

### City Information

1<sup>st</sup> Floor: 2,562 s.f.  
 2<sup>nd</sup> Floor: 2,621 s.f.  
**Total: 5,181 s.f. Approved**

**Square Footage Proposed Revision**  
 Basement: 598 s.f. (existing)  
 1<sup>st</sup> Floor: 2,772 s.f.  
**Total: 5,952 s.f. Proposed**

**Occupant Load - Approved Under Permit #2013-0223-0089**  
 Basement: S-2 occupancy - 598 s.f. / 300 s.f. per person = 2 persons  
 1<sup>st</sup> Floor: M occupancy - 1,836 s.f. / 30 s.f. per person = 61 persons  
 2<sup>nd</sup> Floor: B occupancy - 2,367 s.f. / 100 s.f. per person = 23 persons  
**Total: 89 persons**

**Occupant Load - Proposed Revision**  
 Basement: S-2 occupancy - 598 s.f. / 300 s.f. per person = 2 persons  
 1<sup>st</sup> Floor: M occupancy - 1,836 s.f. / 30 s.f. per person = 61 persons  
 2<sup>nd</sup> Floor: B occupancy - 2,368 s.f. / 100 s.f. per person = 23 persons  
**Total: 89 persons**

**Parking:**  
 None required, none provided

**Building Code:**  
 2013 California Building Code (CBC)  
 2010 San Francisco Addendum to CBC  
 2010 California Mechanical Code (CMC)  
 2010 California Electrical Code (CEC)  
 2010 California Fire Code (CFC)  
 2010 Energy Code - Title 24

**Scope of Work:**  
 Revision to permit #2013-0223-0089: Addition of 111 Sq. Ft. on 2<sup>nd</sup> Floor, enclosure of stairs to roof, and addition of equipment room on roof.

### Schedule of Drawings

**ARCHITECTURAL**  
 A1.0 CITY INFORMATION: SITE PLAN AND CITY INFORMATION  
 A2.0 FLOOR PLANS: BASEMENT, 1<sup>st</sup> FLOOR, 2<sup>nd</sup> FLOOR, ROOF  
 A3.0 EXTERIOR ELEVATIONS: NORTH, EAST, WEST

### Vicinity Map

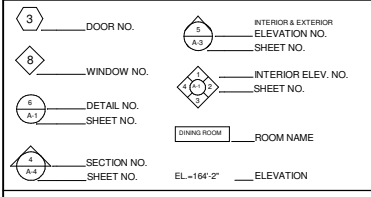


### Project Directory

**CLIENT**  
 Fred Warren  
 245 West Portal Ave.  
 S.F. - CA 94127  
 415.681.2418 (p)

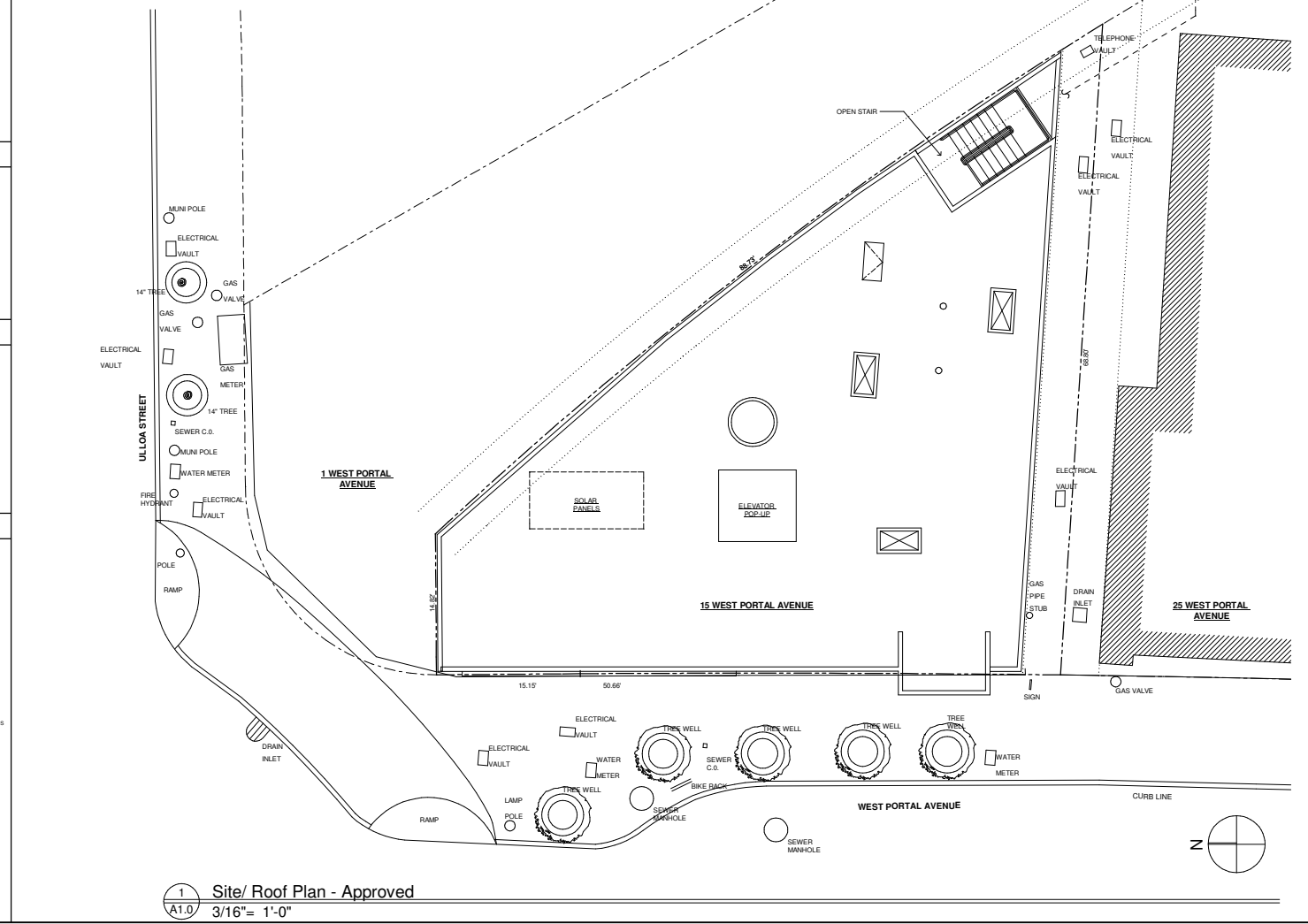
**ARCHITECT**  
 Anthony Pantaleoni  
 Kotas/Pantaleoni Architects  
 70 Zoe Street, Suite 200  
 San Francisco, CA 94107  
 415.485.4051, ext. 211 (p)  
 415.485.6885 (f)

### Symbols



### Abbreviations

A	AND	FDN	FOUNDATION	PT	POINT
ANG	ANGLE	FIN	FURNISH	PTN	PARTITION
C	CURTAIN LINE	FLOOR	FLOOR/ROOF	R	RIB
D	DIAMETER OR ROUND	F.C.C.	FACE OF CONCRETE	R.D.	ROOF DRAIN
F	FLOOR OR NUMBER	F.C.F.	FACE OF FINISH	REF	REFRIGERATOR
P	PROPERTY LINE	F.C.S.	FACE OF STUDS	RENF.	REINFORCED
ABV	ABOVE	FTS	FOOTING	RM	ROOM
AC	AIR CONDITIONER	FURN	FURNING	R.O.	ROUGH OPENING
ADJ	ADJUSTABLE	FUT	FUTURE	RWD	ROUGHWOOD
A.F.F.	ABOVE FINISH FLOOR	GA	GALVANIZED	R.W.	RAIN WATER LEADER
AL	ALUMINUM	GD	GARAGE	S.C.	SOLID CORE
APPROX	APPROXIMATE	GRV	GRASS	SCHED.	SCHEDULE
ARCH	ARCHITECTURAL	GRV	GRASS	SECT.	SECTION
AS	AS SHOWN	GRV	GRASS	SHWNG	SHOWN SHEET
BLDG	BUILDING	H.B.	HORSE BB	SM	SIMILAR
BLK	BLOCK	HC	HANDICAPPED	SPEC.	SPECIFICATION
BLDG	BUILDING	H.C.	HOLLOW CORE	SQL	SQUARE
BM	BENCHMARK	HW	HARDWARE	SSTL	STAINLESS STEEL
B.W.	BOTTOM OF WALL	HWWD	HARDWOOD	STD.	STANDARD
CAB	CABINET	HT	HEIGHT	STR.	STORAGE
CEM	CEMENT	HTR	HOT WATER HEATER	STR.	STRUCTURAL
CER	CERAMIC	INS.	INSULATION	SUSP.	SUSPENDED
CLD	CLOSING	INT.	INTERIOR	SVE	STRUCTURAL
CLR	CLEAR	INT.	INTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS
COL	COLUMN	JAN	JANITOR	T	TIE
CONC	CONCRETE	JT	JOINT	T.B.D.	TO BE DETERMINED
CONT	CONTINUOUS	LAM	LAMINATE	T.S.S.	TO BE SELECTED
CTR	CENTER	LAV	LAVATORY	T.C.	TOP OF CURB
DBL	DOUBLE	LGT	LIGHT	TEL	TELEPHONE
DEPT	DEPARTMENT	MAX	MAXIMUM	T&G	TONGUE & GROOVE
D.F.T.	DRINKING FOUNTAIN	MCH	MECHANICAL	TH	THICK
D.F.T.	DRINKING FOUNTAIN	MCH	MECHANICAL	T.P.	TOP OF PAVEMENT
DIM	DIMENSION	MFR	MANUFACTURER	T.P.	TOP OF WALL
DL	DOWN	MFR	MANUFACTURER	TRF	TRIP
DTL	DETAIL	MFR	MANUFACTURER	U.C.N.	UNLESS OTHERWISE NOTED
DWG	DRAWING	M.D.	MANUALLY DRAWN	V.F.	VERIFY IN FIELD
DWG	DRAWING	M.D.	MANUALLY DRAWN	VERT.	VERTICAL
(E)	EXISTING	NI	NEW	W	WITH
EA	EACH	N.I.C.	NOT IN CONTRACT	W.C.	WATER CLOSET
EL	ELEVATION	N.T.S.	NOT TO SCALE	W.D.	WATER DRAIN
ELEC	ELECTRICAL	O.C.	ON CENTER	W.D.	WATER DRAIN
ELEV	ELEVATION	O.C.	ON CENTER	W.D.	WATER DRAIN
EQ	EQUIPMENT	O.D.	OUTSIDE DIAMETER	W.D.	WATER DRAIN
EXP	EXPANSION	PL	PLATE	W.P.	WATERPROOF
EXT.	EXTERIOR	PLM	PLASTIC LAMINATE	W.P.	WATERPROOF
FAU	FORCED AIR UNIT	PLYWD	PLYWOOD	WT.	WEIGHT
F.D.	FLOOR DRAIN	P.T.	PRESSURE TREATED		



1 Site/ Roof Plan - Approved  
 A1.0 3/16"= 1'-0"

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 Architects**

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Revisions	By

**WARREN ORTHODONTICS OFFICE BUILDING**  
 15 WEST PORTAL AVENUE  
 SAN FRANCISCO, CA 94127

Sheet Title:  
**Variance**  
 City Info, Site Plan -  
 Approved

Scale:  
 As Noted

Date:  
 7-8-13

Drawn By:  
 MKS

Job Number:  
 3-1012

**A1.0**

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Revision	By

WARREN ORTHODONTICS OFFICE BUILDING  
15 WEST PORTAL AVENUE  
SAN FRANCISCO, CA 94127

Sheet Title:  
Variance  
Site Plan - Variance

Scale:  
As Noted

Date:  
7-8-13

Drawn By:  
MKS

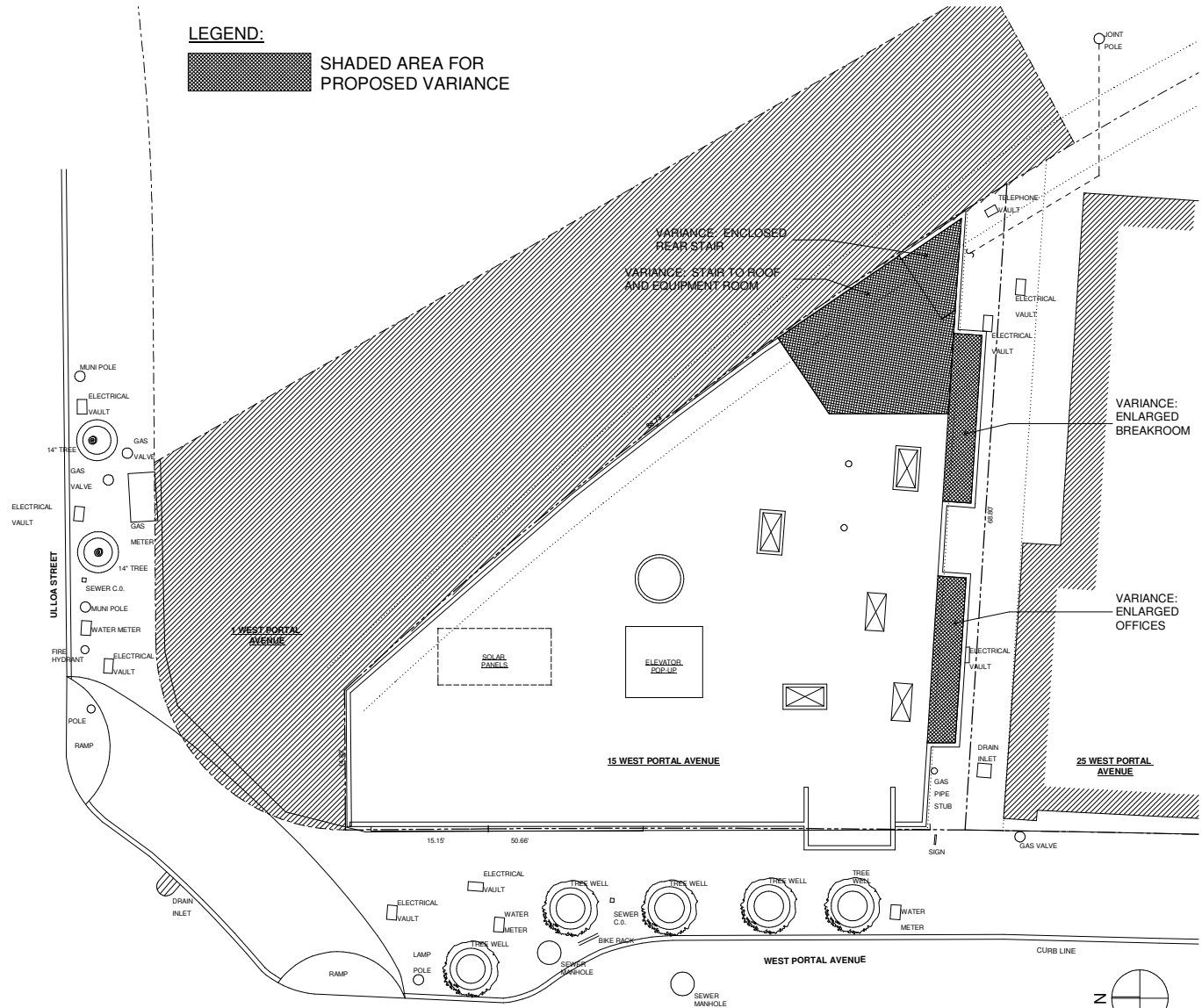
Job Number:  
3-1012

Sheet:

A1.1

**LEGEND:**

 SHADED AREA FOR PROPOSED VARIANCE



1 Site/ Roof Plan - Proposed Variance  
A1.1 3/16"= 1'-0"

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Revisions	By

WARREN ORTHODONTICS OFFICE BUILDING  
15 WEST PORTAL AVENUE  
SAN FRANCISCO, CA 94127

Sheet Title:  
Variance  
1st Floor & Basement -  
Approved

Scale:  
As Noted

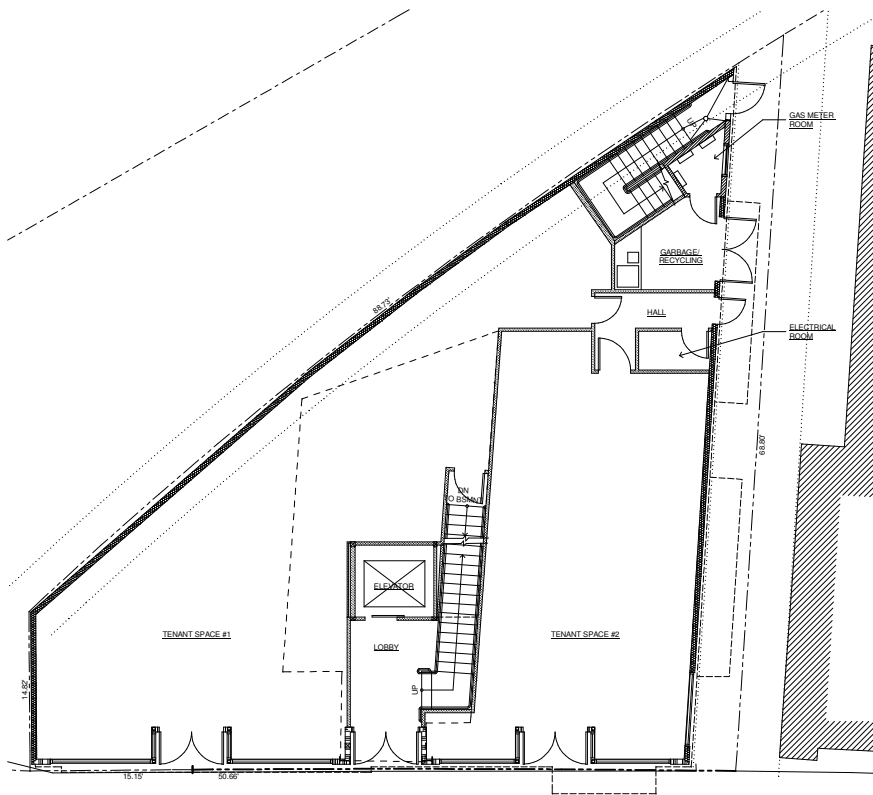
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7-8-13

Drawn By:  
MKS

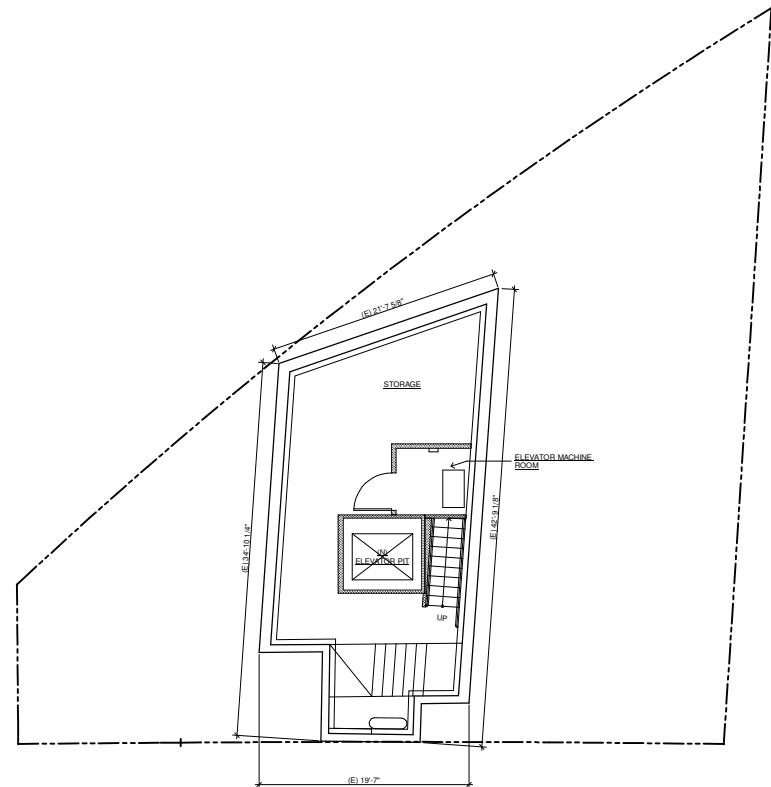
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3-1012

Sheet:

A2.0



2 1st Floor - No Variance  
A2.0 3/16"= 1'-0"



1 Basement - No Variance  
A2.0 3/16"= 1'-0"

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Revisions	By

WARREN ORTHODONTICS OFFICE BUILDING  
15 WEST PORTAL AVENUE  
SAN FRANCISCO, CA 94127

Sheet Title:  
Variance  
2nd Floor - Approved &  
Variance

Scale: As Noted

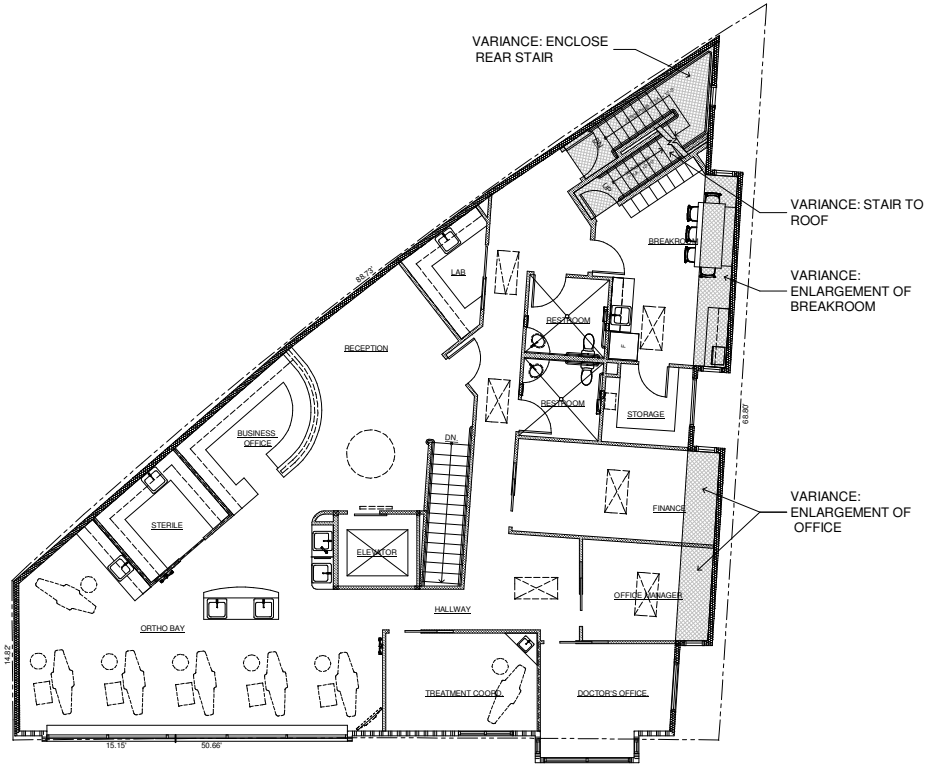
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Drawn By: MKS

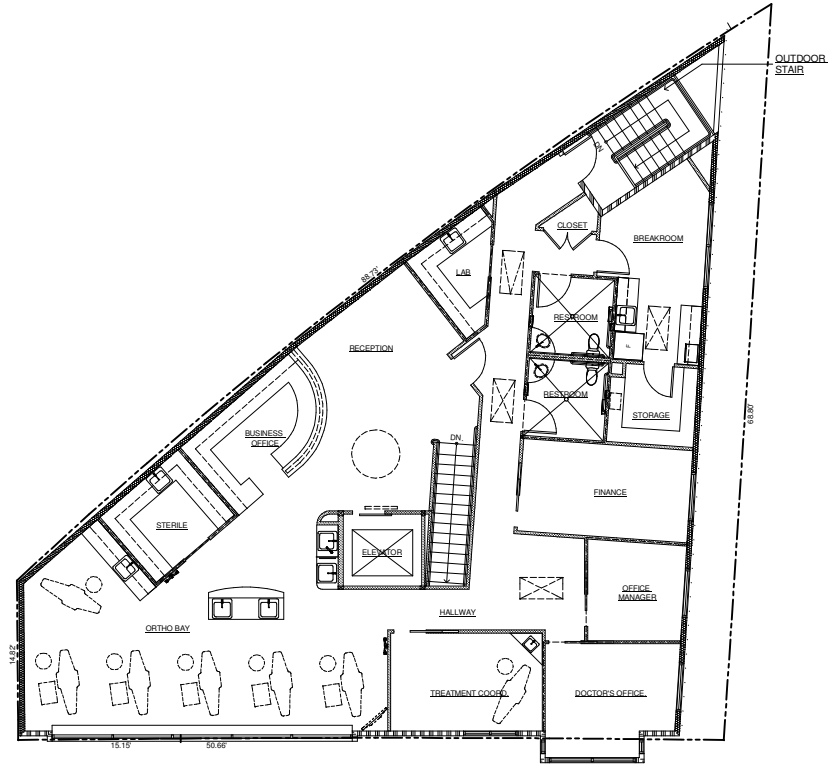
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A2.1



2 2nd Floor - Proposed Variance  
A2.1 3/16" = 1'-0"



1 2nd Floor - Approved Plan  
A2.1 3/16" = 1'-0"

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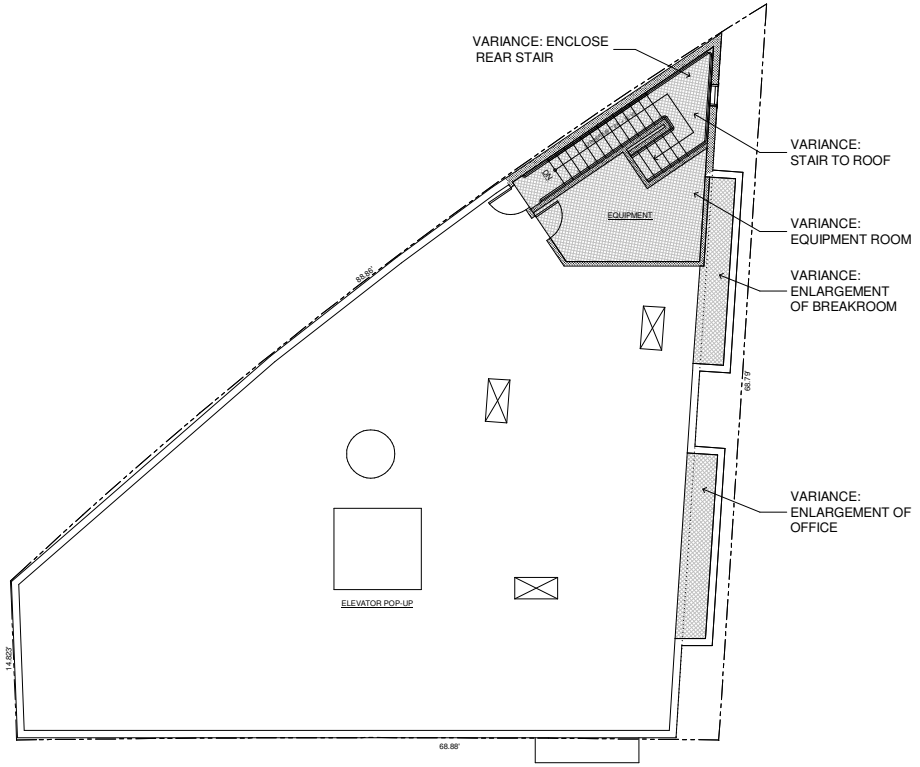
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WARREN ORTHODONTICS OFFICE BUILDING  
15 WEST PORTAL AVENUE  
SAN FRANCISCO, CA 94127

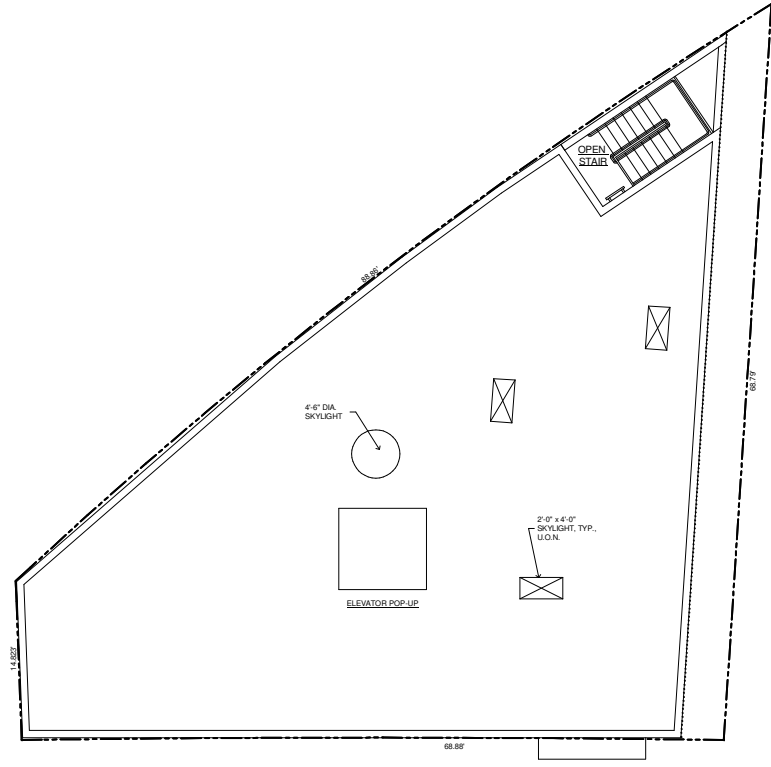
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Variance  
Roof Plans - Approved &  
Variance

Scale: As Noted  
Date: 7-8-13  
Drawn By: MKS  
Job Number: 3-1012  
Sheet:

**A2.2**



**2** Roof Plan - Proposed Variance  
A2.2 3/16" = 1'-0"



**1** Roof Plan - Approved Plan  
A2.2 3/16" = 1'-0"

Revisions	By

WARREN ORTHODONTICS OFFICE BUILDING  
15 WEST PORTAL AVENUE  
SAN FRANCISCO, CA 94127

Sheet Title:  
Variance  
West Elevation -  
Approved & Variance

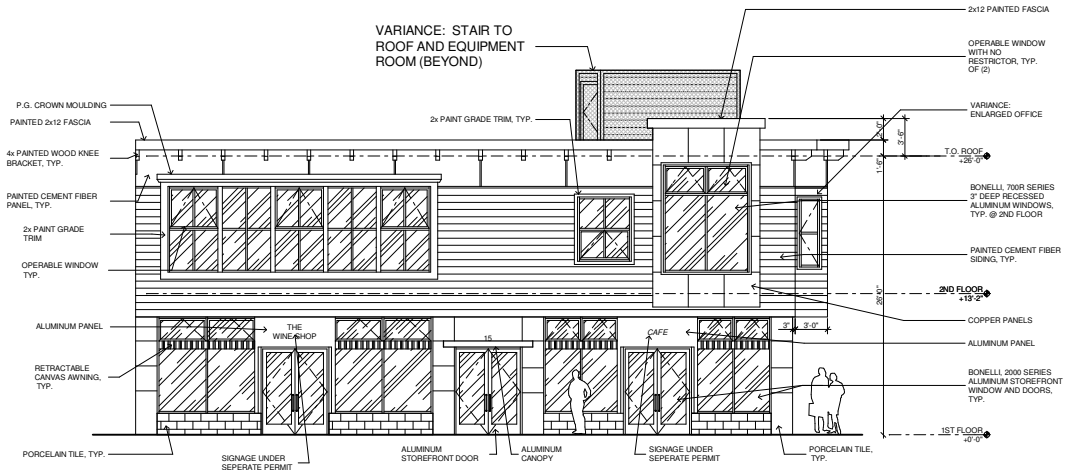
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Date:  
7-8-13

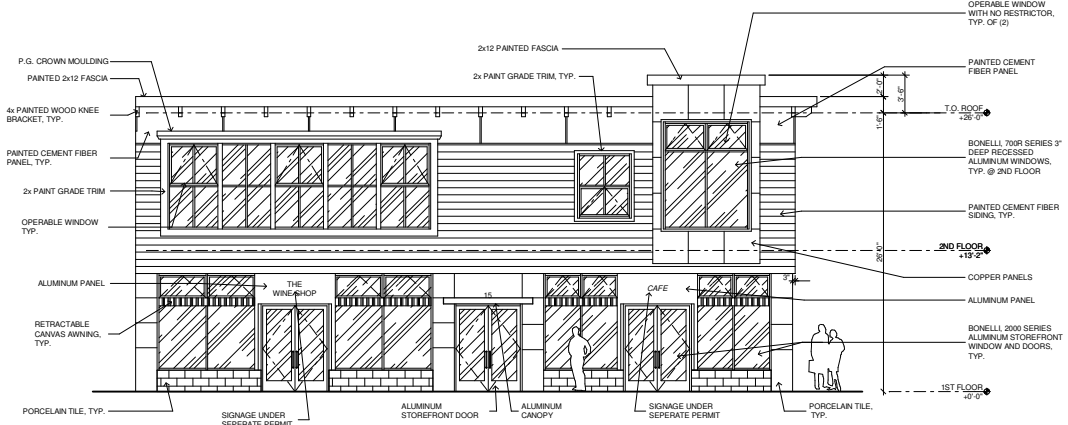
Drawn By:  
MKS

Job Number:  
3-1012

Sheet:  
3.0



2 West Elevation - Proposed Variance  
3.0 3/16"= 1'-0"



1 West Elevation - West Portal Av  
3.0 3/16"= 1'-0"

Revisions	By

WARREN ORTHODONTICS OFFICE BUILDING  
15 WEST PORTAL AVENUE  
SAN FRANCISCO, CA 94127

Sheet Title:  
Variance  
South Elevation -  
Approved & Variance

Scale:  
As Noted

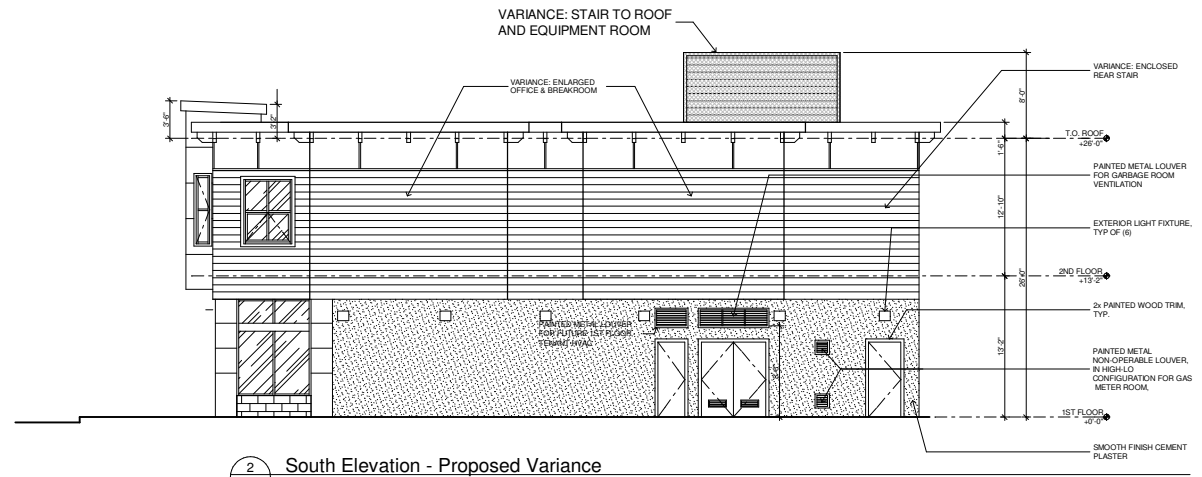
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7-8-13

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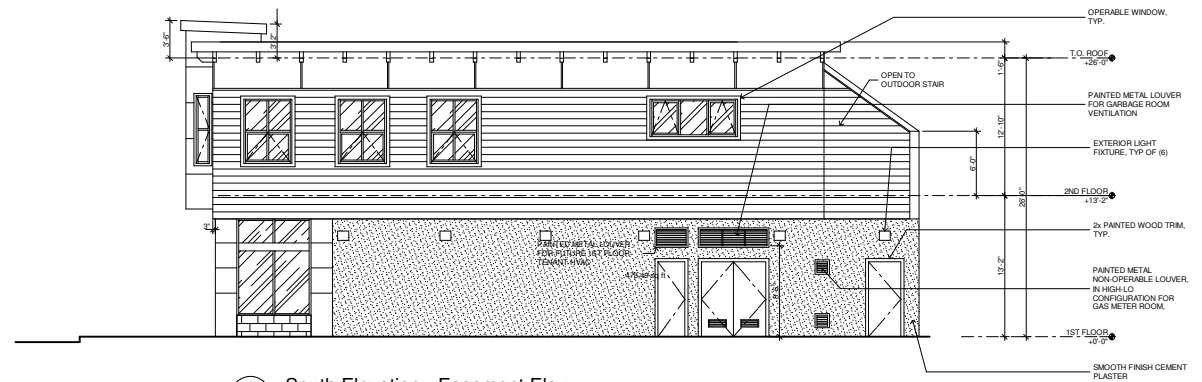
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3-1012

Sheet:

A3.1



2 South Elevation - Proposed Variance  
A3.1 3/16" = 1'-0"



1 South Elevation - Easement Elev  
A3.1 3/16" = 1'-0"

Revisions	By

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15 WEST PORTAL AVENUE  
SAN FRANCISCO, CA 94127

Sheet Title:  
Variance  
East Elevation -  
Approved & Variance

Scale:  
As Noted

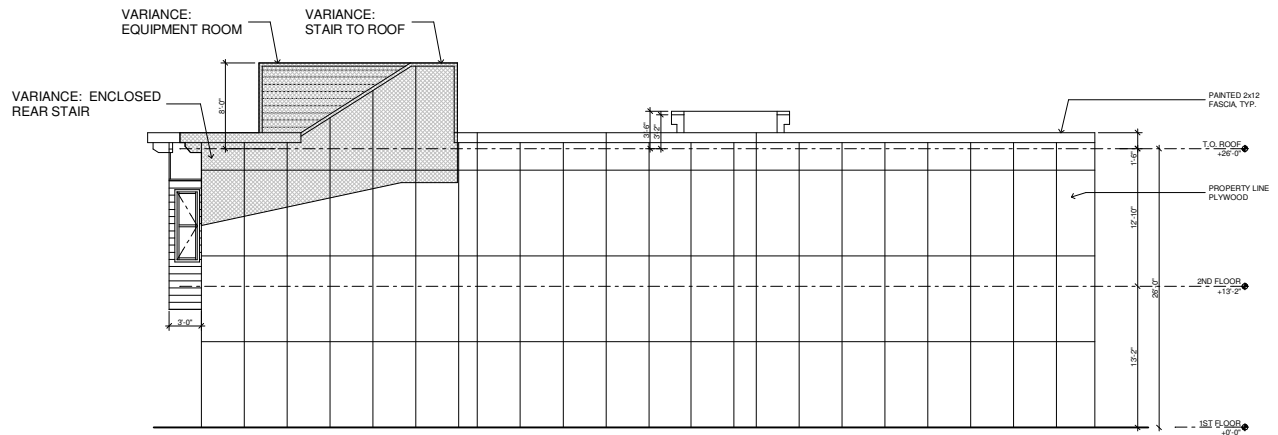
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7-8-13

Drawn By:  
MGS

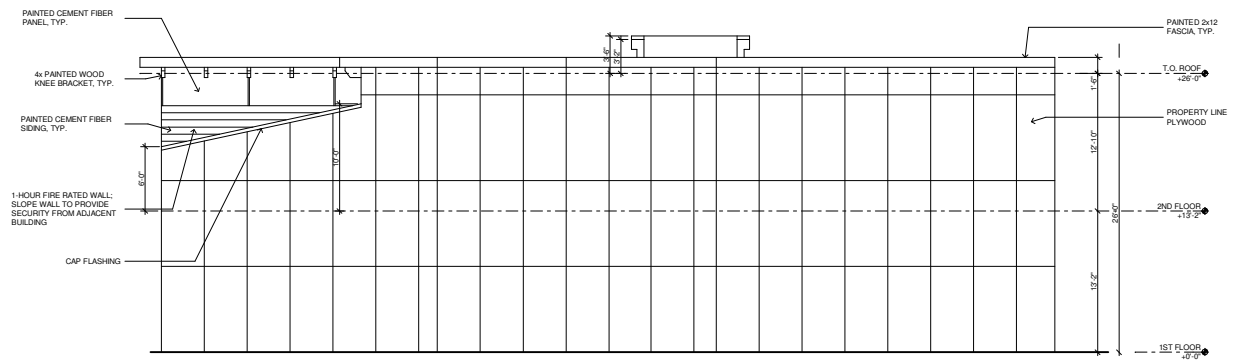
Job Number:  
3-1012

Sheet:

A3.2



2 East Elevation - Proposed Variance  
A3.2 3/16" = 1'-0"



1 East Elevation - Approved  
A3.2 3/16" = 1'-0"