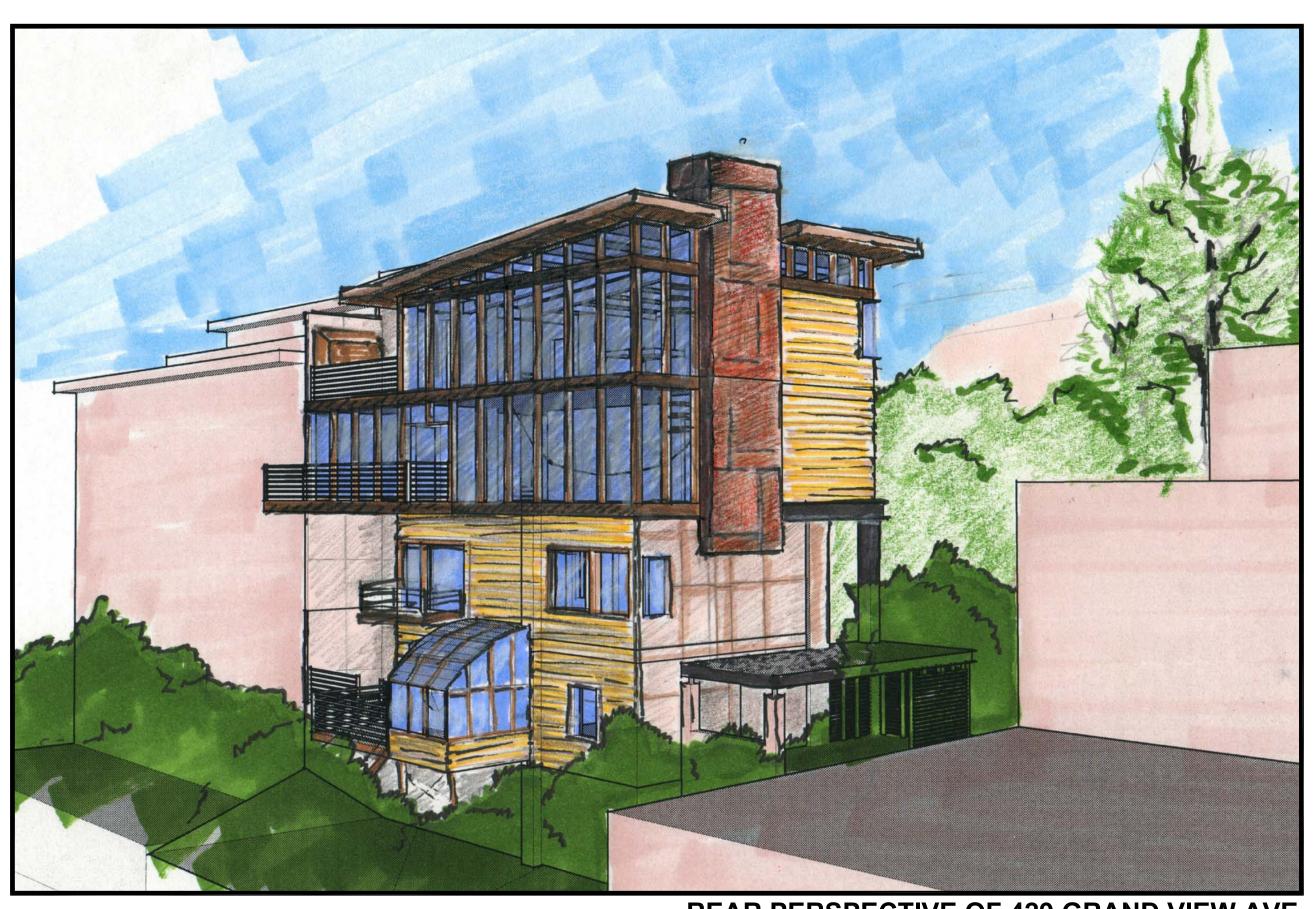
# WILKINS-QUATMAN RESIDENCE VARIANCE APPLICATION & PLANNING (SITE PERMIT REVIEW) - 04.04.2014





**REAR PERSPECTIVE OF 429 GRAND VIEW AVE.** 

ADDITION OF SECOND TWO-STORY UNIT

#### FRONT PERSPECTIVE OF 429 GRAND VIEW AVE.

#### **PERMITS:**

SEPARATE PERMITS

MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE NOT WITHIN THE SCOPE OF THIS PERMIT. SUBMIT DRAWINGS TO LOCAL JURISDICTION FOR REVIEW AND APPROVAL IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES PRIOR TO INSTALLATION.

FIRE SPRINKLER SYSTEMS ARE NOT WITHIN THE SCOPE OF THIS PERMIT. SUBMIT DRAWINGS TO LOCAL JURISDICTION FOR REVIEW AND APPROVAL IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES PRIOR TO INSTALLATION.

#### CODES:

EDITION / TITLE BUILDING:

2010 CALIFORNIA RESIDENTIAL CODE (2009 CRC) PLUMBING: 2010 CALIFORNIA PLUMBING CODE (2009 UPC) MECHANICAL: 2010 CALIFORNIA MECHANICAL CODE (2009 UMC) ELECTRICAL: 2010 CALIFORNIA ELECRICAL CODE (2008 NEC)

ENERGY: 2008 BUILDING ENERGY EFFICIENCY STANDARDS (EFFECT. 2010) 2008 SAN FRANCISCO PLANNING CODE

#### **ORDINANCES:**

ORDINANCES OF THE CITY AND COUNTY OF SAN FRANCISCO

2010 SAN FRANCISCO BUILDING INSPECTION COMMISSION (BIC) CODES:

2010 SF BUILDING CODE (INC. CH. 13C GREEN BUILDING REQUIREMENTS) 2010 SF ELECTRICAL CODE 2007 SF HOUSING CODE 2010 SF MECHANICAL CODE 2010 SF PLUMBING CODE

#### **PROJECT DATA:**

PROJECT ADDRESS: 429 GRAND VIEW AVENUE SAN FRANCISCO, CA 94114 BLOCK: 2807 LOT: 040

SEISMIC CATEGORY: ZONE 4 SEISMIC DESIGN CATEGORY: SDC 'D' ZONING DISTRICT: 1.8 TO 1 F.A.R. ALLOWED: SANITATION: SEWER

SCOPE OF WORK:

ABOVE AN EXISTING SINGLE FAMILY TWO STORY STRUCTURE. SECOND UNIT INCLUDES STAIRS AND ELEVATOR. **BUILDING TYPE:** TYPE V-B PRIMARY USE: RESIDENTIAL R3 - RESIDENTIAL OCCUPANCY GROUPS:

512 SF

EXISTING GROSS FLOOR AREA\* LEVEL 1 LEVEL 2

TOTAL PROPOSED

1,176 SF TOTAL EXISTING (GARAGE: 219 SF) PROPOSED NEW GROSS FLOOR AREA\* 428 SF LEVEL 1 234 SF LEVEL 2 LEVEL 3 1,361 SF` LEVEL 4 1,234 SF

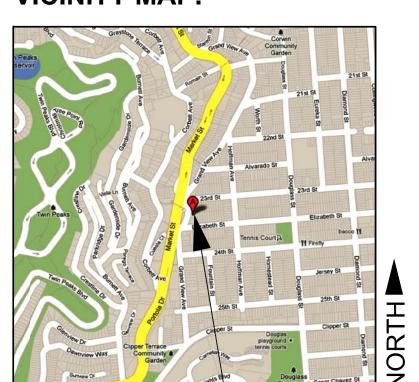
PROPOSED TOTAL GROSS FLOOR AREA OF ENTIRE DEVELOPMENT: 4,433 SF 

3,257 SF

\* GROSS FLOOR AREA (PER SEC 102.9 SF PLANNING CODE) = THE SUM OF THE GROSS AREAS OF THE SEVERAL FLOORS OF A BUILDING OR BUILDINGS MEASURED FROM THE EXTERIOR FACES OF EXTERIOR WALLS OR FROM THE CENTERLINES OF WALLS SEPARATING TWO BUILDINGS. GROSS FLOOR AREA INCLUDES THE FOLLOWING: ELEVATOR SHAFTS AND STAIRWELLS. GROSS FLOOR AREA DOES NOT INCLUDE GARAGES OR CARPORTS.

# OF STORIES: 4 LEVELS

#### **VICINITY MAP:**



SITE

		10.01.2013 ENVIRONMENTAL EVALUATION	11.19.2013 VARIANCE & SITE PLAN REVIEW	04.04.2014 RESPONSE TO NOPDR#1
ARCH	ITECTURAL		\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \	<u>~</u>
P0.0	COVER SHEET	Х	Х	Х
P0.0a	CODE ANALYSIS	Х	Х	
C1.0	SITE SURVEY	Х	Х	
P0.1	PLOT PLAN - EXISTING	X	Х	Х
P0.2	PLOT PLAN - PROPOSED	Х	Х	Х
P0.3	SITE PHOTOS	Х	Х	
P0.4	LANDSCAPE PLAN		Х	Х
P2.0	FLOOR PLANS - EXISTING	X	Х	
P2.1	PROPOSED LEVEL 1 FLOOR PLAN	Х	Х	
P2.2	PROPOSED LEVEL 2 FLOOR PLAN	Х	Х	
P2.3	PROPOSED LEVEL 3 FLOOR PLAN	X	Х	
P2.4	PROPOSED LEVEL 4 FLOOR PLAN	X	Х	
P2.5	PROPOSED ROOF PLAN	X	Х	
P4.0	EXISTING EXTERIOR ELEVATION - WEST	X	Х	
P4.1	EXISTING EXTERIOR ELEVATION - NORTH	Х	Х	
P4.2	EXISTING EXTERIOR ELEVATION - EAST	Х	Х	
P4.3	EXISTING EXTERIOR ELEVATION - SOUTH	Х	Х	
P4.4	PROPOSED EXTERIOR ELEVATION - WEST	Х	Х	Х
P4.5	PROPOSED EXTERIOR ELEVATION - NORTH	Х	Х	Х
P4.6	PROPOSED EXTERIOR ELEVATION - EAST	Х	Х	Х
P4.7	PROPOSED EXTERIOR ELEVATION - SOUTH	Х	Х	Х
P4.8	BUILDING SECTIONS	X	Х	
		1		

**SHEET INDEX:** 

#### **PROJECT DIRECTORY:**

Doug Wilkins and Suzi Quatman 429 Grand View Avenue San Francisco, CA 94114 C: 415.860.1947 Contact: Doug Wilkins E-mail: dbwilkins@gmail.com E-mail: suziquatman@hotmail.com

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SURVEYOR/CIVIL ENGINEER: American Land Surveying, Inc. 1390 Market Street #112 San Francisco, CA 94102 T: 415.888.8580 Contact: Theodore Lasker E-mail: sf@alspls.com

STRUCTURAL ENGINEER: Santos & Urrutia 2451 Harrison Street San Francisco, CA 94110 T: 415.642.7722 C: 415.595.2047

Contact: Alex Santos E-mail: johanna@streetarchitect.com

E-mail: doug.vu@sfgov.org **BUILDING DEPARTMENT:** 

San Francisco DBI 1660 Mission St. San Francisco, CA 94103 T: 415.558.6088 F: 415.558.6401 Contact: TBD

GEO-TECHNICAL ENGINEER:

Geotechnical Engineering Inc.

38750 Paseo Padre Parkway

Fremont, CA 94536

T: 800.791.SOIL

C: 510.791.0100

Contact: Taghi Manbeian

E-mail: taghi@gei-ca.com

PLANNING DEPARTMENT:

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C: 415.575.9120

Contact: Doug Vu

Email: TBD

1650 Mission Street Suite 400

San Francisco Planning Department

HISTORIC RESOURCE **EVALUATION:** Johanna Street 660 York Street #212 San Francisco, CA 94110 T: 415.287.4143 Contact: Johanna Street

04.02.2014 RESPONSE TO NOPDR#1 04.17.2014 BID SET 04.04.2014 Project No. Scale Sheet Title **COVER SHEET** 

APN: 2807040

#### 7 (1 1 (1 200)

# G

TOTAL

757 SF

898 SF

1,361 SF

1,234 SF

4,250 SF

219 SF

159 SF

WILKINS-QUATMAN RESIDENC

**FRANCISCO** 

#### **FLOOR AREA RATIO:**

**AREA CALCULATIONS:** 

LEVEL 1

LEVEL 2

LEVEL 3

LEVEL 4

TOTAL

**GARAGE** 

CARPORT

GROSS FLOOR AREA\* EXISTING PROPOSED

512

1,176

219

\* GROSS FLOOR AREA (PER SEC 102.9 SF PLANNING CODE) = THE SUM

OF THE GROSS AREAS OF THE SEVERAL FLOORS OF A BUILDING OR

BUILDINGS, MEASURED FROM THE EXTERIOR FACES OF EXTERIOR

WALLS OR FROM THE CENTERLINES OF WALLS SEPARATING TWO

BUILDINGS. GROSS FLOOR AREA INCLUDES THE FOLLOWING:

ELEVATOR SHAFTS AND STAIRWELLS. GROSS FLOOR AREA DOES NOT

245

234

1,361

1,234

3,074

159

LOT AREA: 2,989 SF

INCLUDE GARAGES OR CARPORTS.

EXISTING BUILDING: 1,176 SF / 2,989 SF = 0.39 F.A.R.

PROPOSED BUILDING: 4,250 SF / 2,989 SF = 1.42 F.A.R. (1.8 ALLOWED)

#### **HEIGHT CALCULATIONS:**

FRONT PROPERTY HEIGHT LIMITS (PER SEC 206 SF PLANNING CODE) = THE AVERAGE SLOPE OF THE CURB ALONG GRAND VIEW AVENUE MEASURES 8.75%. THE POINT FROM WHICH HEIGHT IS MEASURED IS THEREFORE THE MID-POINT ALONG THE GRAND VIEW STREET FRONT. SEE ELEVATIONS FOR THAT POINT.

SLOPED ROOF HEIGHT MEASUREMENT (PER SEC 206.a.2 SF PLANNING CODE) = AVERAGE HEIGHT OF THE RISE IN THE CASE OF A PITCHED OR STEPPED ROOF.

<u>HEIGHT EXEMPTIONS</u> (PER SEC 206.a.1.A SF PLANNING CODE) = MECHANICAL EQUIPMENT INCLUDING CHIMNEYS, VENTILATORS, PLUMBING VENT STACKS, SOLAR PANELS TOGETHER WITH VISUAL SCREENING. EXEMPTION IS LIMITED TO 10'.

<u>HEIGHT EXEMPTIONS</u> (PER SEC 206.a.1.B SF PLANNING CODE) = ELEVATOR, STAIR AND MECHANICAL PENTHOUSES, SKYLIGHTS AND DORMER WINDOWS ARE ALSO EXEMPT FROM HEIGHT LIMITS. EXEMPTION IS LIMITED TO 10'.

REAR PROPERTY HEIGHT LIMITS (PER SEC 134 SF PLANNING CODE) = REAR HEIGHT MEASUREMENTS ARE TAKEN FROM THE AVERAGE GRADE ACROSS THE EXISTING BUILDING FOOTPRINT.

#### **REAR YARD VARIANCE:**

#### PARCEL SHAPE:

- THE LOT SIZE IS ROUGHLY 52' X 57' DUE TO THE VERY SHALLOW LOT DEPTH AND THE PLACEMENT OF THE EXISTING HOUSE, THE AVERAGING METHOD FOR A REAR YARD SET BACK REDUCTION IS THE ONLY VIABLE OPTION TO DETERMINE THE REAR YARD SET BACK. FURTHERMORE THE ADJACENT BUILDING TO THE SOUTH IS THE ONLY BUILDING ON WHICH TO BASE THE AVERAGE, AS THE OTHER NEIGHBOR DOES NOT FRONT GRAND VIEW AVENUE. THE SHALLOW LOT DEPTH AND THE CONSTRAINT OF THE EXISTING CONDITIONS THEREFORE PRESENT LIMITATIONS TO THE BUILDABLE AREA THAT AMOUNT TO A HARDSHIP.
- THERE IS A VERY UNUSUAL NOTCH IN THE PARCEL MAP ALONG GRAND VIEW AVENUE THAT BELONGS TO THE ADJACENT NEIGHBORS LOT TO THE SOUTH. THIS NOTCH RESTRICTS THE SUBJECT PROPERTY FROM BUILDING FORWARD TO THE ALLOWABLE ZERO LOT LINE AT THE STREET-FRONT. THE PROPOSED DESIGN REFLECTS THE RESTRICTIONS PRESENTED BY THAT NOTCH.

#### SITE CONDITIONS:

- THE NEIGHBOR TO THE SOUTH HAS THREE (3) WINDOWS AND SIX (6) AIR VENTS THAT ARE NON-CONFORMING ALONG THE SOUTH PROPERTY LINE. THE PROPOSED DESIGN HAS MADE EFFORTS TO AVOID OBSTRUCTING THESE NON-CONFORMING OPENINGS AND CONSEQUENTLY THE BUILDABLE AREA IS FURTHER RESTRICTED.
- THE OVERALL SITE SLOPES AWAY FROM GRAND VIEW AVENUE AT A GRADE OF 24.9%. BASED UPON CALCULATIONS THAT ESTABLISH THE REAR YARD SETBACK (SF PLANNING CODE SEC 134), THE SITE SLOPE RESTRICTS THE SUBJECT PROPERTY FROM DEVELOPING EVEN A THIRD FLOOR. THIS MANDATE IN TURN PRESENTS A HARDSHIP FOR DEVELOPING A SECOND UNIT IN THIS RM-1 ZONING DISTRICT.

#### VARIANCE REQUEST:

 WE ARE REQUESTING A REAR YARD SETBACK VARIANCE IN RESPONSE TO THESE FOUR VERY CHALLENGING CONDITIONS.

## **AMA**

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10.01.2013 ENVIRON EVALUATION SUBMIT 11.19.2013 VARIANCE APPLICATION & SITE PERMIT REVIEW  Date  11.19.2013  Project No.  1051  Scale  1/8" = 1'-0"  Sheet Title  CODE ANALYSIS	No.	Date	Issue		
Date  11.19.2013  Project No.  1051  Scale  1/8" = 1'-0"  Sheet Title		10.01.201	3 ENVIRON E	VALUATION	SUBMITTA
Date		11.19.201	3 VARIANCE	<b>APPLICATIO</b>	N &
11.19.2013  Project No.  1051  Scale  1/8" = 1'-0"  Sheet Title			SITE PERI	MIT REVIEW	
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1051 Scale 1/8" = 1'-0" Sheet Title		11.	19.2013		
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Sheet Title	Scale	)			
		1/8	" = 1'-0"		
CODE ANALYSIS	Shee	t Title			
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P0.0a

#### **LEGEND**

SUBJECT PROPERTY LINE

--- ADJOINER PROPERTY LINE

WOOD FENCE

BUILDING LINE

CONC CONCRETE

BCB BACK OF CURB

CONC CONCRETE
BCB BACK OF CURB
EL ELEVATION

FC FACE OF CURB
FL FLOW LINE
FF FINISH FLOOR
GV GAS VALVE
GM GAS METER

MH MANHOLE
OE OVERHEAD ELECTRIC

PP POWER POLE
PS PARKING SIGN
WM WATER METER
WV WATER VALVE

FL DESCRIPTION FLEVATION

#### BASIS OF SURVEY

THIS BASIS OF MEASUREMENTS FOR THIS SURVEY FROM FOUND MONUMENT MARKS ALONG HOFFMAN ST AT THE INTERSECTION OF 23RD ST AND 24TH ST PER MONUMENT MAP NO. 231 FILED IN THE OFFICE OF THE CITY AND COUNTY OF SAN FRANCISCO ENGINEER.

#### **GENERAL NOTES**

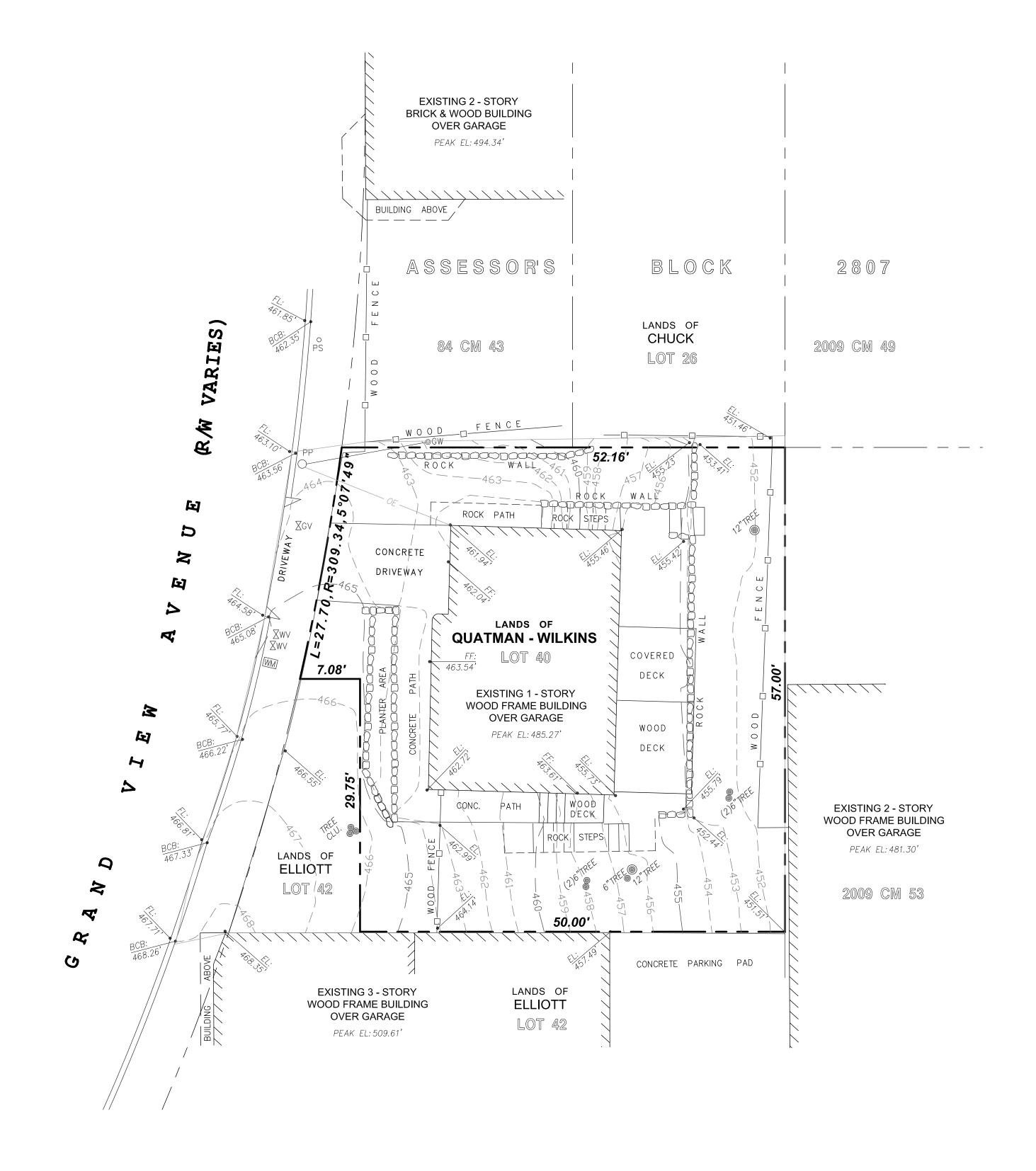
- 1) REFERENCED MAPS PER COUNTY RECORDER.
- 2) ALL ANGLES ARE 90°00'UNLESS NOTED OTHERWISE.
- 3) DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.

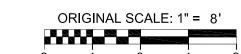
#### **UTILITY NOTE**

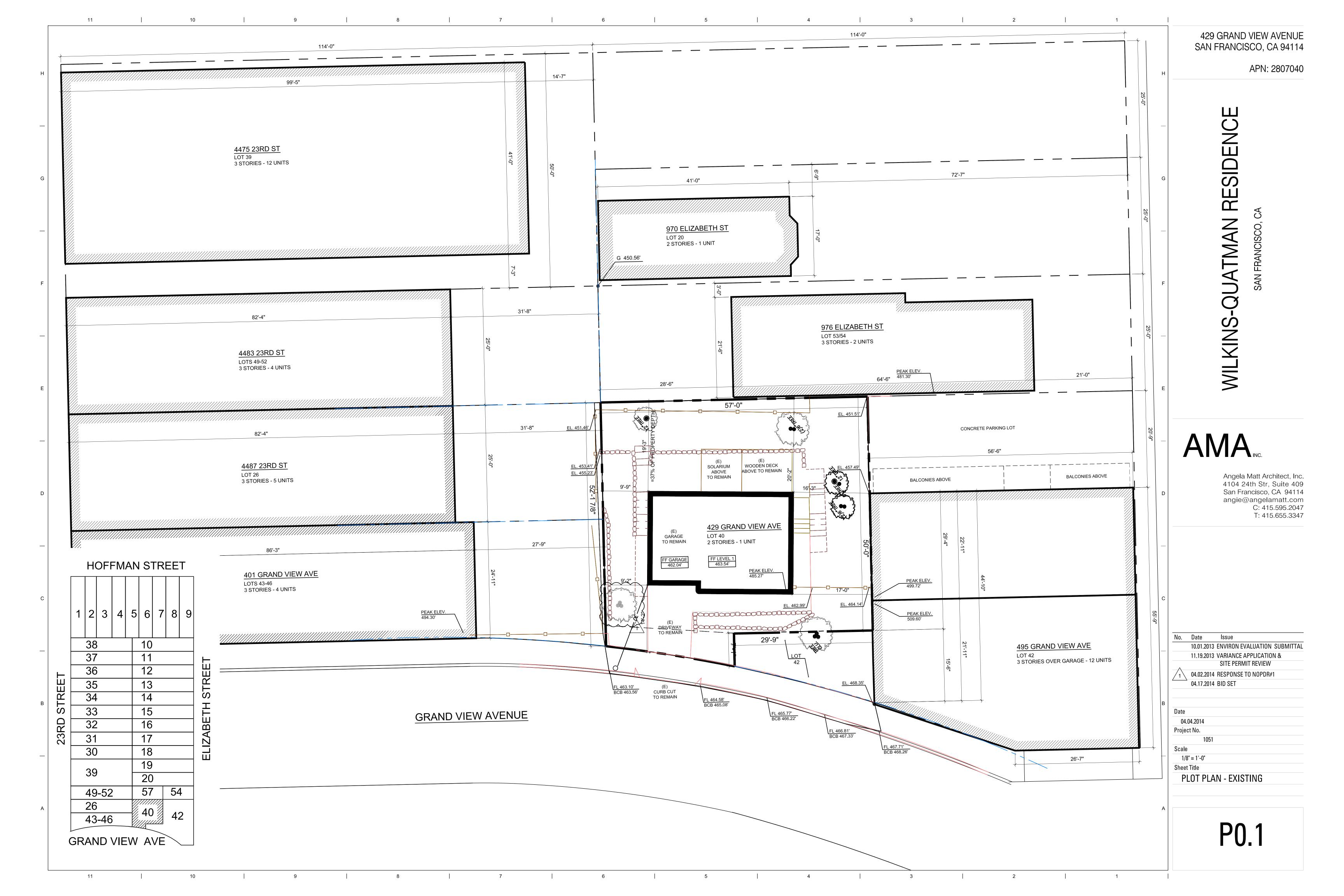
UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THUS, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AN CAPACITY OF SAID UTILITIES.

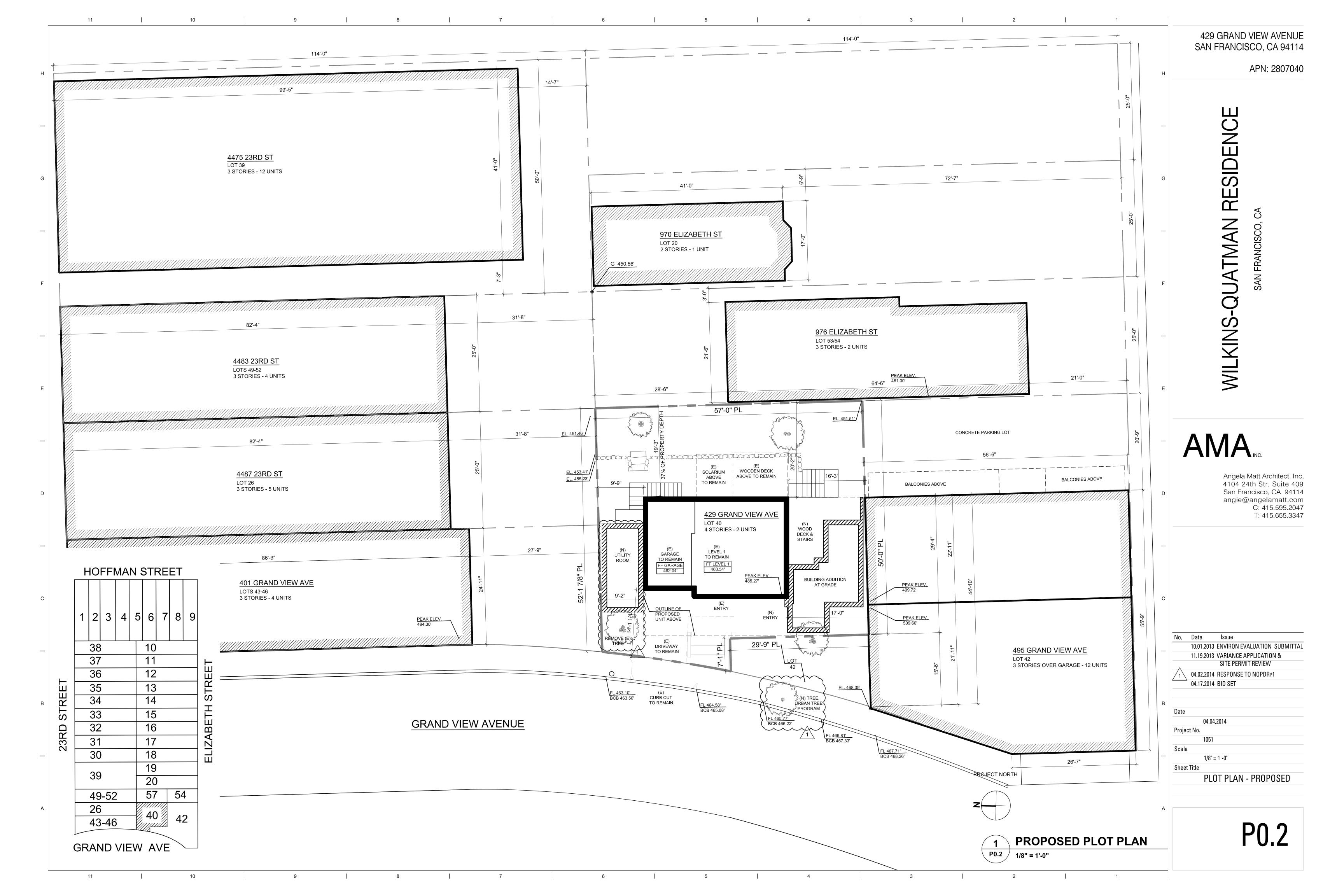
#### **BENCHMARK NOTE**

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A CITY AND COUNTY OF SAN FRANCISCO BENCHMARK FOUND AT THE INTERSECTION OF GRAND VIEW AVE AND ELIZABETH ST, A CHISEL '+' CUT IN THE EASTERLY RIM OF A MANHOLE HAVING AN ELEVATION OF 474.901.









495 GRAND VIEW AVE

ADJ. NEIGHBOR'S WINDOWS

APN: 2807040

WILKINS-QUATMAN RESIDENCE

AMA<sub>INC.</sub>

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No. Date 10.01.2013 ENVIRON EVALUATION SUBMITTAL 11.19.2013 VARIANCE APPLICATION & SITE PERMIT REVIEW

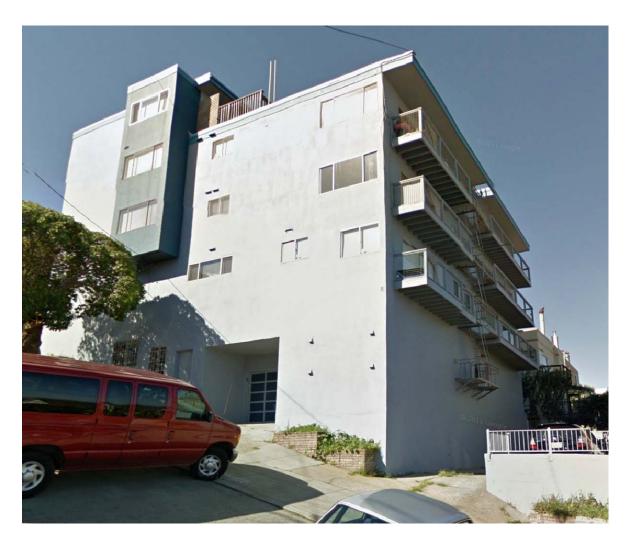
11.19.2013

**EXISTING SITE PHOTOS** 

P0.3



401 GRAND VIEW AVE



495 GRAND VIEW AVE







SUBJECT PROPERTY 429 GRAND VIEW AVE 495 GRAND VIEW AVE

**PARKING** 

**ELIZABETH ST** 

SUBJECT PROPERTY

429 GRAND VIEW AVE

P0.3 NTS

505 GRAND VIEW AVE

**2** GRAND VIEW AVE LOOKING EAST P0.3 NTS



MARKET ST (ELEVATED) PEDESTRIAN CROSSING MARKET ST (ELEVATED)

**GRAND VIEW AVE LOOKING WEST** 

P0.3 NTS

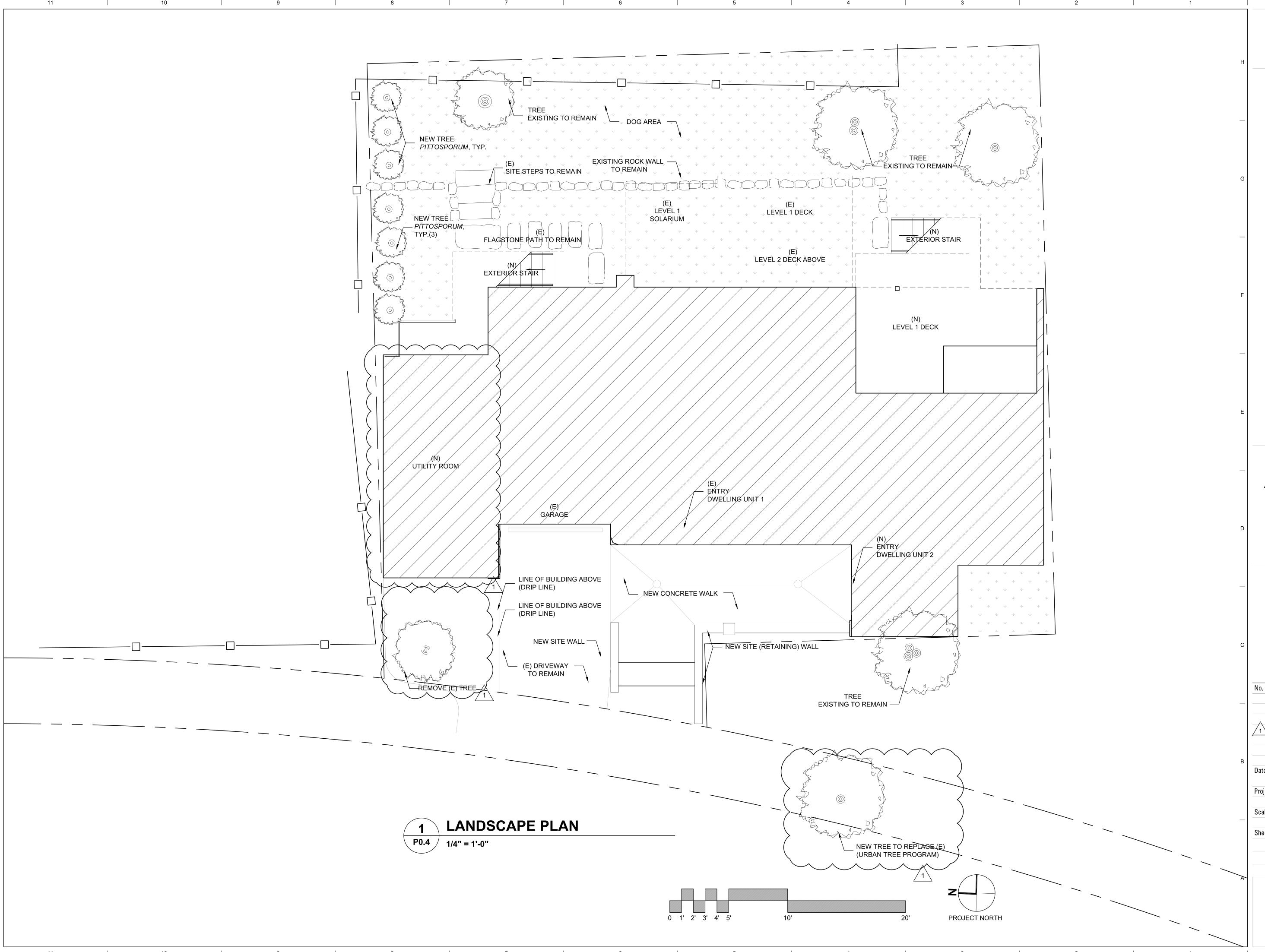
23RD ST

976 ELIZABETH ST.

335 GRAND VIEW AVE

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P0.4



APN: 2807040



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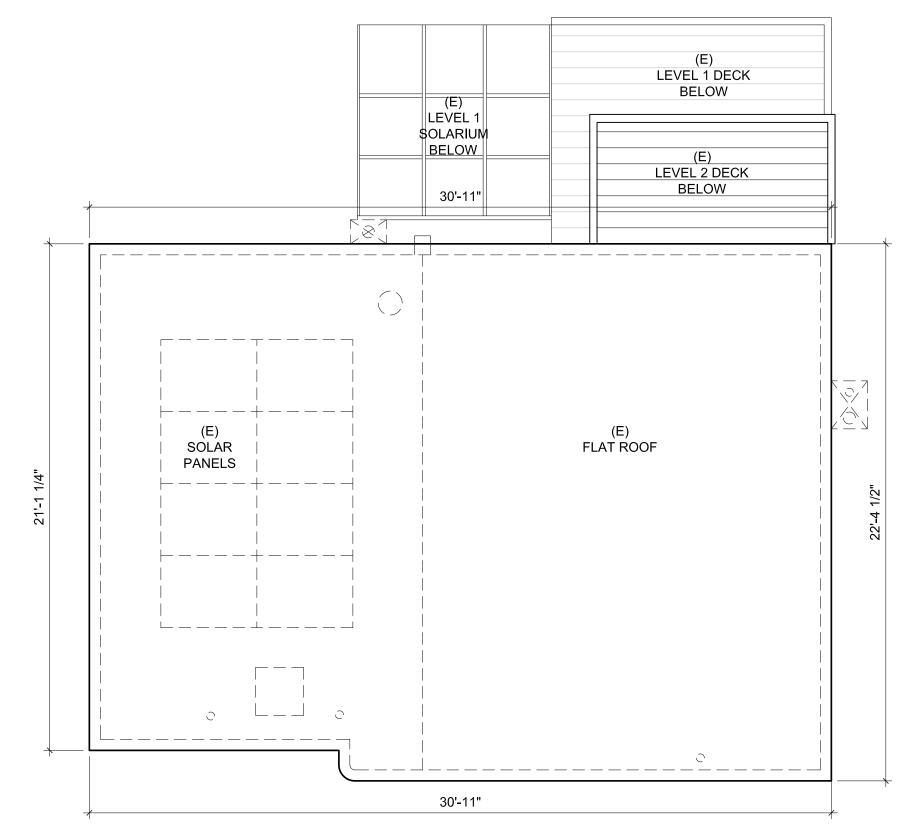
04.02.2014 RESPONSE TO NOPDR#1 04.17.2014 BID SET

11.19.2013 Project No 1/4" = 1'-0"

Sheet Title

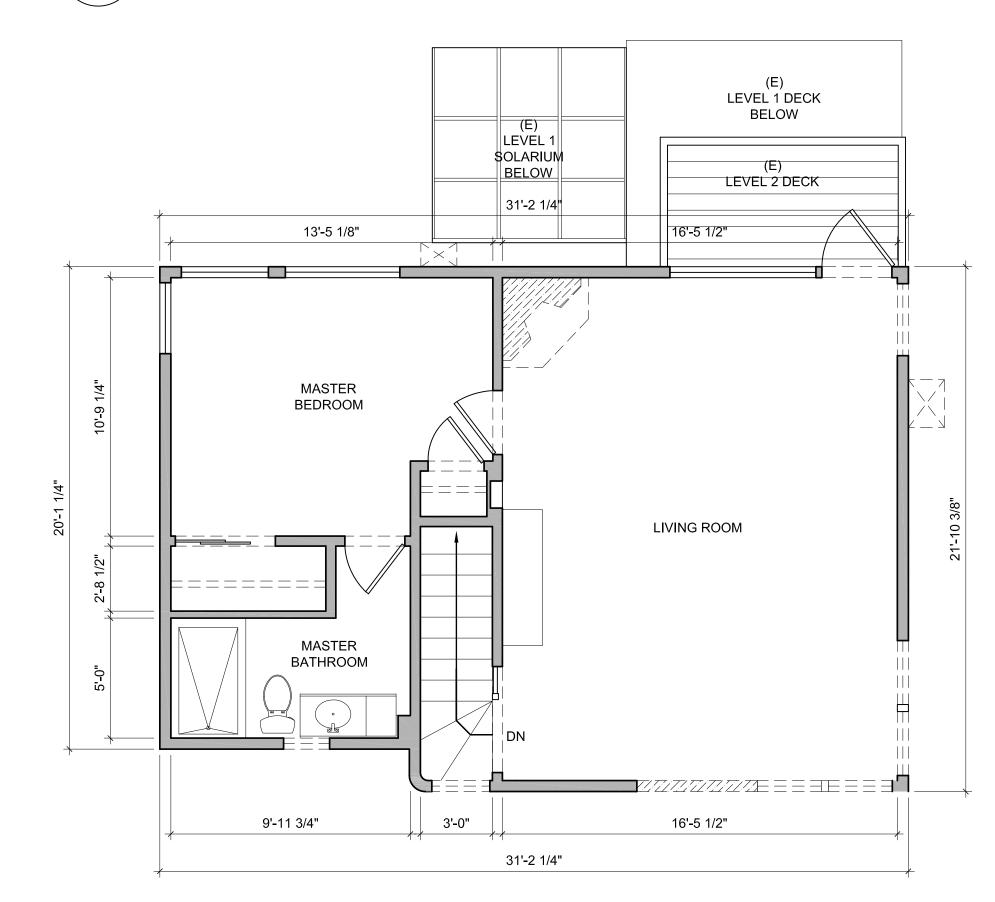
PROJECT NORTH

**EXISTING** FLOOR PLANS

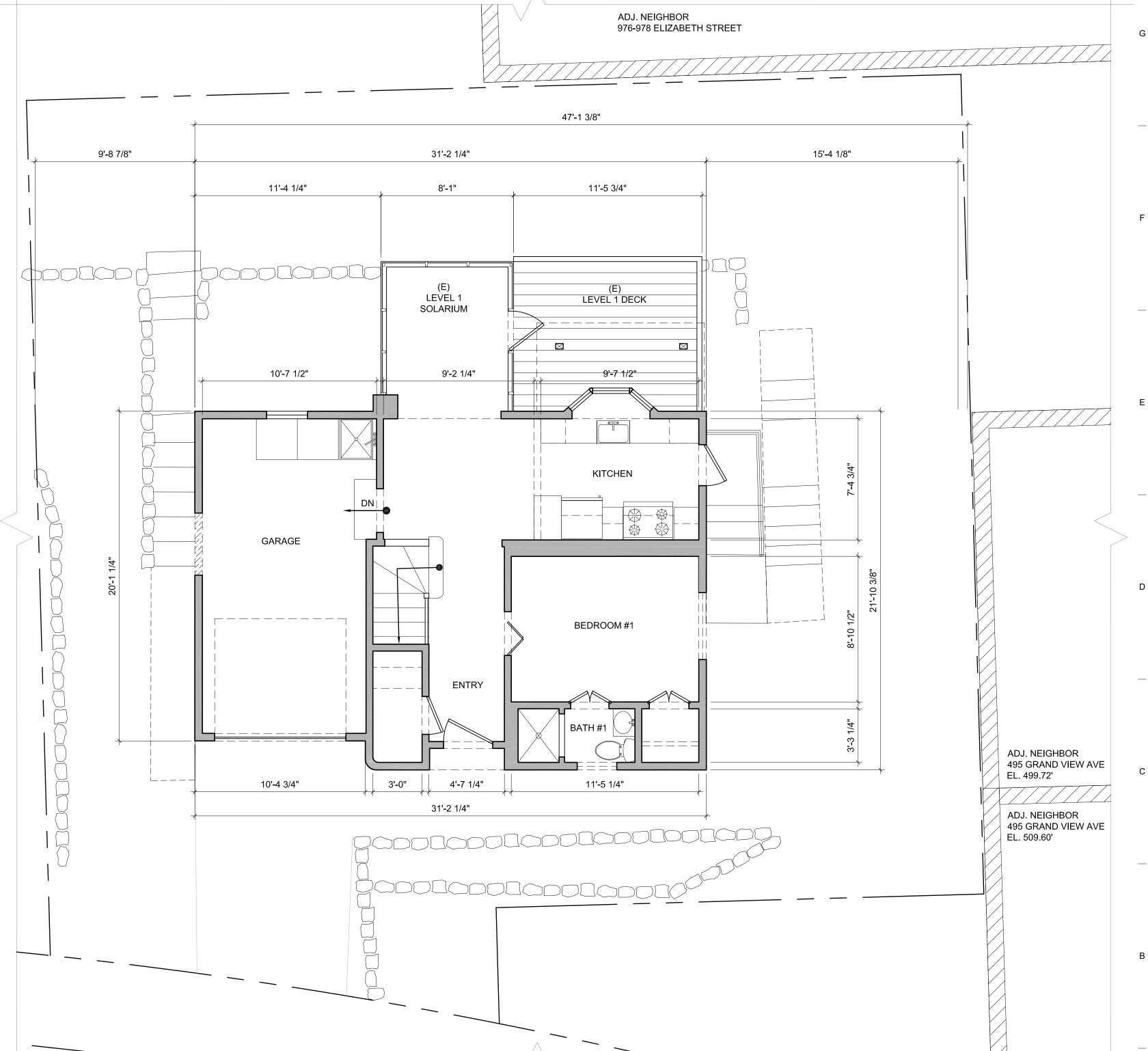


#### **EXISTING ROOF**

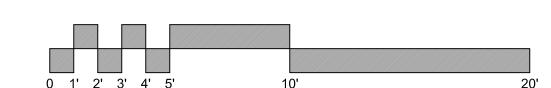
P2.0 / 1/4" = 1'-0"

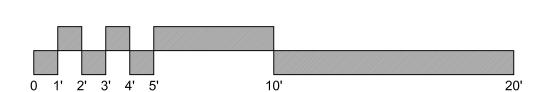


**LEVEL 2 - EXISTING FLOOR PLAN** P2.0 / 1/4" = 1'-0"



**LEVEL 1 - EXISTING FLOOR PLAN** P2.0 / 1/4" = 1'-0"





- ALL DIMENSIONS ARE GIVEN TO FACE OF FINISH, U.O.N. VERTICAL DIMENSIONS ARE SHOWN FROM TOP OF FINISH FLOOR, U.O.N.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
- 3. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- 4. (N) WOOD FLOOR. SUB-FLOORS TO BE INSPECTED AND APPROVED FOR WOOD FLOORING INSTALLATION BY FLOORING CONTRACTOR PRIOR TO INSTALLATION OF FINISH FLOOR.
- 5. ALL INTERIOR WALL AND CEILING FINISHES TO COMPLY WITH BUILDING CODE REGULATIONS AND REQUIREMENTS OF OTHER LOCAL CODES AND ORDINANCES FOR FLAME SPREAD.
- 6. INTERIOR PARTITION WALLS ARE NOT DESIGNED TO SUPPORT STRUCTURAL LOADS OF CASEWORK, EQUIPMENT OR ACCESSORIES.
- 7. ALL WOOD BLOCKING TO BE FIRE RETARDANT, TYP. G.C. TO COORDINATE ALL WOOD BLOCKING AS REQUIRED FOR CASEWORK.
- 9. ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CRC STANDARDS PRIOR TO START.
- 10. CALCULATIONS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION FOR COMPLIANCE WITH CRC
- 11. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CRC SECTION R308.

8. ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.

- 12. ALL COUNTERS, TUB DECKS AND WALLS AT TUBS AND SHOWERS SHALL HAVE SMOOTH, HARD, NONABSORBENT SURFACE OVER CEMENTITIOUS BACKER BOARD AND A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF +70" MINIMUM ABOVE DRAIN INLET, REF CRC 2103.
- 13. TILE INSTALLATION SHALL COMPLY WITH APPLICABLE SECTIONS OF TILE COUNCIL OF AMERICA'S "HANDBOOK FOR CERAMIC TILE INSTALLATION" AND ITS REFERENCED STANDARDS.
- 14. DRAFTSTOPPING PROVIDE DRAFTSTOPPING IN FLOOR/CEILING CONCEALED SPACES DIVIDING SPACE EQUALLY. DRAFTSTOPPING MATERIAL TO BE %" PLYWOOD, PER CRC R302.12.
- 15. GLASS BLOCK WINDOWS ARE TO BE 3/4 HOUR RATED FOR INSTALLATION IN A 1 HR FR WALL.

**WALL TYPE LEGEND** 

(E) WALL / PARTITION TO REMAIN

(N) WALL PER WALL TYPE SYMBOL

(N) 1-HR WALL

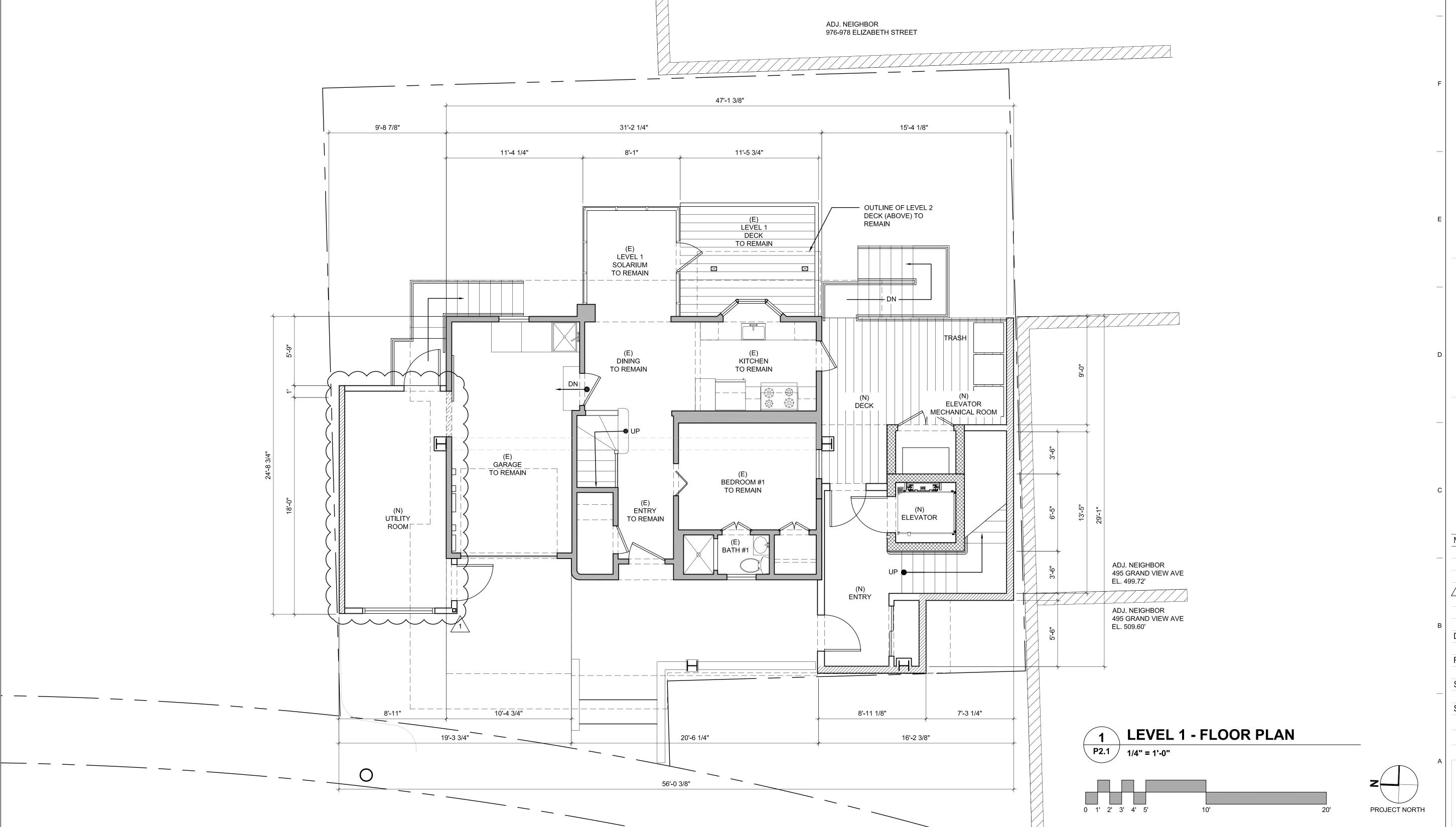
429 GRAND VIEW AVENUE SAN FRANCISCO, CA 94114

APN: 2807040

INS-QUATMAN RESIDENC

## AMA.

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#### FLOOR PLAN GENERAL NOTES

- 1. ALL DIMENSIONS ARE GIVEN TO FACE OF FINISH, U.O.N. VERTICAL DIMENSIONS ARE SHOWN FROM TOP OF FINISH FLOOR, U.O.N.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE
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- 14. DRAFTSTOPPING PROVIDE DRAFTSTOPPING IN FLOOR/CEILING CONCEALED SPACES DIVIDING SPACE EQUALLY. DRAFTSTOPPING MATERIAL TO BE 3/8" PLYWOOD, PER CRC R302.12.
- 15. GLASS BLOCK WINDOWS ARE TO BE 3/4 HOUR RATED FOR INSTALLATION IN A 1 HR FR WALL.

#### **WALL TYPE LEGEND**

(E) WALL / PARTITION TO REMAIN

(N) WALL PER WALL TYPE SYMBOL

(N) 1-HR WALL

**IS-QUATMAN RESIDENC** 

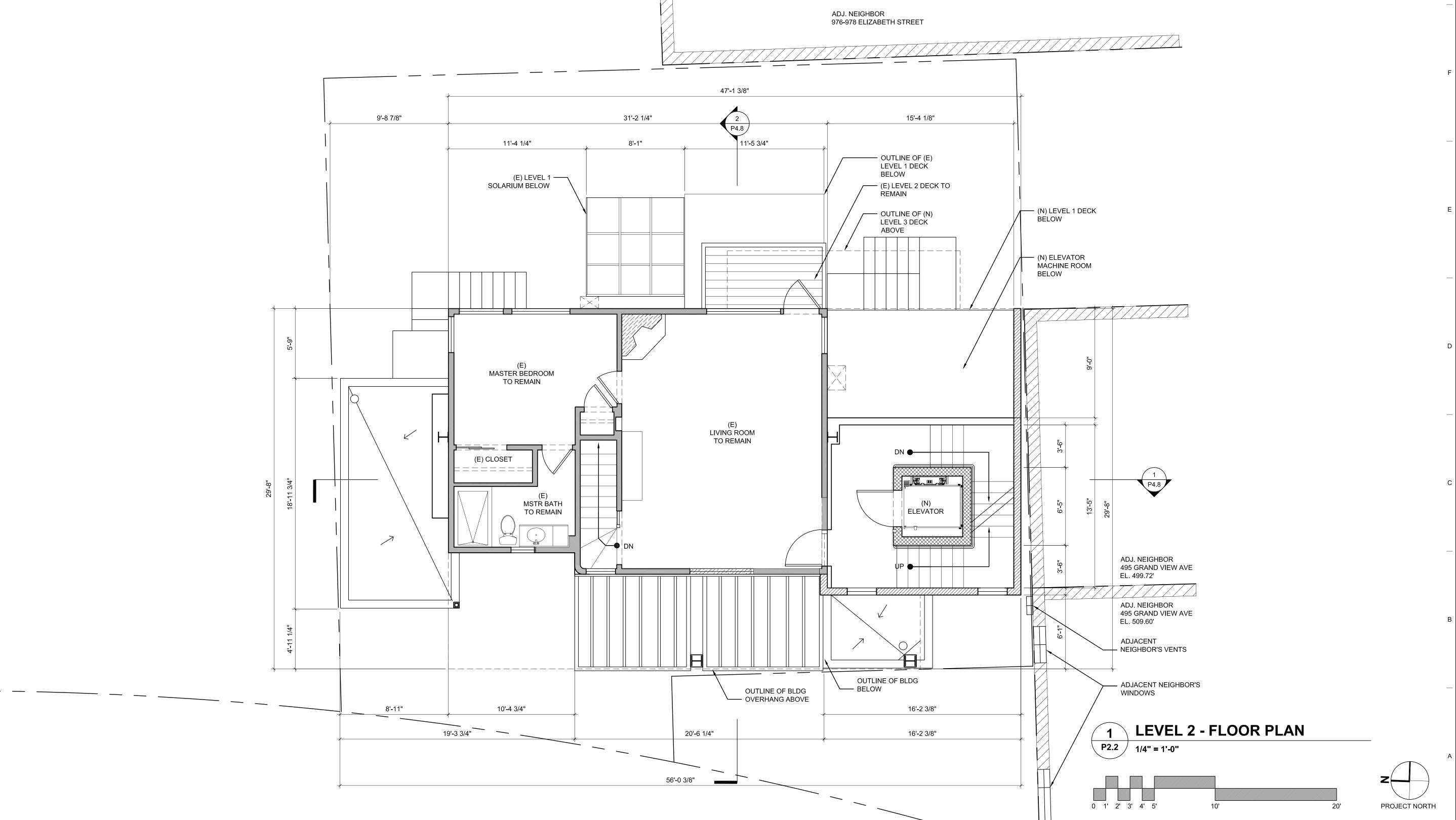
429 GRAND VIEW AVENUE

APN: 2807040

SAN FRANCISCO, CA 94114

## **AMA**

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  FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE
  DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
- 3. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- 4. (N) WOOD FLOOR. SUB-FLOORS TO BE INSPECTED AND APPROVED FOR WOOD FLOORING INSTALLATION BY FLOORING CONTRACTOR PRIOR TO INSTALLATION OF FINISH FLOOR.
- 5. ALL INTERIOR WALL AND CEILING FINISHES TO COMPLY WITH BUILDING CODE REGULATIONS AND REQUIREMENTS OF OTHER LOCAL CODES AND ORDINANCES FOR FLAME SPREAD.
- 6. INTERIOR PARTITION WALLS ARE NOT DESIGNED TO SUPPORT STRUCTURAL LOADS OF CASEWORK, EQUIPMENT OR ACCESSORIES.
- ALL WOOD BLOCKING TO BE FIRE RETARDANT, TYP. G.C. TO COORDINATE ALL WOOD BLOCKING AS REQUIRED FOR CASEWORK.
   ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
- 9. ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CRC STANDARDS PRIOR TO START.
- 10. CALCULATIONS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION FOR COMPLIANCE WITH CRC
- 11. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CRC SECTION R308.
- 12. ALL COUNTERS, TUB DECKS AND WALLS AT TUBS AND SHOWERS SHALL HAVE SMOOTH, HARD, NONABSORBENT SURFACE OVER CEMENTITIOUS BACKER BOARD AND A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF +70" MINIMUM ABOVE DRAIN INLET, REF CRC 2103.
- 13. TILE INSTALLATION SHALL COMPLY WITH APPLICABLE SECTIONS OF TILE COUNCIL OF AMERICA'S "HANDBOOK FOR CERAMIC TILE INSTALLATION" AND ITS REFERENCED STANDARDS.
- 14. DRAFTSTOPPING PROVIDE DRAFTSTOPPING IN FLOOR/CEILING CONCEALED SPACES DIVIDING SPACE EQUALLY. DRAFTSTOPPING MATERIAL TO BE  $\frac{3}{8}$ " PLYWOOD, PER CRC R302.12.
- 15. GLASS BLOCK WINDOWS ARE TO BE 3/4 HOUR RATED FOR INSTALLATION IN A 1 HR FR WALL.

#### **WALL TYPE LEGEND**

(E) WALL / PARTITION TO REMAIN

(N) WALL PER WALL TYPE SYMBOL

(N) 1-HR WALL

SAN FRANCISCO, CA 94114

429 GRAND VIEW AVENUE

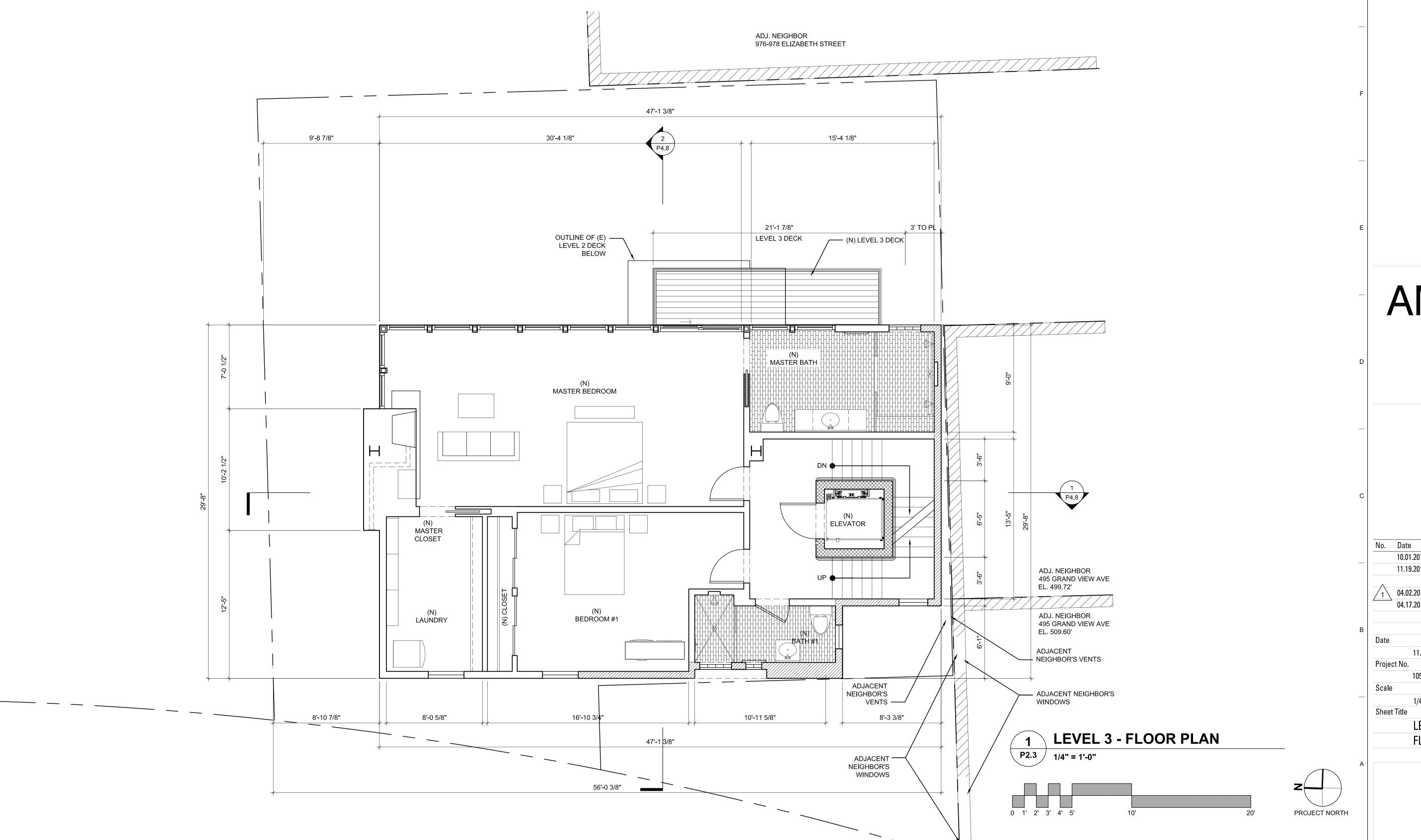
APN: 2807040

**KINS-QUATMAN RESIDENC** 

# AMA.

Angela Matt Architect, Inc. 4104 24th Str, Suite 409 San Francisco, CA 94114 angie@angelamatt.com C: 415.595.2047 T: 415.655.3347

	10.01.2013 ENVIRON EVALUATION SUBMITTAL
	11.19.2013 VARIANCE APPLICATION &
	SITE PERMIT REVIEW
1	04.02.2014 RESPONSE TO NOPDR#1
	04.17.2014 BID SET
Date	
	11.19.2013
Projec	t No.
	1051
Scale	
	1/4" = 1'-0"
Sheet	Title
	LEVEL 3
	FLOOR PLAN



- 1. ALL DIMENSIONS ARE GIVEN TO FACE OF FINISH, U.O.N. VERTICAL DIMENSIONS ARE SHOWN FROM TOP OF FINISH FLOOR, U.O.N.
- 2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
- 3. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- 4. (N) WOOD FLOOR. SUB-FLOORS TO BE INSPECTED AND APPROVED FOR WOOD FLOORING INSTALLATION BY FLOORING CONTRACTOR PRIOR TO INSTALLATION OF FINISH FLOOR.
- 5. ALL INTERIOR WALL AND CEILING FINISHES TO COMPLY WITH BUILDING CODE REGULATIONS AND REQUIREMENTS OF OTHER LOCAL CODES AND ORDINANCES FOR FLAME SPREAD.
- 6. INTERIOR PARTITION WALLS ARE NOT DESIGNED TO SUPPORT STRUCTURAL LOADS OF CASEWORK, EQUIPMENT OR ACCESSORIES.
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   ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
- 9. ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CRC STANDARDS PRIOR TO START.
- 10. CALCULATIONS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION FOR COMPLIANCE WITH CRC
- 11. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CRC SECTION R308.
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WALL TYPE LEGEND

(E) WALL / PARTITION TO REMAIN

(N) WALL PER WALL TYPE SYMBOL

(N) 1-HR WALL

429 GRAND VIEW AVENUE SAN FRANCISCO, CA 94114

APN: 2807040

INS-QUATMAN RESIDENC

# AMA

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No. Date Issue

10.01.2013 ENVIRON EVALUATION SUBMITTAL

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SITE PERMIT REVIEW

04.02.2014 RESPONSE TO NOPDR#1
04.17.2014 BID SET

Date

11.19.2013

Project No.

1051

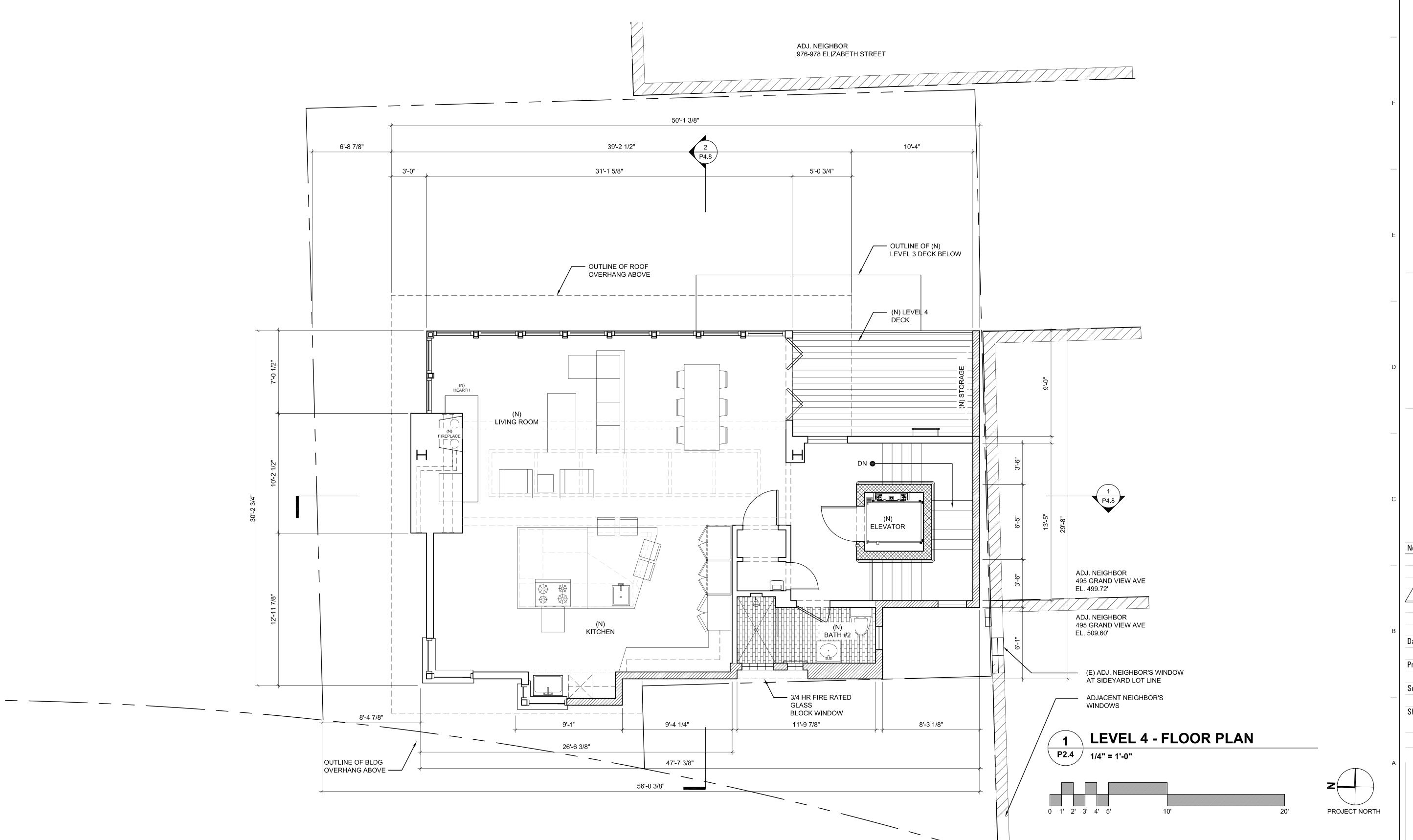
Scale

1/4" = 1'-0"

Sheet Title

LEVEL 4

FLOOR PLAN



- 1. ALL DIMENSIONS ARE GIVEN TO FACE OF FINISH, U.O.N. VERTICAL DIMENSIONS ARE SHOWN FROM TOP OF FINISH FLOOR, U.O.N.
- 2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
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- 11. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CRC SECTION R308.

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WALL TYPE LEGEND

(E) WALL / PARTITION TO REMAIN

(N) WALL PER WALL TYPE SYMBOL

(N) 1-HR WALL

APN: 2807040

429 GRAND VIEW AVENUE

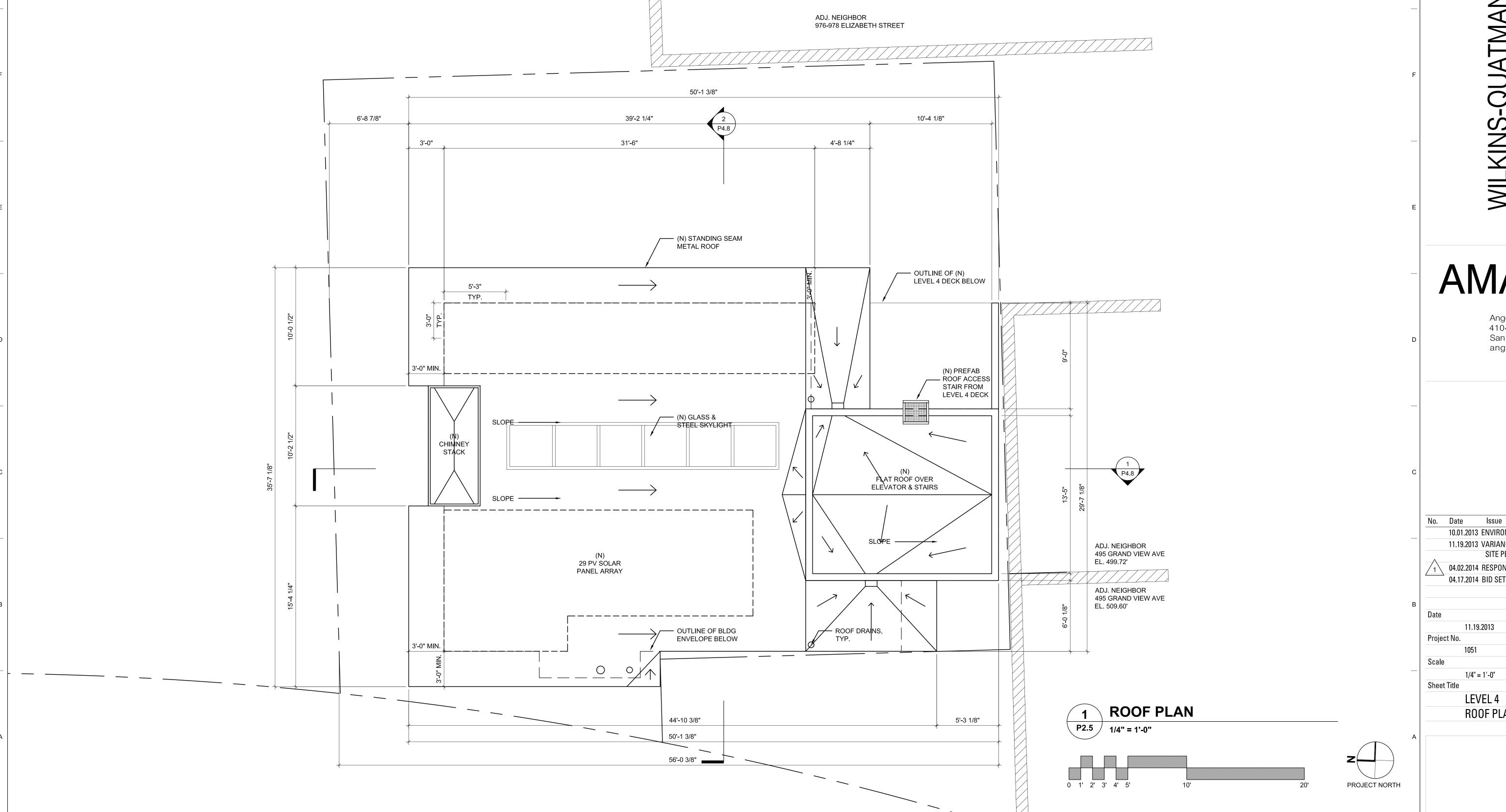
SAN FRANCISCO, CA 94114

RESIDENC

Angela Matt Architect, Inc. 4104 24th Str, Suite 409 San Francisco, CA 94114 angie@angelamatt.com C: 415.595.2047 T: 415.655.3347

11.19.2013 VARIANCE APPLICATION & SITE PERMIT REVIEW 04.02.2014 RESPONSE TO NOPDR#1 04.17.2014 BID SET 11.19.2013 Project No. 1/4" = 1'-0" Sheet Title LEVEL 4 **ROOF PLAN** 

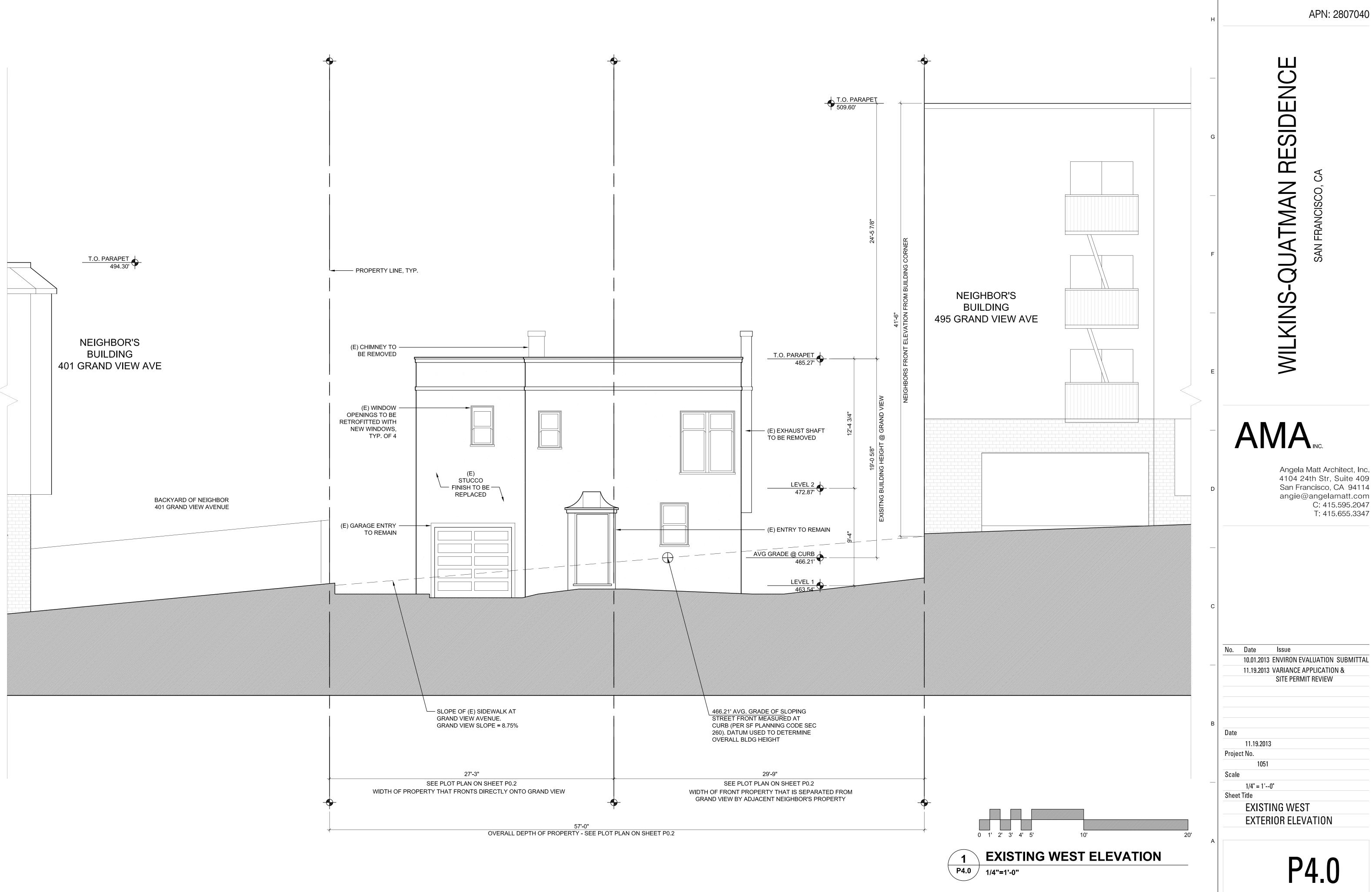
10.01.2013 ENVIRON EVALUATION SUBMITTAL



# WILKINS-QUATMAN RESIDENCE

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SITE PERMIT REVIEW 11.19.2013 Project No Scale 1/4" = 1'--0" Sheet Title **EXISTING WEST** EXTERIOR ELEVATION



APN: 2807040

# WILKINS-QUATMAN RESIDENCE

# AMA

Angela Matt Architect, Inc. 4104 24th Str, Suite 409 San Francisco, CA 94114 angie@angelamatt.com C: 415.595.2047 T: 415.655.3347

No. Date Issue
10.01.2013 ENVIRON EVALUATION SUBMITTAL
11.19.2013 VARIANCE APPLICATION &
SITE PERMIT REVIEW

Date

11.19.2013

Project No.

1051

Scale

1/4" = 1'-0"

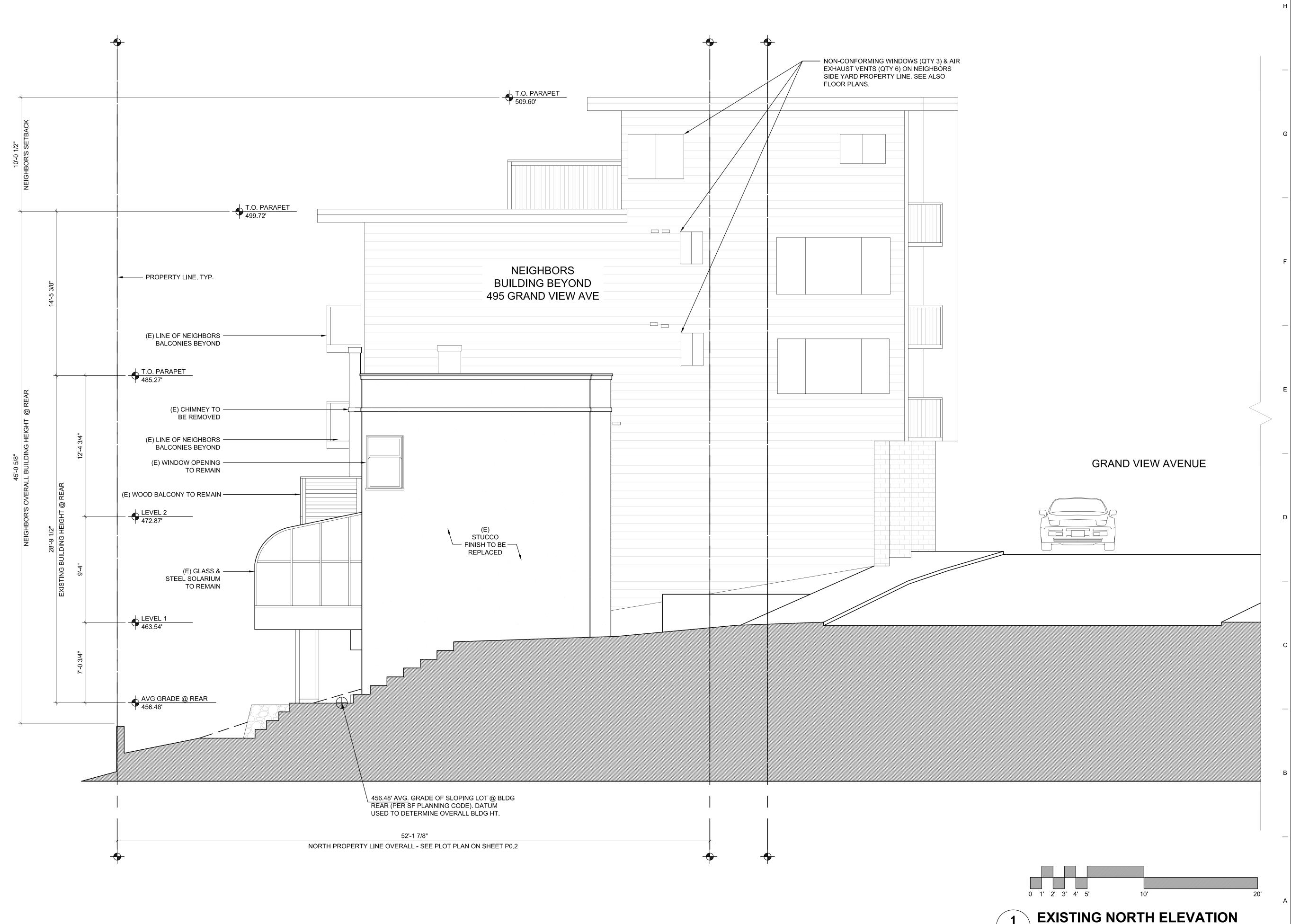
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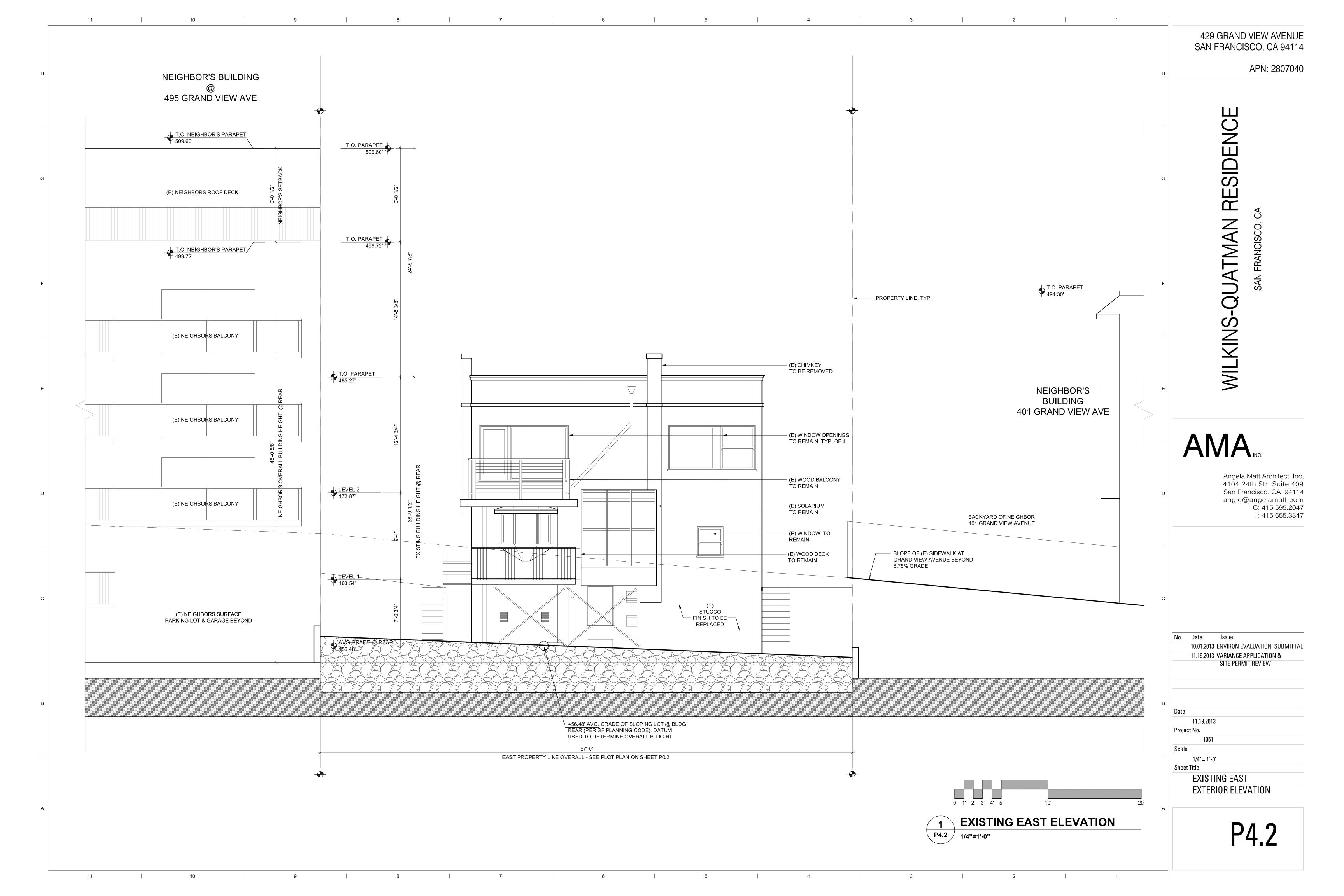
EXISTING NORTH

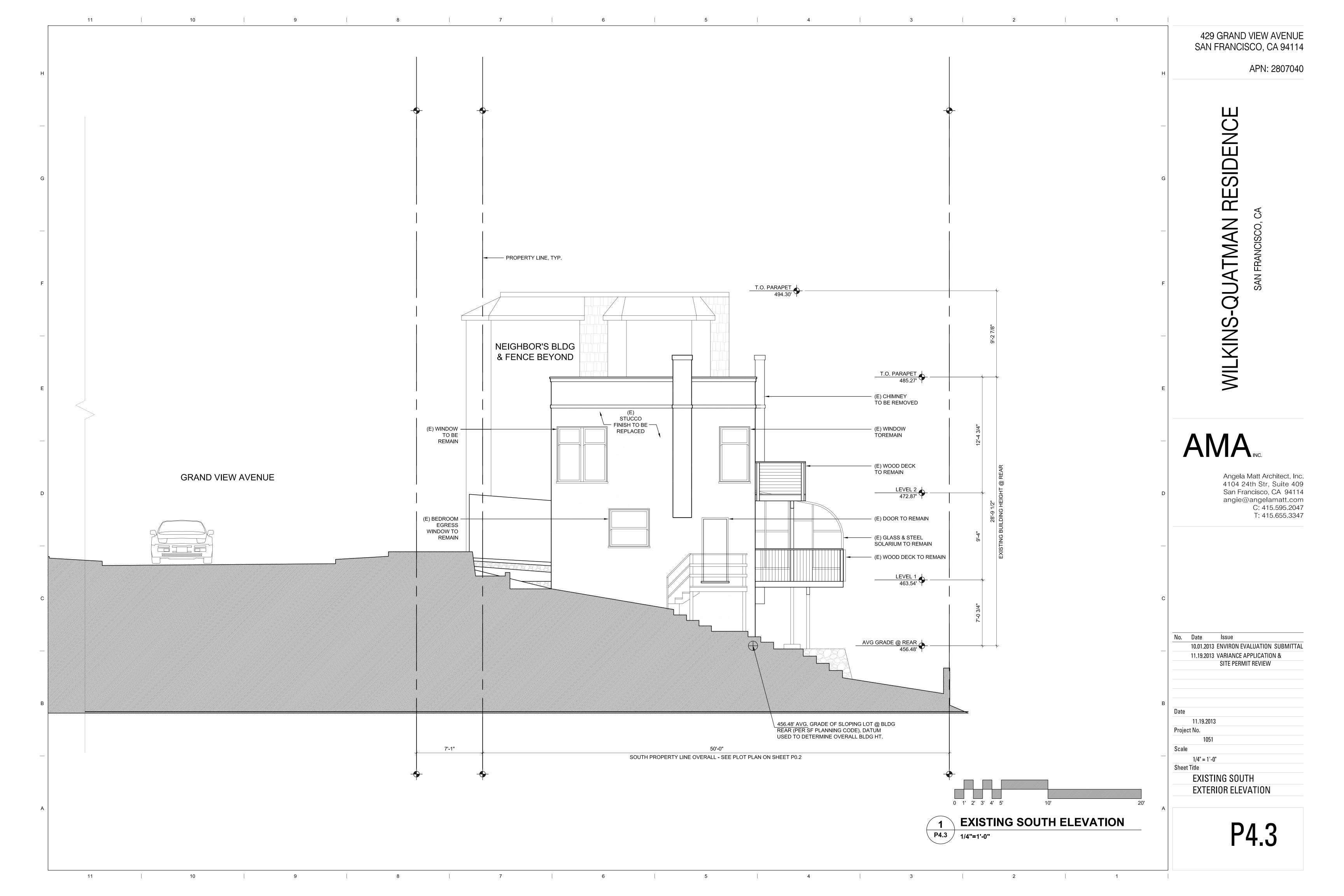
EXTERIOR ELEVATION

P4.1

P4.1 / 1/4"=1'-0"







APN: 2807040

WILKINS-QUATMAN RESIDENC

# AMA

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P4.4

APN: 2807040

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10.01.2013 ENVIRON EVALUATION SUBMITTAL 11.19.2013 VARIANCE APPLICATION &

SITE PERMIT REVIEW 04.02.2014 RESPONSE TO NOPDR#1

**EXTERIOR ELEVATION** 

APN: 2807040

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04.17.2014 BID SET

Date

04.04.2014

Project No.

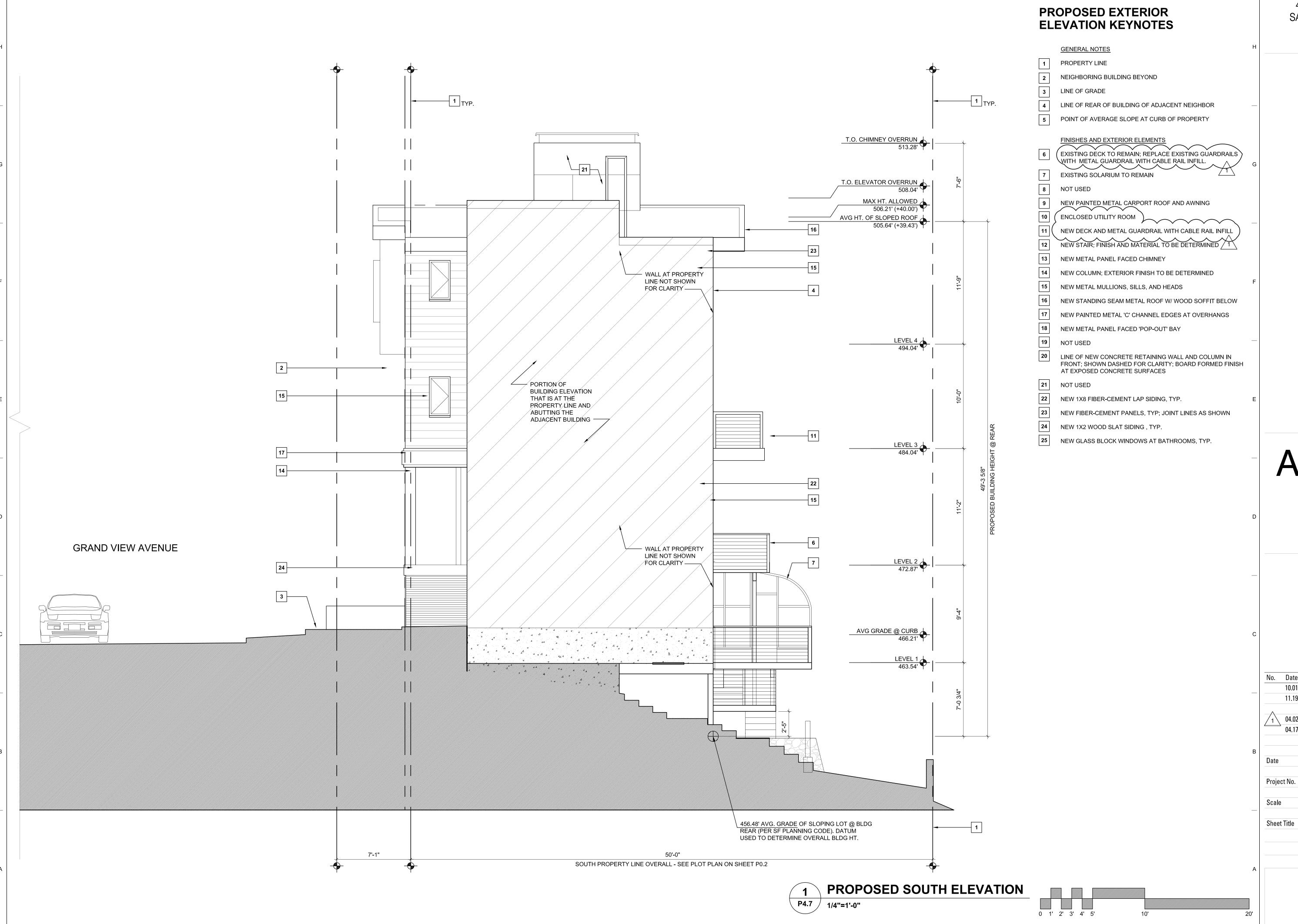
1051

Scale

1/4" = 1'-0"

PROPOSED EAST
EXTERIOR ELEVATION

D/I C



APN: 2807040

-QUATMAN RESIDENC

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No. Date Issue 10.01.2013 ENVIRON EVALUATION SUBMITTAL 11.19.2013 VARIANCE APPLICATION & SITE PERMIT REVIEW

04.02.2014 RESPONSE TO NOPDR#1 04.17.2014 BID SET

04.04.2014

1/4" = 1'-0" Sheet Title

PROPOSED SOUTH **EXTERIOR ELEVATION** 

N-S SECTION W-E SECTION

P4.8

