



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

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NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 03, 2014**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard, Mass Reduction and Parking)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 170 Bocana St	Case No.: 2013.1887V
Cross Street(s): Eugenia	Building Permit: 2013.12.20.4714
Block / Lot No.: 5620/019	Applicant/Agent: Ryan Knock
Zoning District(s): RH-1 / 40-X	Telephone: 215-2647
Area Plan: Bernal SUD	E-Mail: ryan@know-ad.com

PROJECT DESCRIPTION

The proposal is to convert storage space to usable floor area on the ground floor, to convert attic space to usable floor area by increasing the building height by approximately 6 feet on the third floor, and to construct a horizontal rear addition on the third floor above the existing two-story portion. The proposal adds approximately 1,080 square feet of usable floor area to the existing approximately 1,480 square foot single-family residence.

PER SECTION 242(e)(2) OF THE PLANNING CODE the subject property is required to maintain a rear yard of 35 percent of lot depth, which is 19'-3". The existing rear yard is 12'-6" to the existing two-story rear addition. The proposed rear addition would extend into the rear yard to the same depth as the existing two-story rear addition. The proposed rear addition would be constructed within the required rear yard; therefore, a variance is required.

PER SECTION 242(e)(3) OF THE PLANNING CODE the building is required to include a 'mass reduction' of 650 square feet. The proposed project would not comply with the mass reduction requirement; therefore, a variance is required.

PER SECTION 242(e)(4) OF THE PLANNING CODE the addition of more than 400 square feet of usable floor area for alterations within the RH-1 Zoning District that results in an usable floor area above 2,250 square feet requires three off street parking spaces. The new usable floor area would be approximately 2,560 square feet. The proposed project provides two off-street parking spaces, one of which is independently accessible; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Erika Jackson** Telephone: **415-558-6363** Mail: erika.jackson@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1887V.pdf>

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Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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