



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 25, 2014**
 Time: **Beginning at 9:30 a.m.**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 400**
 Case Type: **Variance (Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 2621 San Jose Avenue	Case No.: 2013.1819V
Cross Street(s): Between Foote & Nagle streets	Building Permit: 2013.10.17.9573
Block /Lot No.: 7063/028	Applicant/Agent: Leonardo Redada
Zoning District(s): RH-2/40-X	Telephone: (650) 755-1493
Area Plan: N/A	E-Mail: Leonardo Redada <dgredada@yahoo.com>

The proposal is to legalize a one-story addition, at the rear of the existing two-story, single-family dwelling. The requested one-story rear addition would be 19 feet wide, 6 feet deep and 14 feet tall above grade.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a minimum rear yard depth of 54 feet 10 inches, measured from the mid-point of the rear property line. The requested one-story rear addition would encroach 7 feet into the required rear yard to within 47 feet 10 inches of the rear property line.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1819V.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **Tom Wang** Telephone: **(415) 558-6335** E-Mail: **thomas.wang@sfgov.org**

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of the required Section 311 notification for this project has been performed.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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Para información en Español llamar al: 558.6378

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITION AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE COMMENCING ANY WORK.
2. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL THE NECESSARY INSPECTIONS REQUIRED BY THE CITY OF SAN FRANCISCO DURING AND AFTER CONSTRUCTION.
3. NO PLASTIC PLUMBING PIPE ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEMS.
4. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED OR FIRE RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER PER PRESSURE TREATED LUMBER PRODUCT MFR'S REQUIREMENTS.

- | | | | |
|-----|--|------|-----------------------|
| --- | EXISTING WALL TO REMAIN | ⊠ | LIGHT SWITCH |
| --- | EXISTING WALL TO BE REMOVED | W | WASHER |
| --- | NEW WALL - 2X4 STUDS @ 16" O.C. WITH 1/2" GYP BOARD ON EACH SIDE UNLESS NOTED OTHERWISE. | D | DRYER |
| (E) | EXISTING | (M) | GAS METER |
| (N) | NEW | (T) | THERMOSTAT |
| (S) | SMOKE DETECTOR CEILING MOUNTED/POWERED WITH BATTERY BACKUP. | (MC) | CARBON MONOXIDE ALARM |
| ⊠ | ELECTRICAL CONV. WALL OUTLET | | |
| ⊠ | CEILING LIGHT FIXTURE (DOWN LIGHT) | | |
| ⊠ | WALL MOUNTED LIGHT FIXTURE | | |

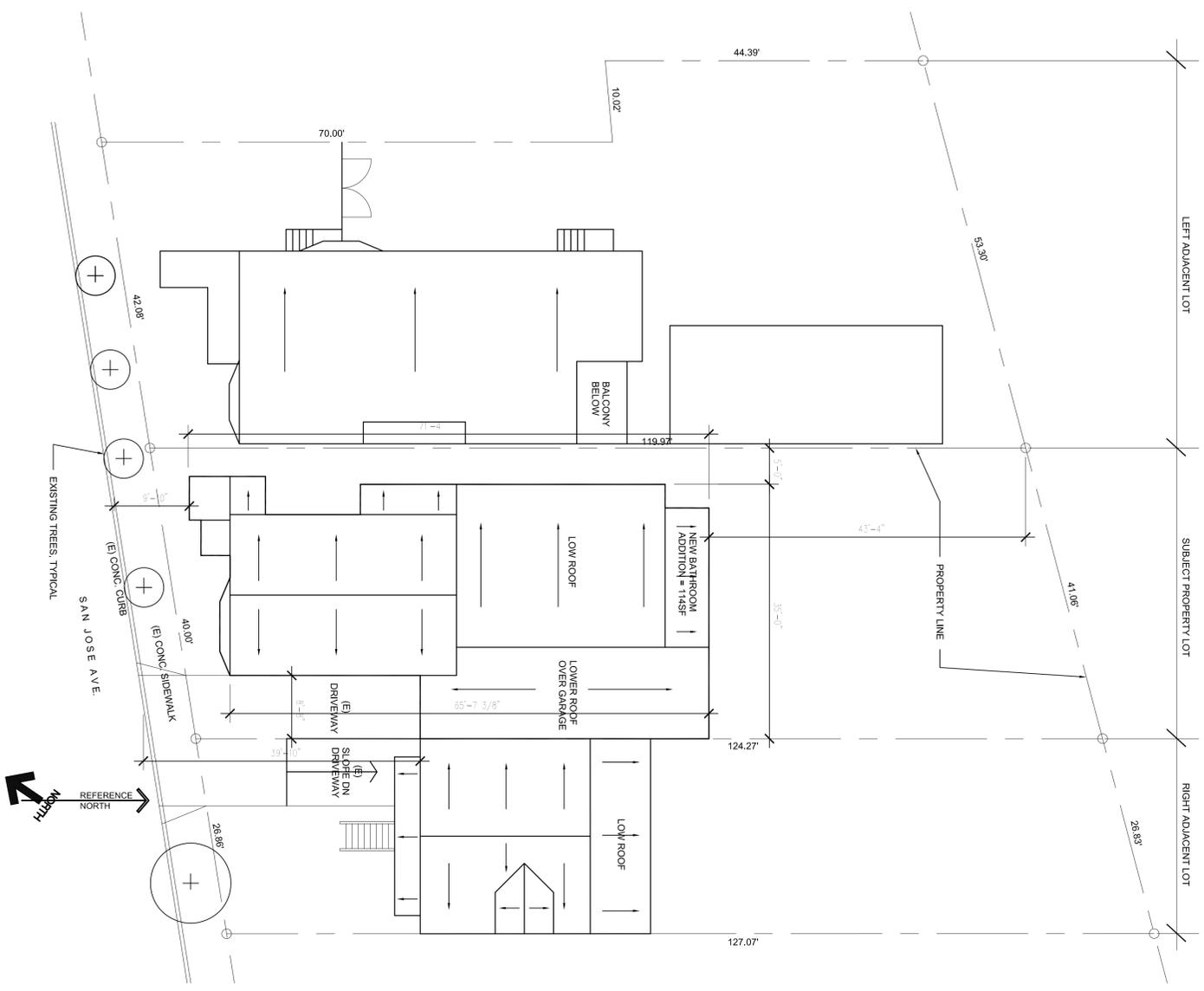
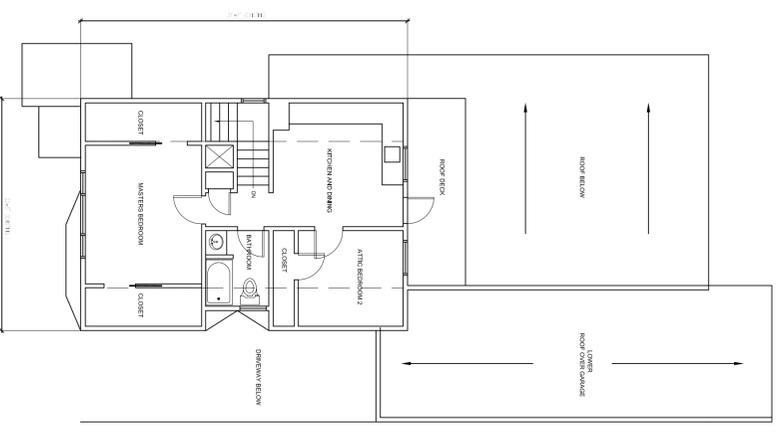
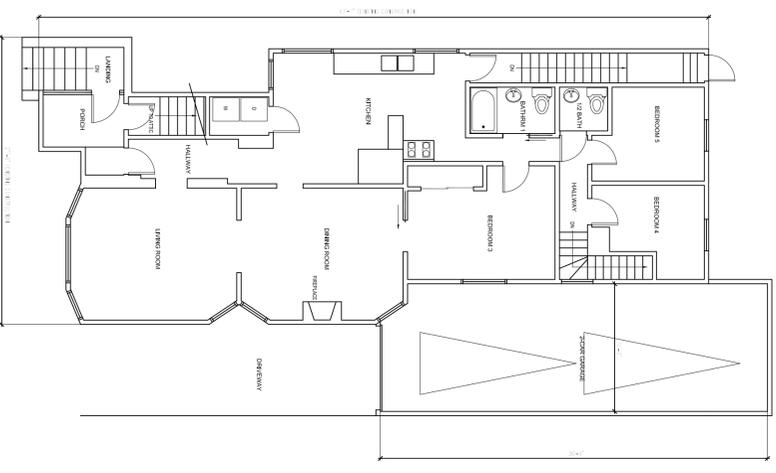
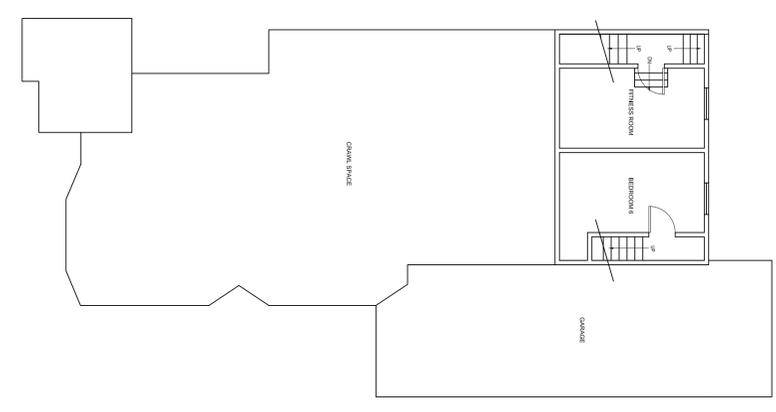
- 2010 CALIFORNIA BLDG. CODE WITH CITY OF SAN FRANCISCO AMENDMENTS
- 2010 CALIFORNIA PLUMBING CODE WITH CITY OF SAN FRANCISCO AMENDMENTS
- 2010 CALIFORNIA MECH. CODE WITH CITY OF SAN FRANCISCO AMENDMENTS
- 2010 CALIFORNIA ELECTRICAL CODE WITH CITY OF SAN FRANCISCO AMENDMENTS
- 2010 CALIFORNIA ENERGY CODE

1. DOCUMENT AND LEGALIZE NEW/ADJUT BATHROOMS
2. INSTALL NEW WINDOWS IN BEDROOMS 2 AND 3
3. NEW PLUMBING ASSOCIATED WITH NEW BATHROOMS

ADDRESS:	2621 SAN JOSE AVENUE SAN FRANCISCO, CA
OCCUPANCY:	RH2
TYPE OF CONSTRUCTION:	1-A1
LOT DIMENSIONS:	SEE PLAN
LOT AREA:	4,781 SF
BLDG. FOOTPRINTS:	1,699 SF
NEW ADDITION:	114 SF
NEW TOTAL:	1,813 SF
LOT COVERAGE:	1873/4781 = 39%
SETBACKS - FRONT:	10'-0" TO CURB
REAR (GARAGE):	3'-0" TO CURB
SIDES:	5'-0" E-SIDE TO PROPERTY LINE
REAR:	4'-4"

- A0 GENERAL NOTES, LEGEND AND SYMBOLS, PLOT PLAN
- A1 EXISTING CONDITION FLOOR PLANS
- A2 PROPOSED FIRST FLOOR PLAN, BLDG. ELEVATIONS AND BLDG. SECTION
- A3 FLOOR FINISHING PLANS, WALL DETAILS
- TI ENERGY COMPLIANCE (TITLE 24)

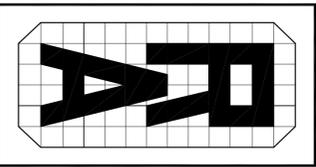
1	GENERAL NOTES	2	SYMBOLS	3	REFERENCE CODES	4	SCOPE OF WORK	5	BUILDING DATA	6	DRAWING INDEX
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7	EXISTING CONDITION	8	PLOT PLAN
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SCALE: 1/8" = 1'-0"

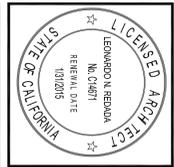
SCALE: 1" = 10'-0"



REDA DA ARCHITECTS
427-39TH STREET
DALY CITY, CA 94015
TEL: (650) 755-1493

NEW BATHROOM EXTENSION
2621 SAN JOSE AVE./SAN FRANCISCO, CA.

OWNER ACCEPTANCE SIGNATURE:
OWNER: PATRICIA JULIAN TEL. NO. (415) 587-0824



TITLE: GENERAL NOTES, LEGEND & SYMBOLS, REFERENCE CODES, EXISTING CONDITIONS, PLOT PLAN

CHECKED: LR

DATE: 09-09-13

SCALE: AS SHOWN

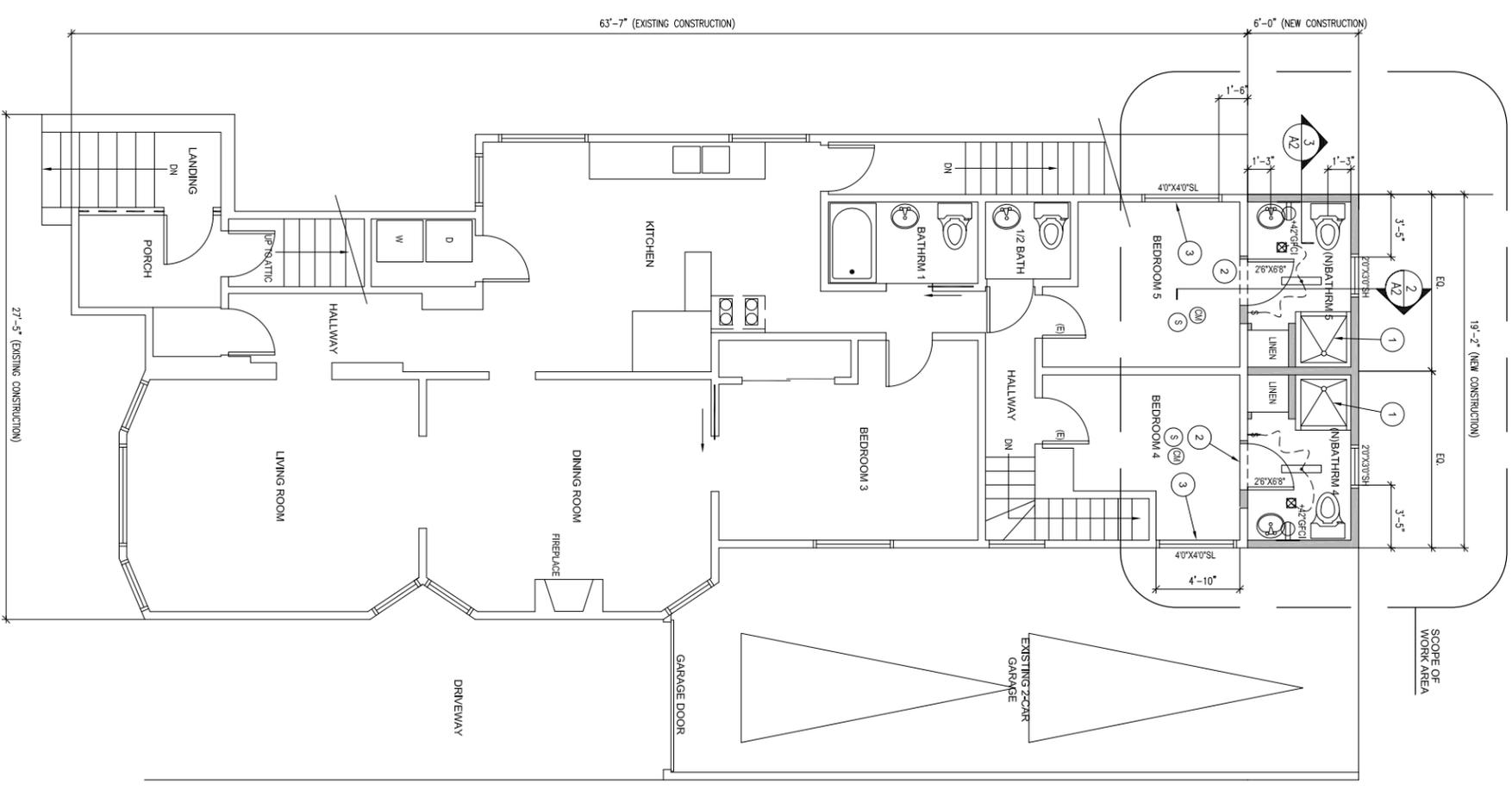
DRAWN: LR

JOB NO.: 09/2013

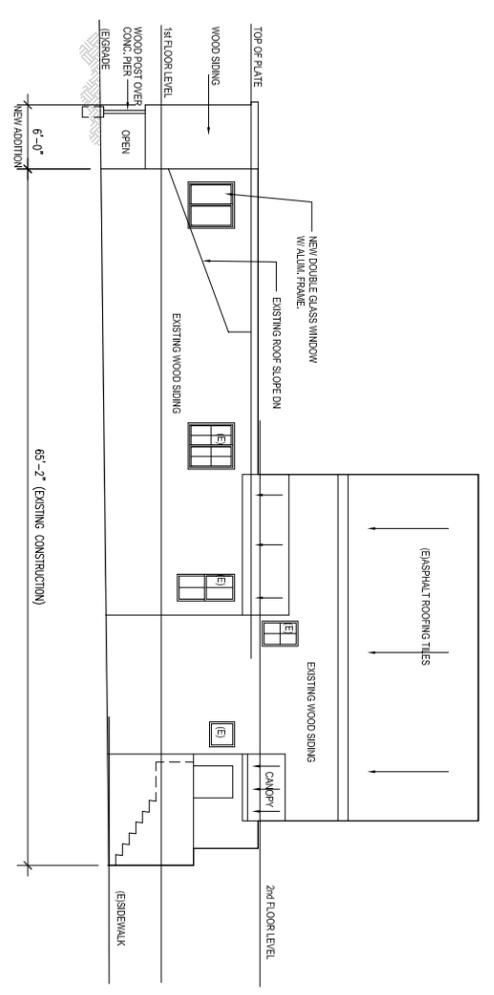
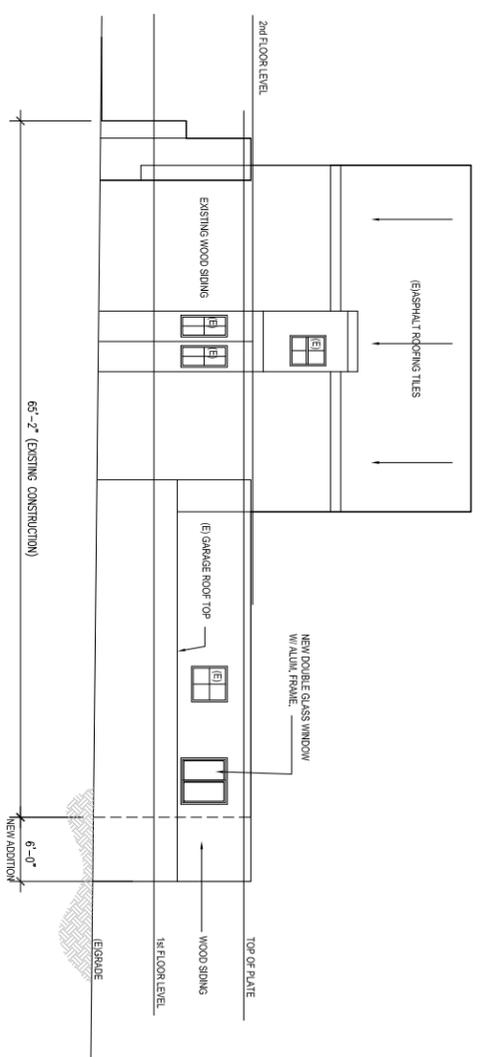
DWG. NO.:

A0

SHEET 1 OF 2

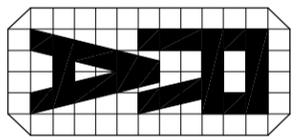


- 1 36"x36" FABRICATED SHOWER STALL
- 2 REMOVE EXISTING WINDOW AND FRAME TO RECEIVE NEW DOUBLE GLASS WINDOW WITH ALUM. FRAME TO MATCH ADJACENT FINISH.
- 3 REMOVE OPENING INTO EXISTING WALL TO RECEIVE NEW WINDOW, PATCH AND FINISH WALL TO MATCH ADJACENT FINISH.



NEW BATHROOM EXTENSION
2621 SAN JOSE AVENUE/SAN FRANCISCO, CA.

OWNER ACCEPTANCE SIGNATURE:
OWNER: PATRICIA JULIAN TEL. NO. (415) 587-0824



REDDA ARCHITECTS
427/89TH STREET
DALY CITY, CA 94015
TEL. (650) 752-1455

REVIEWED PER PLANNING
COMMENTS: 1/17/13

TITLE	PROPOSED FIRST FLOOR PLAN BIDS SECTION
CHECKED LR	
DATE	09-10-13
SCALE	AS SHOWN
DRAWN LR	
JOB NO.	09/2013
DWG. NO.	
A1	
SHEET 2 OF 2	

