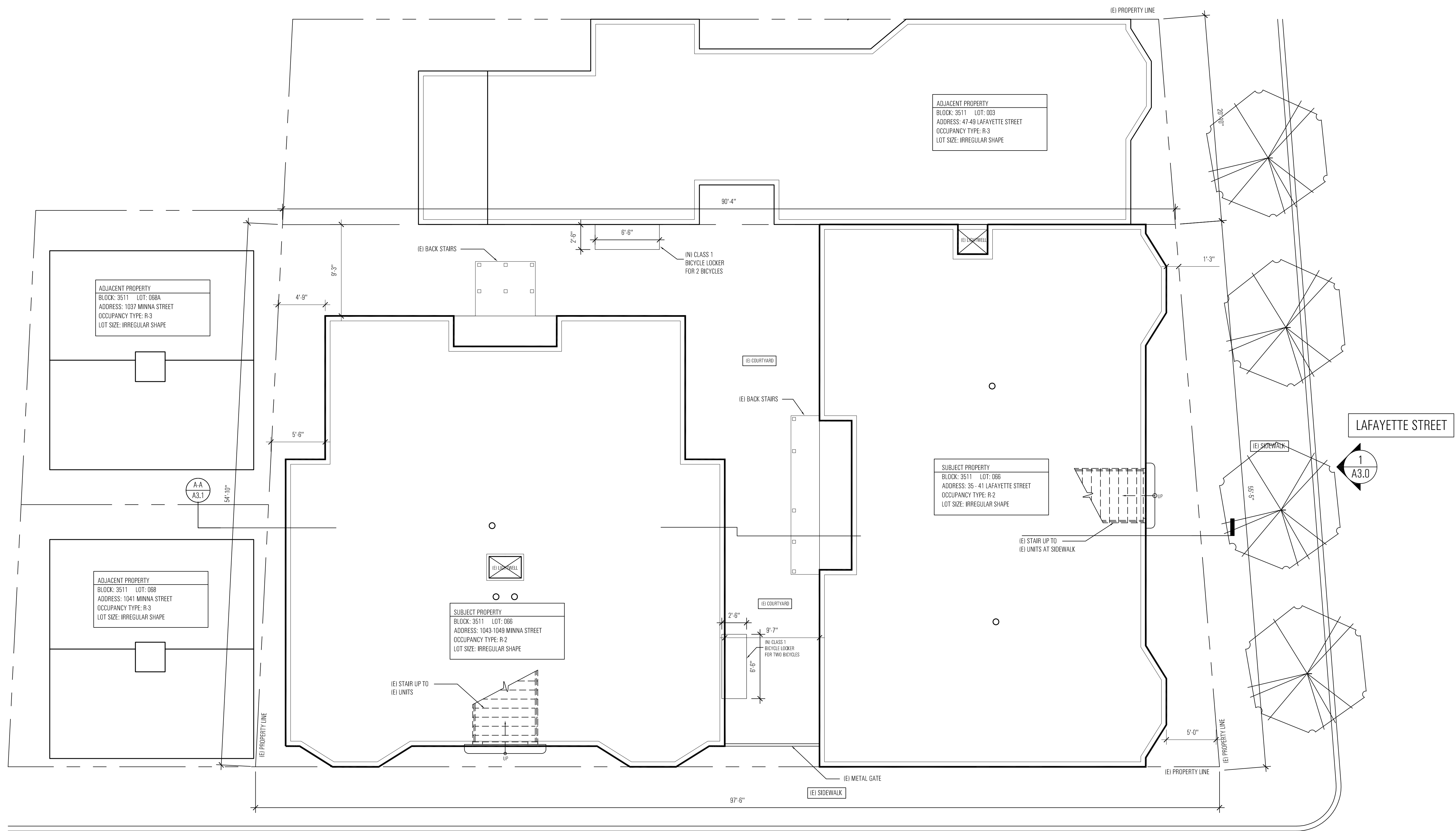
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PERMIT

PROPOSED SITE / ROOF PLAN
REVISION 1 PLANNING COMMENTS 08/08/13
REVISION 2 PLANNING COMMENTS 08/29/13

A 2.0

DATE 01.05.13
SCALE AS NOTED
DRAWN ak




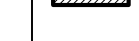
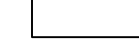


PROPOSED SITE/ROOF PLAN
1/8" = 1'-0"

1
A 2.0



WALL TYPES

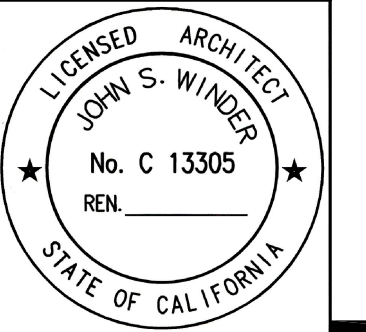
-  (E) EXTERIOR WOOD STUD WALL W/ PAINTED SIDING TO MATCH EXISTING, OVER BLDG. PAPER, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR
-  (E) EXTERIOR WOOD STUD WALL W/ PAINTED SHINGLES TO MATCH EXISTING, OVER BLDG. PAPER, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR
-  (I) INTERIOR WOOD STUD WALL W/ 5/8" TYPE-X GYP. BD. ON BOTH SIDES.
-  (I) INTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ 5/8" TYPE-X GYP. BD. ON BOTH SIDES.
-  (E) EXTERIOR OR INTERIOR WALL TO BE RETAINED

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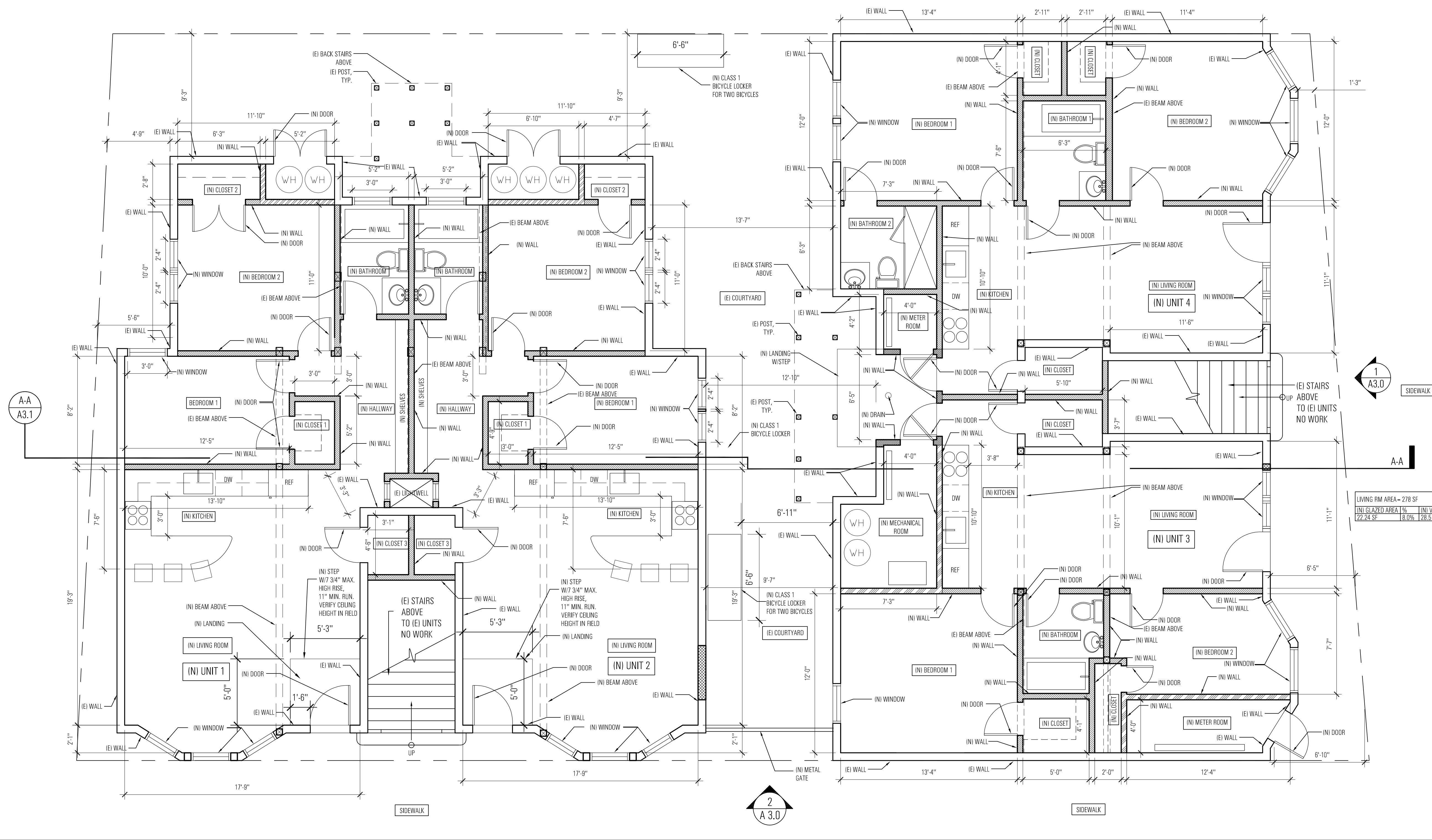
LAFAYETTE STREET

PERMIT

PROPOSED FIRST FLOOR PLAN
REVISION 1 PLANNING COMMENTS 08/08/13
REVISION 2 PLANNING COMMENTS 08/29/13

A2.1

DATE 01.05.13
SCALE AS NOTED
DRAWN ak



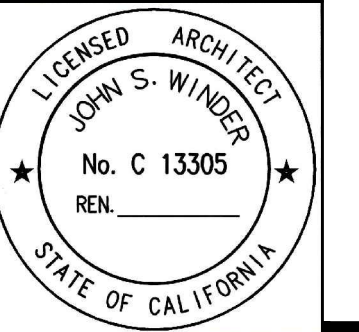
LIVING RM AREA - 278 SF	
(I) GLAZED AREA 1%	(I) VENTILATION AREA 1%
27.24 SF	18.05% / 28.5 SF
	10.2%

PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

1
A2.1



MINNA STREET



LAFAYETTE & MINNA STREET
35-41 Lafayette St & 1043-1049 Minna St, SF, CA 94103

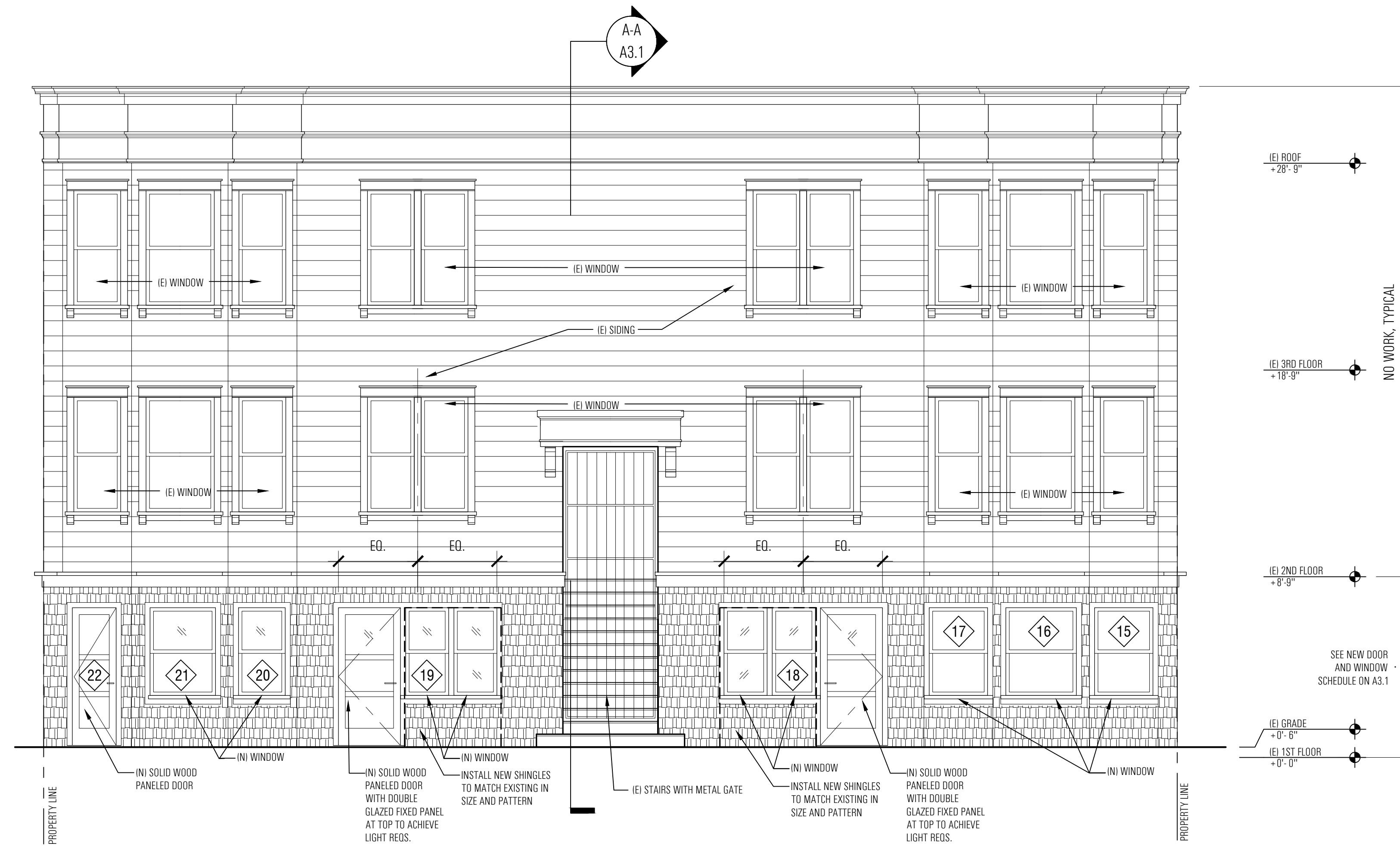
PERMIT

PROPOSED ELEVATIONS

REVISION / PLANNING COMMENTS 08/08/13

A 3.0

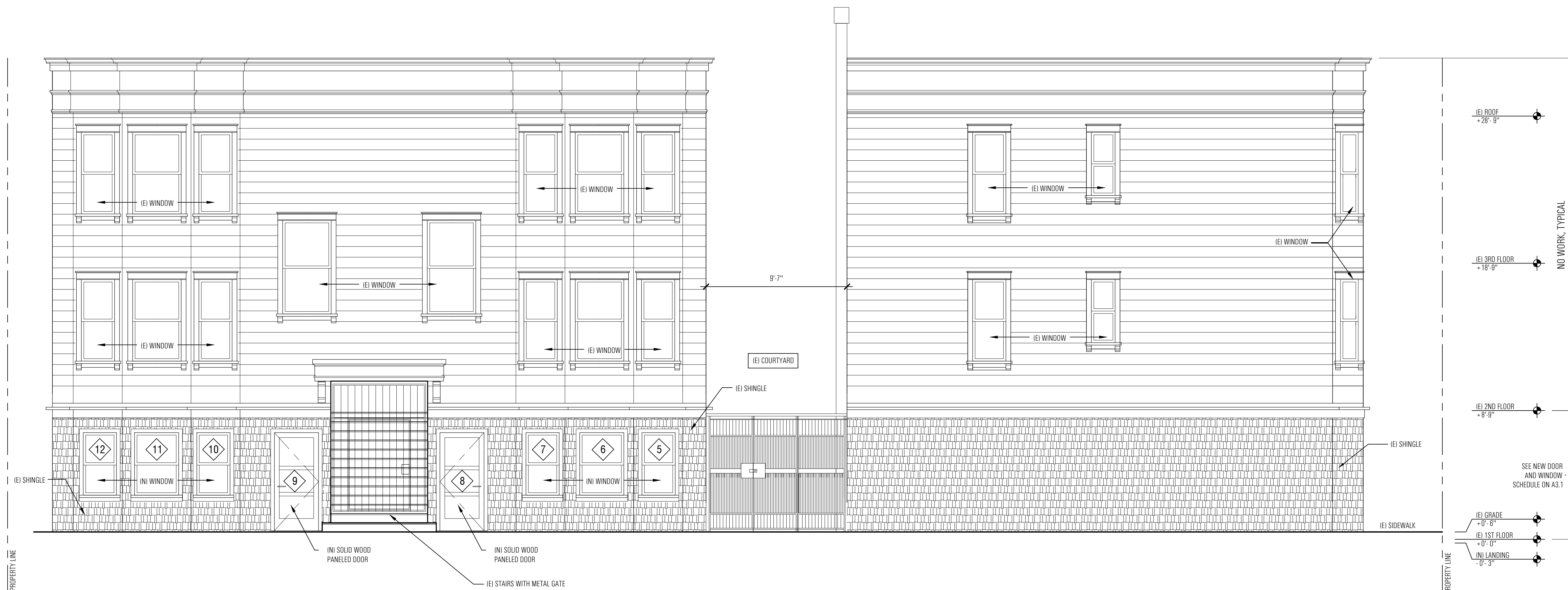
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PROPOSED WEST ELEVATION - LAFAYETTE STREET

1/4" = 1'-0"

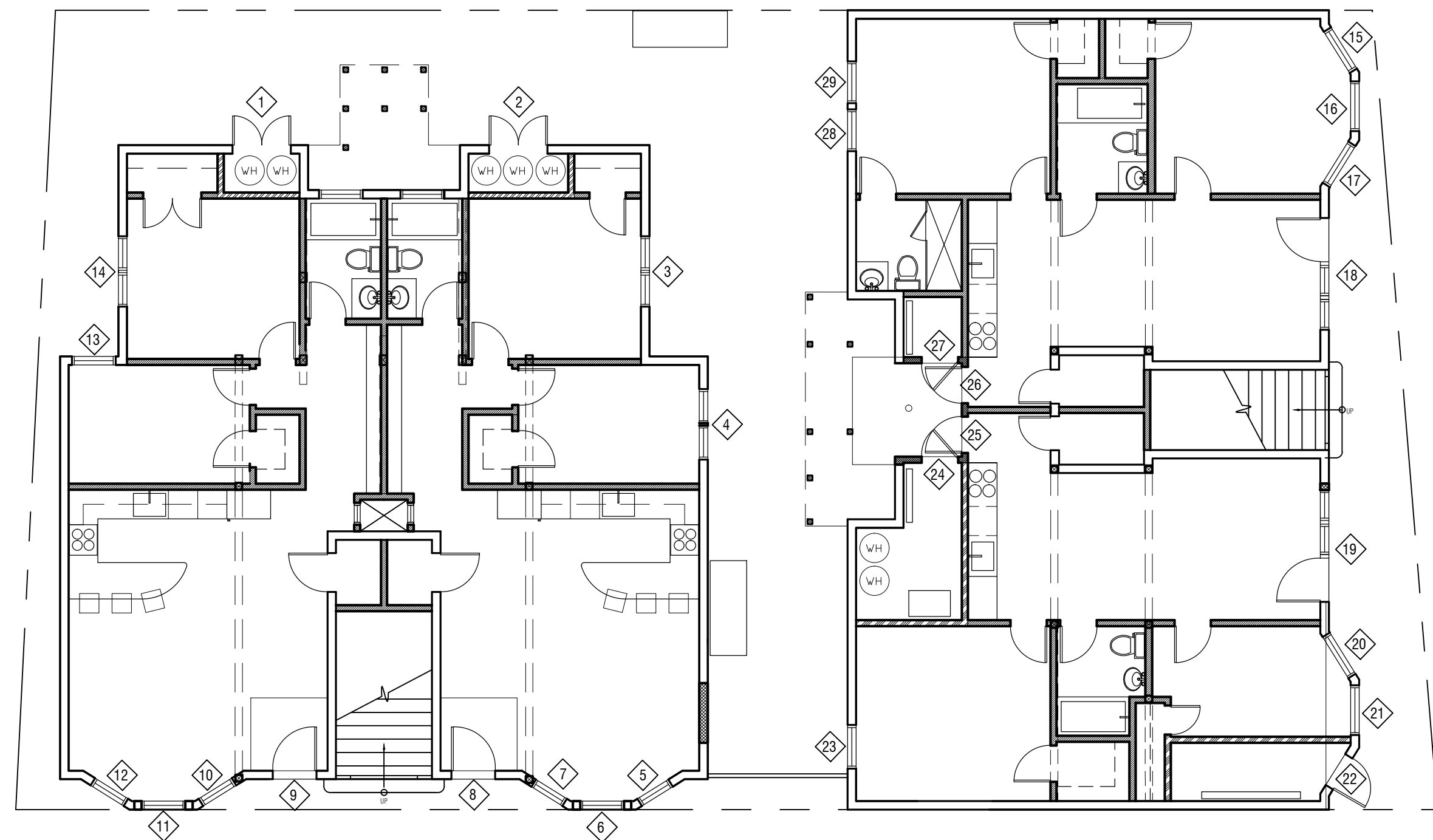
1
A3.0



PROPOSED NORTH ELEVATION - MINNA STREET

1/4" = 1'-0"

2
A3.0



PROPOSED FIRST FLOOR PLAN
1/8" = 1'-0"

2
A3.1

EXTERIOR DOOR AND WINDOW SCHEDULE

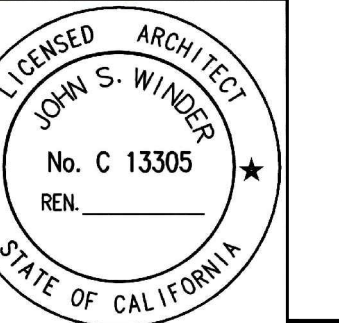
MARK	EXISTING / NEW	OPERATION	MANUFACTURER / MODEL	UNIT SIZE	SASH SIZE	SILL HEIGHT	MATERIAL	EXTERIOR FINISH	INTERIOR FINISH	HARDWARE	HARDWARE FINISH	GLAZING	DIVIDED LITES	U-FACTOR	REMARKS
1	NEW	DOUBLE SWING	TBD		4'-0" width x 8'-0" height	0'-7" SILL HEIGHT	WOOD	PAINTED	PAINTED	HANDLESET	TBD		NO		
2	NEW	DOUBLE SWING	TBD		4'-0" width x 8'-0" height	0'-7" SILL HEIGHT	WOOD	PAINTED	PAINTED	HANDLESET	TBD		NO		
3	NEW	DOUBLE HUNG	TBD		4'-10" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
4	NEW	DOUBLE HUNG	TBD		4'-10" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
5	NEW	DOUBLE HUNG	TBD		2'-6" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
6	NEW	DOUBLE HUNG	TBD		2'-6" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
7	NEW	DOUBLE HUNG	TBD		2'-6" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
8	NEW	SINGLE SWING	TBD		3'-0" width x 8'-0" height	0'-1" SILL HEIGHT	WOOD	PAINTED	PAINTED	HANDLESET	TBD		NO		
9	NEW	SINGLE SWING	TBD		3'-0" width x 8'-0" height	0'-1" SILL HEIGHT	WOOD	PAINTED	PAINTED	HANDLESET	TBD		NO		
10	NEW	DOUBLE HUNG	TBD		2'-6" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
11	NEW	DOUBLE HUNG	TBD		2'-6" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
12	NEW	DOUBLE HUNG	TBD		2'-6" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
13	NEW	DOUBLE HUNG	TBD		2'-6" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
14	NEW	DOUBLE HUNG	TBD		4'-10" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
15	NEW	DOUBLE HUNG	TBD		2'-4" width x 6'-8" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
16	NEW	DOUBLE HUNG	TBD		2'-5" width x 6'-8" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
17	NEW	DOUBLE HUNG	TBD		2'-4" width x 6'-8" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
18	NEW	SINGLE SWING, DOUBLE HUNG	TBD		7'-8" width x 6'-8" height	0'-1" AT DOOR, 3'-0" AT WINDOW	WOOD	PAINTED	PAINTED	SASH LOCK, HANDLESET	TBD	DOUBLE-GLAZING	NO		
19	NEW	SINGLE SWING, DOUBLE HUNG	TBD		7'-8" width x 6'-8" height	0'-1" AT DOOR, 3'-0" AT WINDOW	WOOD	PAINTED	PAINTED	SASH LOCK, HANDLESET	TBD	DOUBLE-GLAZING	NO		
20	NEW	DOUBLE HUNG	TBD		2'-4" width x 6'-8" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
21	NEW	DOUBLE HUNG	TBD		2'-5" width x 6'-8" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
22	NEW	DOUBLE HUNG	TBD		2'-4" width x 6'-8" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
23	NEW	DOUBLE HUNG	TBD		3'-0" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
24	NEW	SINGLE SWING	TBD		2'-6" width x 6'-8" height	0'-1" SILL HEIGHT	WOOD	PAINTED	PAINTED	HANDLESET	TBD		NO		
25	NEW	SINGLE SWING	TBD		2'-6" width x 6'-8" height	0'-1" SILL HEIGHT	WOOD	PAINTED	PAINTED	HANDLESET	TBD		NO		
26	NEW	SINGLE SWING	TBD		2'-6" width x 6'-8" height	0'-1" SILL HEIGHT	WOOD	PAINTED	PAINTED	HANDLESET	TBD		NO		
27	NEW	SINGLE SWING	TBD		2'-6" width x 6'-8" height	0'-1" SILL HEIGHT	WOOD	PAINTED	PAINTED	HANDLESET	TBD		NO		
28	NEW	DOUBLE HUNG	TBD		3'-0" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		
29	NEW	DOUBLE HUNG	TBD		2'-0" width x 4'-3" height	3'-0" SILL HEIGHT	WOOD	PAINTED	PAINTED	SASH LOCK	TBD	DOUBLE-GLAZING	NO		

WINDER GIBSON architects

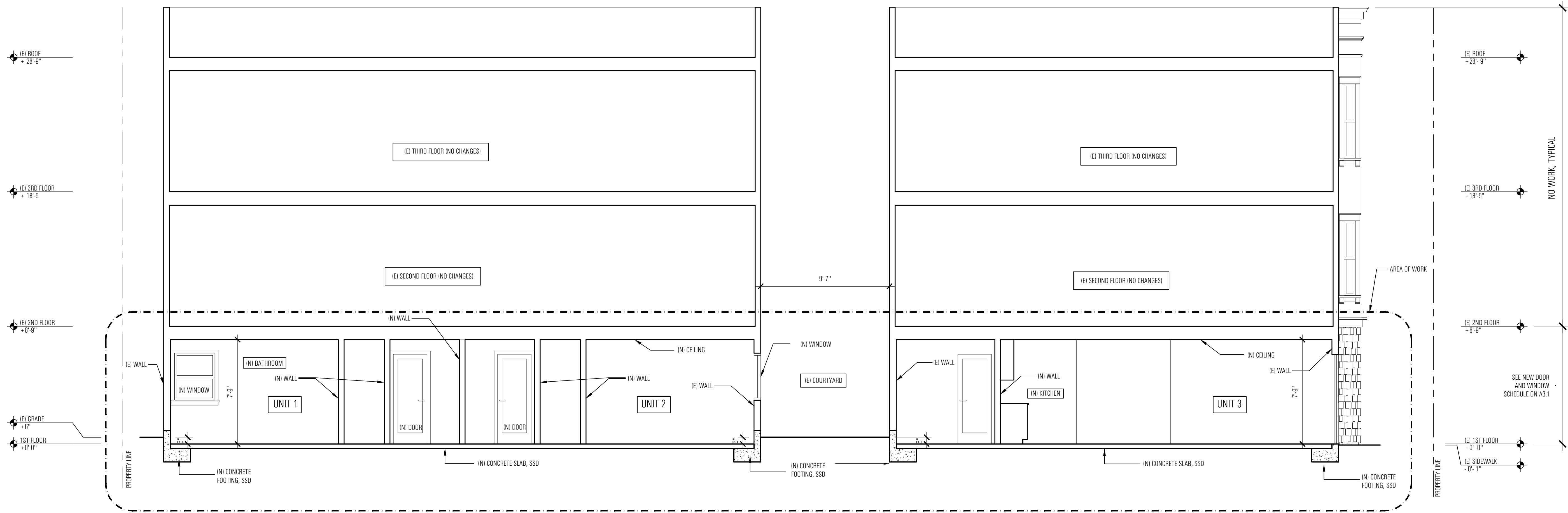
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PROPOSED SECTION A-A
1/4" = 1'-0"

1
A3.1

PERMIT

PROPOSED SECTION

REVISION / PLANNING COMMENTS 08/08/13

DATE 01.05.13
SCALE AS NOTED
DRAWN sk

A3.1