

CONTACT INFORMATION

OWNER:	DAN RAMPTON ANNA PUTNAM WILLIAM AAL 349-351 CHURCH STRET SAN FRANCISCO, CA, 94114 650-739-6613
ARCHITECT/ ENGINEER:	BONZA ENGINEERING, INC. 42 OTIS STREET, SUITE 4 SAN FRANCISCO, CALIFORNIA 94103 415.516.3569

PROJECT DATA

BLOCK/LOT:	3557/042
ZONING:	RTO
ALLOWABLE HEIGHT:	40-X
LOT AREA:	3125 SQ. FT.
BUILDING AREA:	3480 SQ. FT.
OCCUPANCY/USE:	RESIDENTIAL/R3
CONSTRUCTION TYPE:	V

SCOPE OF WORK

VARIANCE APPLICATION TO LEGALIZE EXISTING REAR DECK AND STAIR TO COMPLY WITH PHYSICAL INSPECTION REPORT CC-7248 ISSUED BY DBI. NO CHANGES TO INTERIOR SPACES.

APPLICABLE CODES

BUILDING CODE:	2013 CALIFORNIA BUILDING CODE W/SFBC AMENDMENTS
ELECTRICAL CODE:	2013 CALIFORNIA ELECTRICAL CODE W/SFBC AMENDMENTS
MECHANICAL CODE:	2013 CALIFORNIA MECHANICAL CODE W/SFBC AMENDMENTS
PLUMBING CODE:	2013 CALIFORNIA PLUMBING CODE W/SFBC AMENDMENTS
GREEN BUILDING:	2013 GREEN BUILDING CODE W/SFBC AMENDMENTS
HOUSING CODE:	2003 SAN FRANCISCO HOUSING CODE
ENERGY CODE:	2010 CALIFORNIA ENERGY CODE

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GENERAL NOTES

1.

COMPLIANCE WITH CODES: ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, INCLUDING COMPLIANCE WITH ANY ADDITIONAL RULES AND REGULATIONS GOVERNING CONSTRUCTION AND USE OF FACILITIES MANDATED BY ANY AND ALL AGENCIES HAVING JURISDICTION.
2.

PERMITS AND INSPECTIONS: THE GC IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND FOR SCHEDULING ALL REQUIRED INSPECTIONS NECESSARY FOR COMPLETION THE PROJECT IN A TIMELY MANOR.
3.

DIMENSIONS AND LAYOUT: DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FINISH FACE OF STUD CASEWORK, OR CONCRETE, OR CENTERLINE OF STEEL. DIMENSIONS MARKED "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS MARKED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4.

EXISTING CONDITIONS: PRIOR TO THE COMMENCEMENT OF WORK, THE GC, WITH SUB CONTRACTORS AND TRADESPEOPLE AS REQUIRED, SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AFFECTING THE WORK AT THE SITE. IT SHALL BE THE RESPONSIBILITY OF THE GC AND SUBCONTRACTORS TO INSPECT CONDITIONS OF PRIOR WORK BY OTHER TRADES BEFORE PROCEEDING WITH ANY WORK. UNACCEPTABLE OR INCORRECT WORK SHALL BE REPAIRED OR REPLACED PRIOR TO STARTING WORK. COMMENCEMENT OF WORK INDICATES ACCEPTANCE OF EXISTING CONDITIONS OR PRIOR WORK.
5.

LAYOUT OF WORK: THE GC SHALL LAYOUT THE WORK FROM THE DIMENSIONS AND ALIGNMENTS SHOWN ON THE DRAWINGS. THE GC SHALL BE RESPONSIBLE FOR ALL MEASUREMENTS IN THE FIELD AND FOR THE ACCURACY, FIT, AND STABILITY OF WORK.
6.

INCONSISTENCIES AND MISSING INFORMATION: THE GC IS TO STUDY THE DRAWINGS, SPECIFICATIONS, NOTES AND OTHER INSTRUCTIONS AND NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR MISSING INFORMATION REQUIRED FOR THE FABRICATION OR INSTALLATION OF THE WORK. THE GC SHALL REQUEST INSTRUCTION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. IN THE CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN THE DRAWINGS, THE

MOST STRINGENT NOTE OR CONDITION SHALL APPLY, UNLESS OTHERWISE STATED BY THE ARCHITECT.

7.

MEANS AND METHODS: THE GC SHALL SUPERVISE ALL WORK. THE GC SHALL HAVE CONTROL OVER, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
8.

SEQUENCE AND COORDINATION: THE GC SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS FOR ALL PORTIONS OF THE WORK. THE GC SHALL ALSO COOPERATE IN SEQUENCING INSTALLATION OF ITEMS FURNISHED BY THE OWNER.
9.

NOTIFICATIONS: THE GC SHALL NOTIFY ALL ADJACENT PROPERTY OWNERS, IN ACCORDANCE WITH THE PROVISIONS OF LAW, OF IMPENDING WORK. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMISSION FROM ADJACENT PROPERTY OWNERS FOR ANY AND ALL USE OF THEIR PROPERTY DURING EXECUTION OF THE WORK.
10.

INSURANCE: THE GC SHALL PROVIDE PROOF OF WORKERS COMPENSATION INSURANCE AND DISABILITY COVERAGE, AS REQUIRED BY STATE LAW, PRIOR TO THE COMMENCEMENT OF WORK. PROOF OF LIABILITY, PROPERTY DAMAGE AND OTHER INSURANCE SHALL BE PROVIDED IN THE AMOUNTS STATED IN THE CONTRACT BETWEEN OWNER AND CONTRACTOR. ALL SUBCONTRACTORS SHALL ALSO PROVIDE PROOF OF WORKERS COMPENSATION INSURANCE AND DISABILITY COVERAGE, AS REQUIRED BY STATE LAW, PRIOR TO THE COMMENCEMENT OF WORK. PROOF OF LIABILITY, PROPERTY DAMAGE AND OTHER INSURANCE SHALL BE PROVIDED IN THE AMOUNTS STATED IN THE CONTRACT BETWEEN THE GC AND THE SUBCONTRACTOR.
11.

LICENSED TRADESPEOPLE: GC SHALL PROVIDE EVIDENCE OF STATE LICENSE FOR ALL SUBCONTRACTORS REQUIRED TO PERFORM WORK. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THEIR TRADE.
12.

SAFETY: THE GC SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING SAFETY PRECAUTIONS ASSOCIATED WITH ALL WORK AT THE SITE. THE GC SHALL GIVE NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE SAFETY OF PERSONS AND PROPERTY, AND THEIR PROTECTION FROM DAMAGE, INJURY AND LOSS. THE GC SHALL SECURE THE PREMISES AND MATERIALS WITHIN THE CONSTRUCTION AREA FOR THE DURATION OF THE CONSTRUCTION, AND TAKE ALL NECESSARY PRECAUTIONS AT THE END OF EACH WORKDAY TO INSURE THAT NO UNAUTHORIZED PERSONS CAN GAIN ACCESS TO THE JOB SITE.
13.

SHORING AND BRACING: THE GC SHALL BE RESPONSIBLE FOR THE INTEGRITY, STABILITY, AND SAFETY OF THE EXISTING STRUCTURE, ADJACENT STRUCTURES, AND EXCAVATIONS AT ALL TIMES. THE GC SHALL PROVIDE ANY SHORING OR BRACING NECESSARY TO ENSURE THE INTEGRITY, AND SAFETY OF THE WORK.
14.

EXISTING UTILITIES: THE GC SHALL EXERCISE CAUTION SO AS NOT TO DAMAGE OR DISRUPT ANY EXISTING UTILITIES THAT PASS THROUGH THE PROJECT SITE OR ADJACENT PROPERTIES. THE GC WILL BEAR SOLE RESPONSIBILITY OF ANY SUCH DISRUPTIONS OR DAMAGE. ANY REPAIR TO THE UTILITY SYSTEMS MUST BE COMPLETED TO THE SATISFACTION OF THE RELEVANT AUTHORITY.
15.

PROTECTION DURING CONSTRUCTION: THE GC SHALL ERECT TEMPORARY DUST AND SOUND-ATTENUATING BARRIERS AS NEEDED TO MINIMIZE THE IMPACT OF DUST AND NOISE IN SPACES NOT INVOLVED IN THE CONSTRUCTION. THE GC SHALL PROVIDE AND MAINTAIN ALL NECESSARY COVERINGS AND PROTECTION TO PREVENT DAMAGE, DISCOLORATION OR SOILING OF BOTH EXISTING AND NEW CONSTRUCTION, FINISHES, BUILDING ELEMENTS AND LANDSCAPE FEATURES. SUCH PROTECTION SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF WORK. UPON OWNERS ACCEPTANCE, THE GC SHALL REMOVE ALL PROTECTION AND CLEAN ALL EXPOSED SURFACES.
16.

DAMAGE TO EXISTING: ANY DAMAGED CONSTRUCTION OF FEATURES SHALL BE REPLACED AT THE EXPENSE OF THE GC TO THE SATISFACTION OF THE OWNER WITH MATERIALS EQUIVALENT OR SUPERIOR TO THE ORIGINAL ITEM(S).
17.

CHANGES: THE GC IS SOLELY RESPONSIBLE FOR ANY CHANGES TO THE PLANS, DETAILS, OR SPECIFICATIONS UNLESS PRIOR WRITTEN AUTHORIZATION IS GIVEN BY THE OWNER OR THE ARCHITECT. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.
18.

APPROVED MATERIALS: THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE ARCHITECT ALONE SHALL DETERMINE THE SUITABILITY AND ACCEPTABILITY OF THE SUBSTITUTION REQUESTED BY THE GC. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY. UNLESS OTHERWISE NOTED IN THE DRAWINGS, MANUFACTURERS MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS.
19.

NIC, DESIGN / BUILD: ALL WORK SPECIFIED AS "NOT IN CONTRACT (NIC)," OR "BY OTHERS" SHALL BE PROVIDED BY OWNER UNDER SEPARATE CONTRACT. WORK THAT IS DESIGNATED AS DESIGN / BUILD, OR DEFERRED SUBMITTAL INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL PLANS, PLUMBING PLANS, MECHANICAL PLANS, AND SPRINKLER AND FIRE ALARM PLANS. SUCH DESIGNS SHALL BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER OF RECORD FOR REVIEW, COORDINATION, AND APPROVAL. FOLLOWING APPROVAL BY THE ARCHITECT AND/OR ENGINEER OF RECORD, THE DESIGN BUILDER IS RESPONSIBLE FOR SUBMITTING STAMPED DRAWINGS AND CALCULATIONS TO THE LOCAL BUILDING AUTHORITY FOR REVIEW AND APPROVAL.
20.

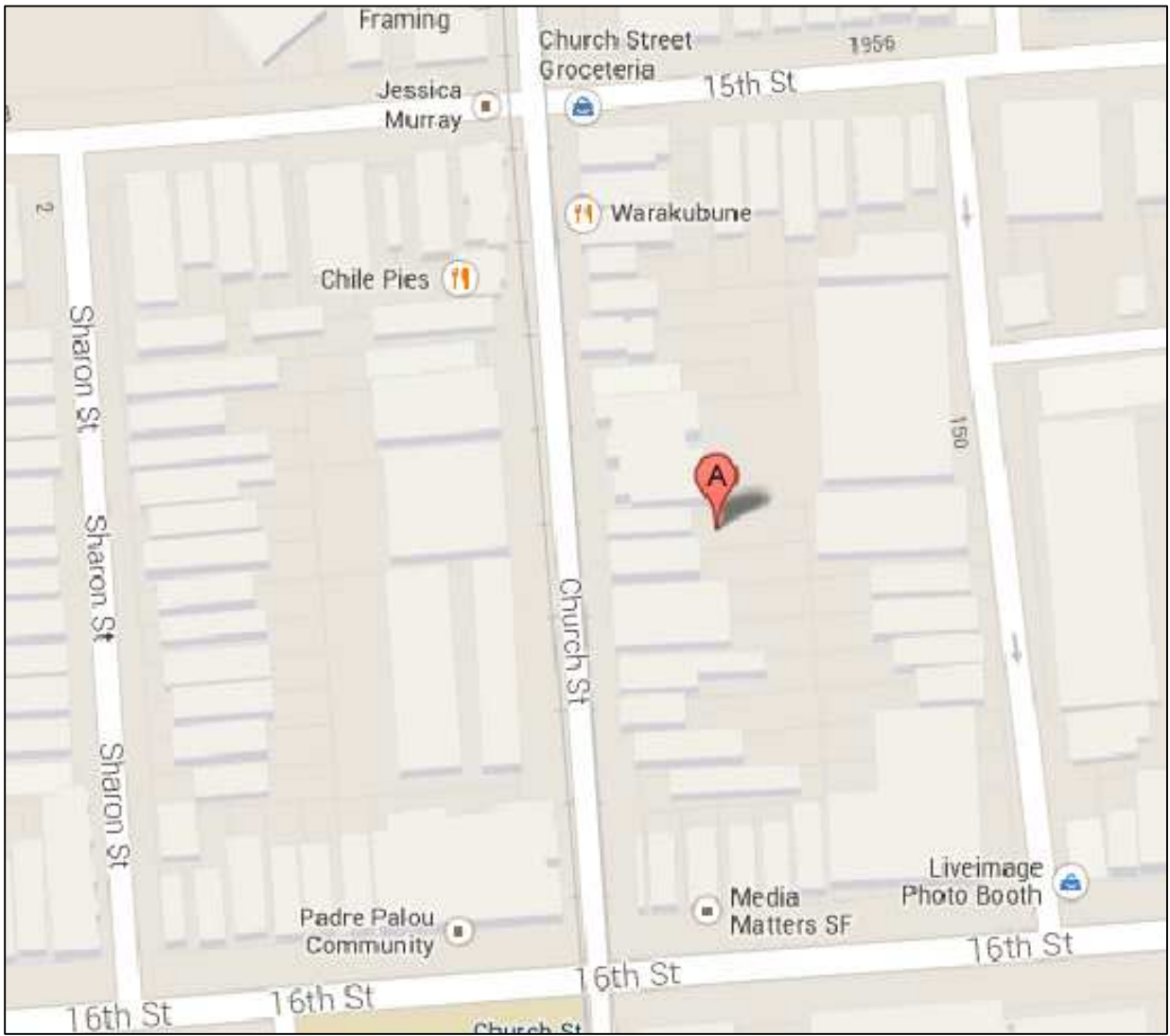
HAZARDOUS MATERIALS: THE GC SHALL TAKE ALL APPROPRIATE MEASURES TO PROTECT ALL PARTIES FROM POTENTIAL HAZARDS PRODUCED BY THE REMOVAL OF, OR DAMAGE TO, LEAD BASED PAINTS, AND COATINGS, ASBESTOS, OR OTHER MATERIALS ON OR ABOUT THE PROPERTY THAT REPRESENT HAZARDS.
21.

INSPECTIONS AND SIGN-OFFS. THE GC IS RESPONSIBLE FOR PROCURING ALL REQUIRED INSPECTIONS OF THE WORK, AS WELL AS ALL REQUIRED TESTING AND SPECIAL INSPECTIONS.
22.

CUTTING AND PATCHING: THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED BY THE INSTALLATION OF NEW ELEMENTS, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL STEEL, FRAMING, MASONRY LINTELS, STRUCTURAL DECKING OR SLABS, STAIRS, PLUMBING, PLUMBING FIXTURES AND CONNECTIONS, WIRING, ELECTRICAL AND TELEPHONE, SWITCHES AND OUTLETS, HEATING AND VENTILATION ELEMENTS AND DEVICES. MATERIALS USED IN CUTTING AND PATCHING SHALL BE IDENTICAL TO ORIGINAL MATERIALS UNLESS OTHERWISE NOTED. IF IDENTICAL MATERIALS ARE NOT AVAILABLE, THEN FINISHED WORK SHALL

BE EQUAL OR BETTER TO ORIGINAL. PATCHING SHALL SEAMLESSLY JOIN THE IMMEDIATE EXISTING ADJACENT MATERIALS, FINISH, GLOSS AND COLOR. JOINTS SHALL BE DURABLE AND INVISIBLE. CREATE TRUE, EVEN PLANES WITH UNIFORM CONTINUOUS APPEARANCE.

VICINITY MAP



DRAWING SYMBOLS

1

Ax

BUILDING ELEVATION TAG

1

Ax

BUILDING SECTION TAG

8

WINDOW / STOREFRONT TAG

1

Ax

DETAIL TAG

5

WALL TAG

1

KEY NOTE

A

DOOR TAG

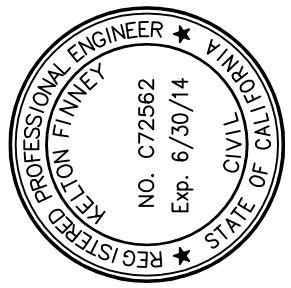
(E) WALL TO BE DEMOLISHED

(E) WALL TO REMAIN

(N) WALL

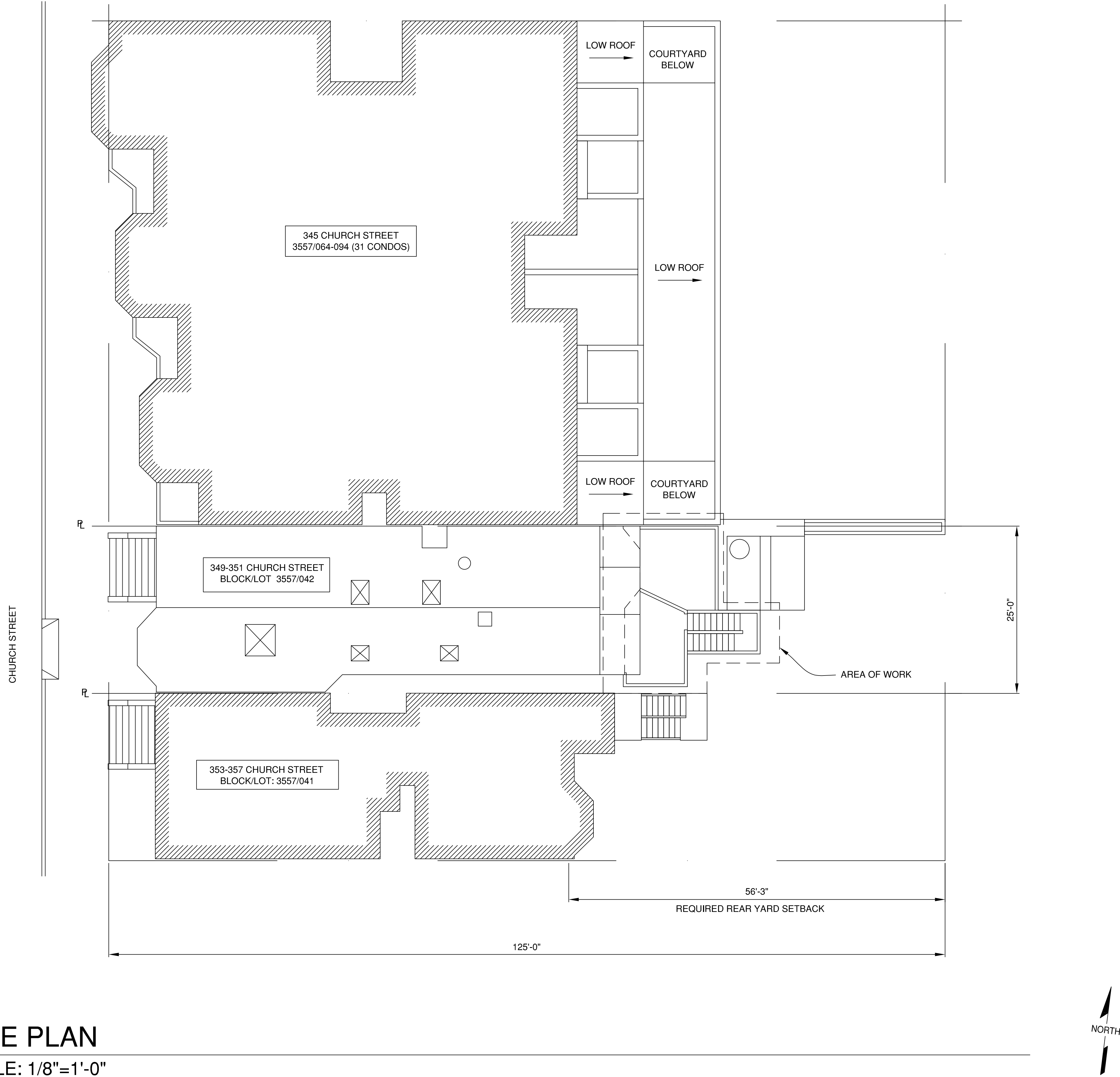
ABBREVIATIONS

ABV	ABOVE
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
BLDG	BUILDING
BLKG	BLOCKING
BOT	BOTTOM
BTWN	BETWEEN
C.C.	CENTER TO CENTER
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CONC	CONCRETE
CONT	CONTINUOUS
CTR	CENTER
DET	DETAIL
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
(E)	EXISTING
EA	EACH
ELEC	ELECTRIC
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXT	EXTERIOR
FA	FIRE ALARM
FF	FINISHED FLOOR
FIN	FINISH(ED)
FLR	FLOOR
FO	FACE OF
GA	GAUGE
GALV	GALVANIZED
GEN	GENERAL
GL	GLASS
GND	GROUND
GWB	GYPSUM WALL BOARD
HC	HANDICAPPED
HDWD	HARDWOOD
HORIZ	HORIZONTAL
HT	HEIGHT
HP	HIGH POINT
INS	INSULATION
INT	INTERIOR
JB	JUNCTION BOX
KIT	KITCHEN
LAV	LAVATORY
LP	LOW POINT
LT	LIGHT
MAX	MAXIMUM
MECH	MECHANICAL
MED	MEDICINE CABINET
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
(N)	NEW
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OD	OUTSIDE DIAMETER
OPG	OPENING
OPP	OPPOSITE
OVR	OVER
(P)	PROPOSED
PL	PROPERTY LINE
PLYWD	PLYWOOD
PNL	PANEL
PT	POINT
PTD	PAINTED
REQD	REQUIRED
RF	REFRIGERATOR
RM	ROOM
RO	ROUGH OPENING
SC	SOLID CORE
SD	SMOKE DETECTOR
SSD	SEE STRUCTURAL DRAWINGS
SCH	SCHEDULE
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STOR	STORAGE
STL	STEEL
SYM	SYMMETRICAL
T&G	TONGUE & GROOVE
TEL	TELEPHONE
TEMP	TEMPERATURE
TO	TOP OF
TYP	TYPICAL
UL	UNDERWRITERS LABORATORY
UON	UNLESS OTHERWISE NOTED
UNF	UNFINISHED
UTIL	UTILITY
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/	WITH
W/D	WASHER AND DREYER
WC	WATERCLOSET
WD	WOOD
WH	WATER HEATER
W/O	WITHOUT



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SITE PLAN
SCALE: 1/8"=1'-0"



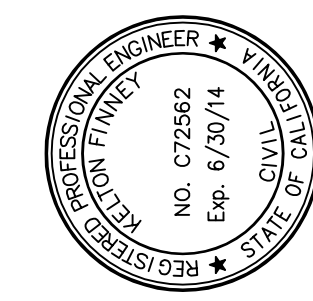
COMPLY W/INSPECTION RPT CC-7248
349-351 CHURCH STREET
SAN FRANCISCO, CA

SITE PLAN

1-14-14

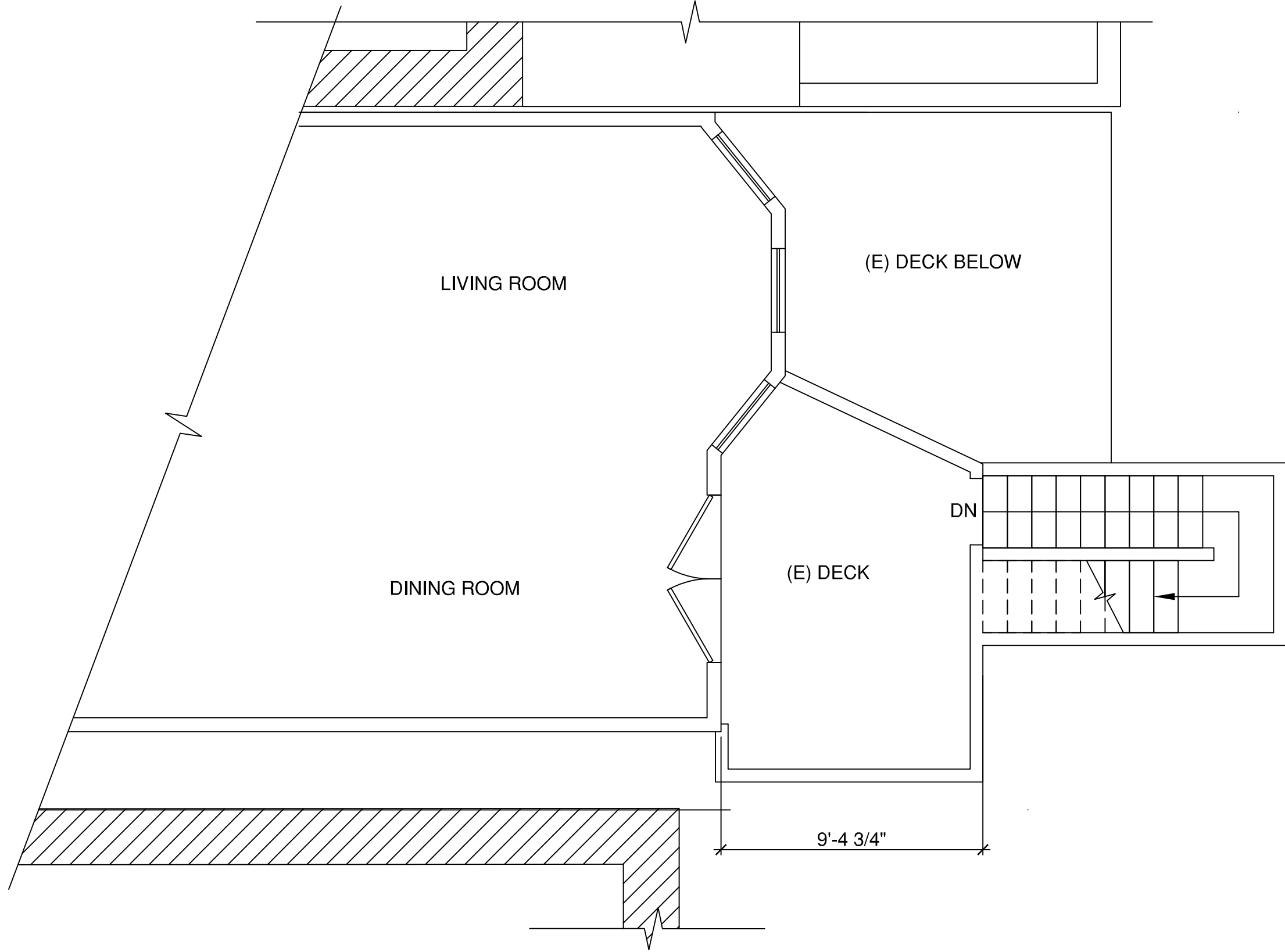
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JOB NO: 0069



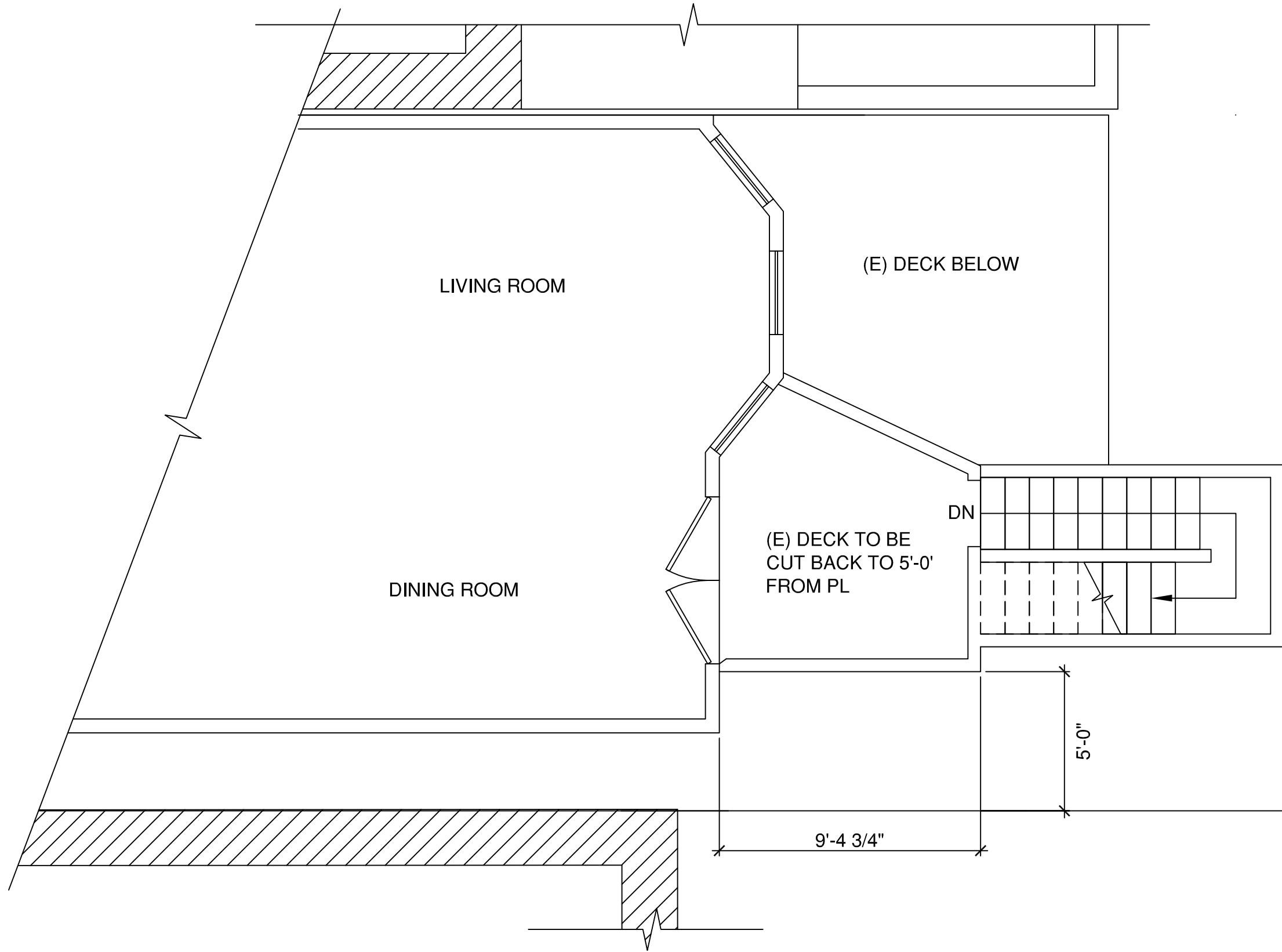
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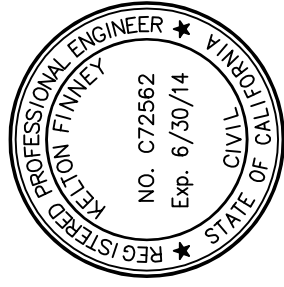
(E) PARTIAL THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"



(P) PARTIAL THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"



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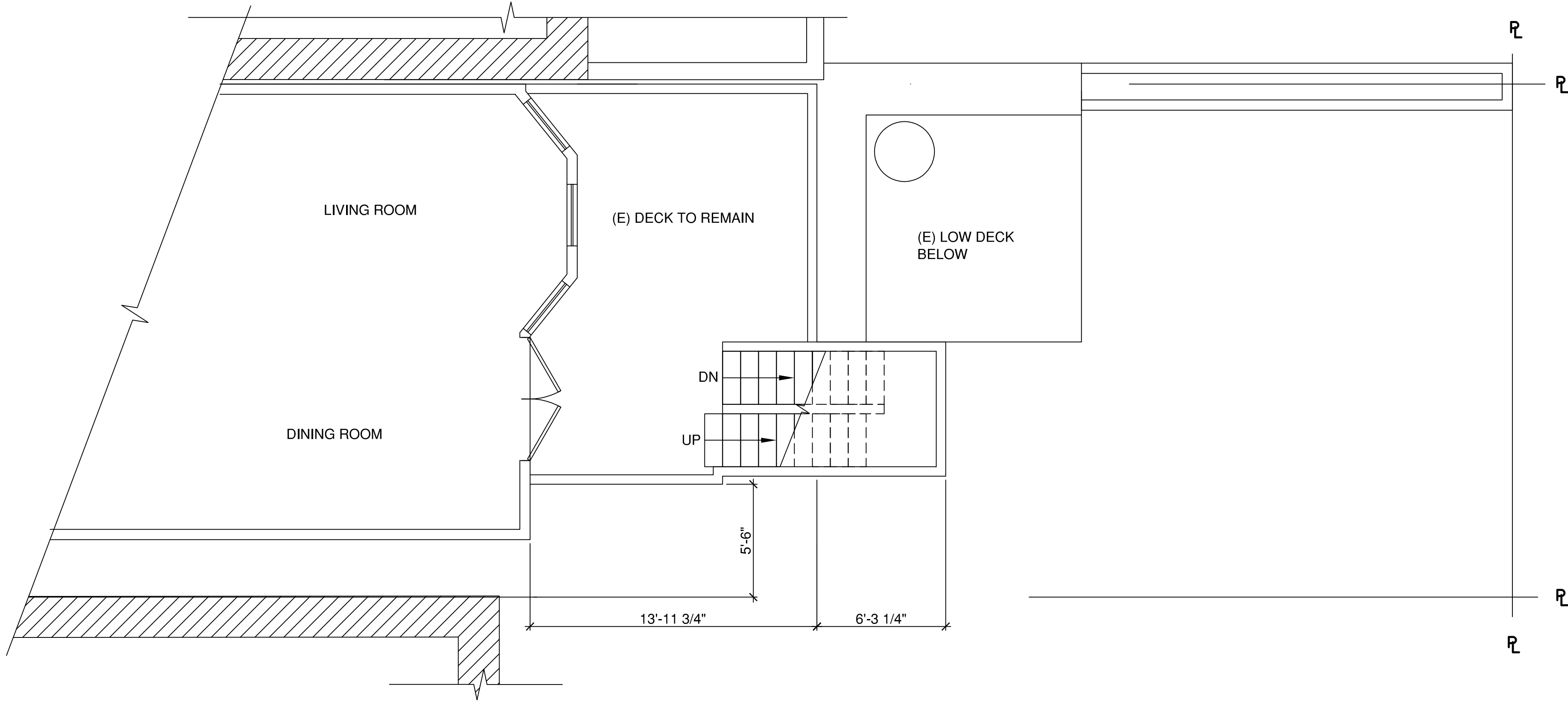
(E) PARTIAL THIRD FLOOR PLAN
(P) PARTIAL THIRD FLOOR PLAN

1-14-14

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REVISION

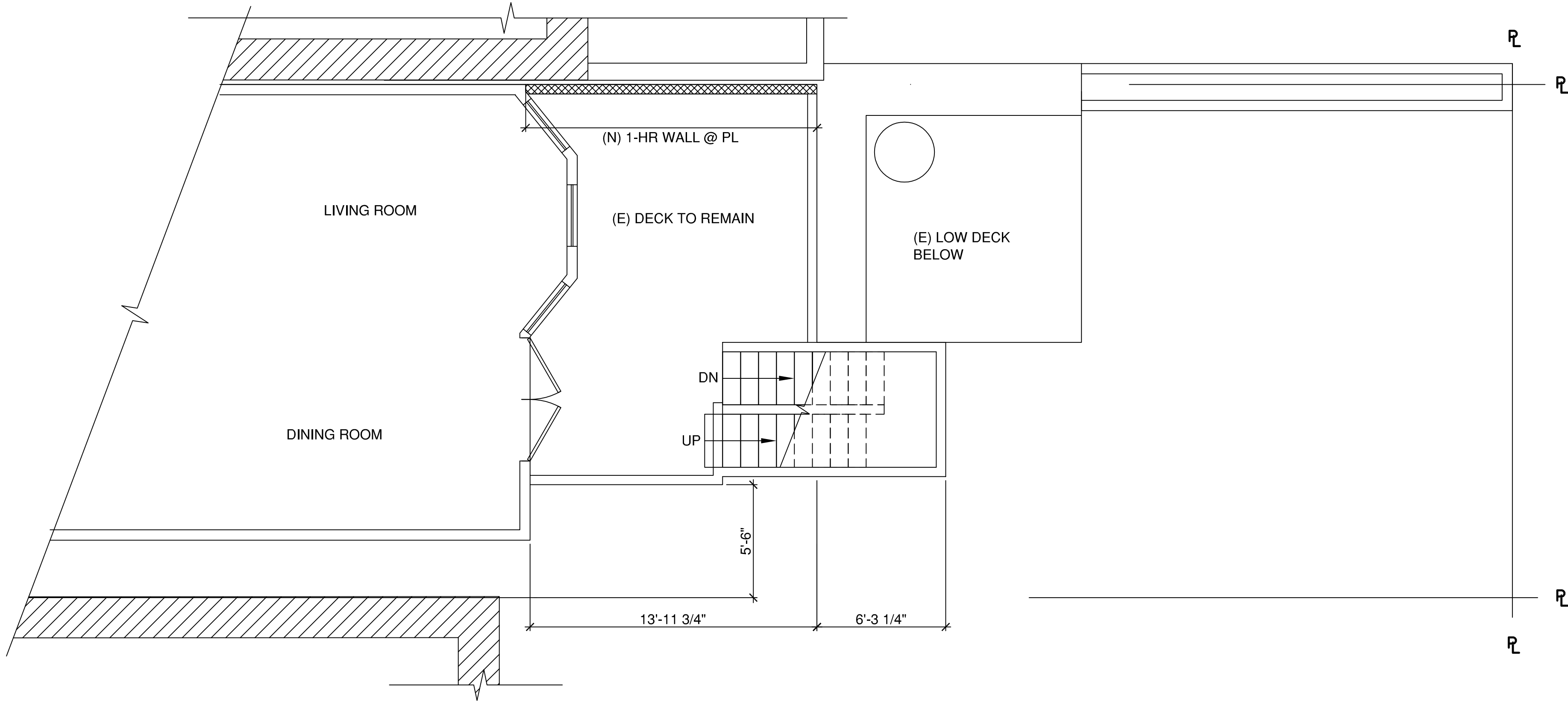
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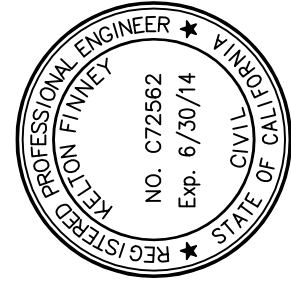
(E) PARTIAL SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



(P) PARTIAL SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



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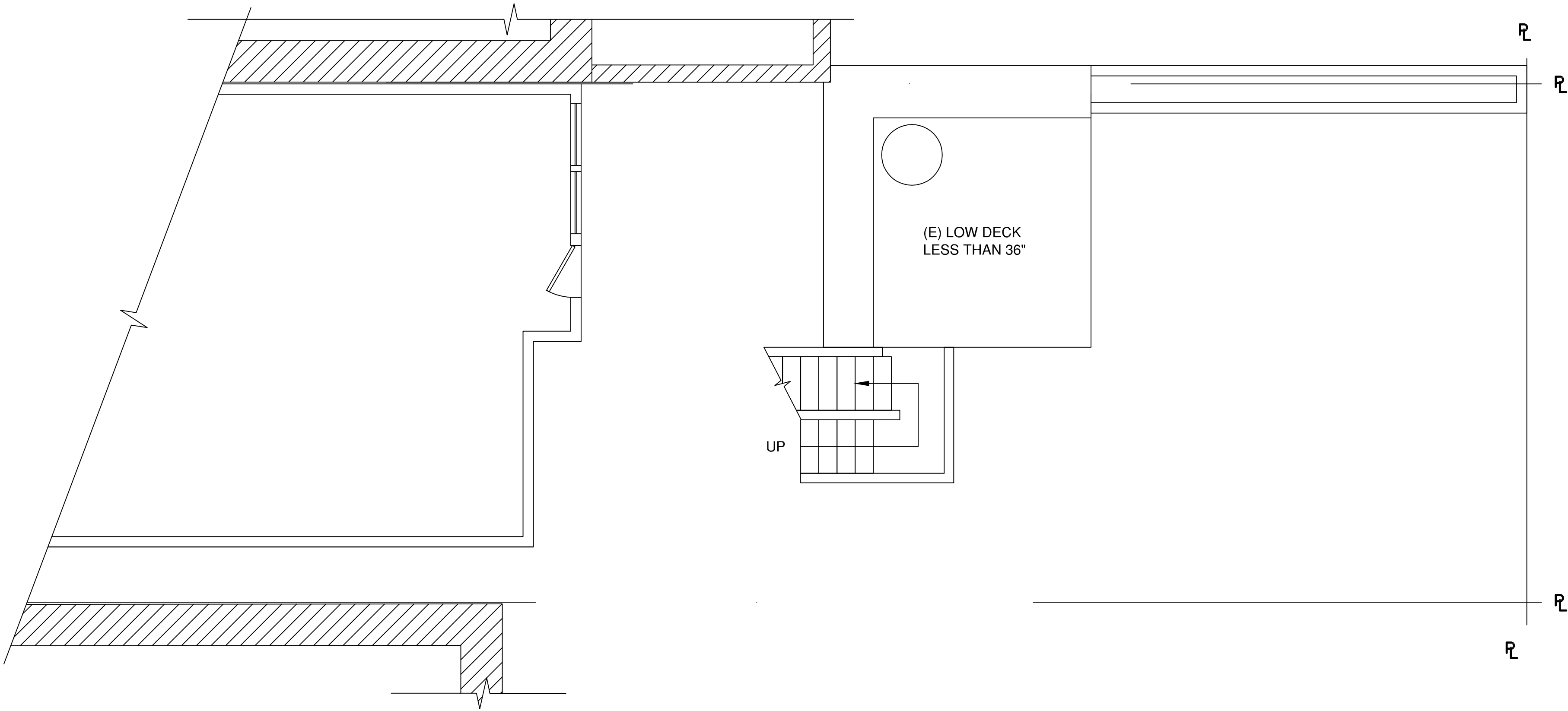
(E) PARTIAL SECOND FLOOR PLAN
(P) PARTIAL SECOND FLOOR PLAN

1-14-14

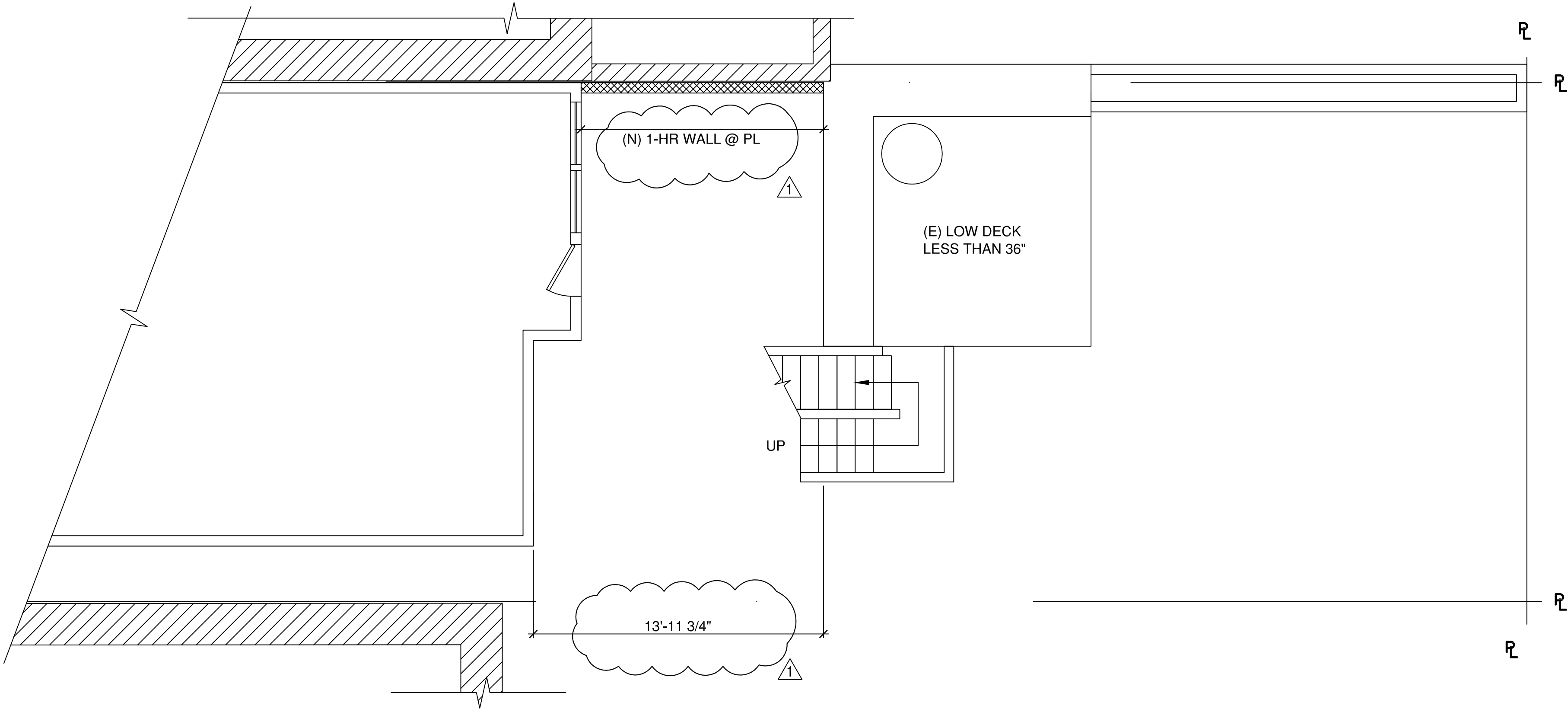
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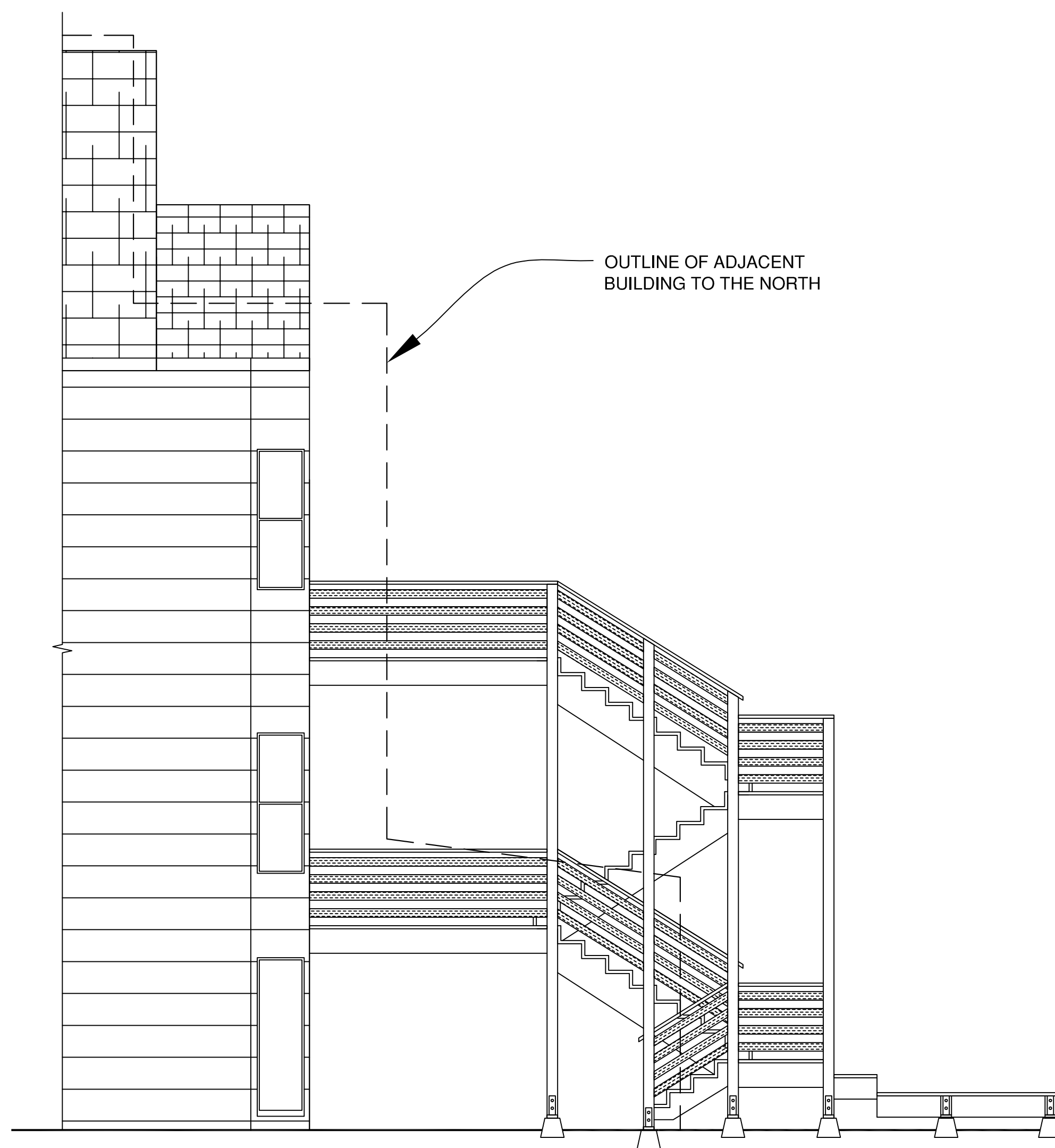


(E) PARTIAL FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

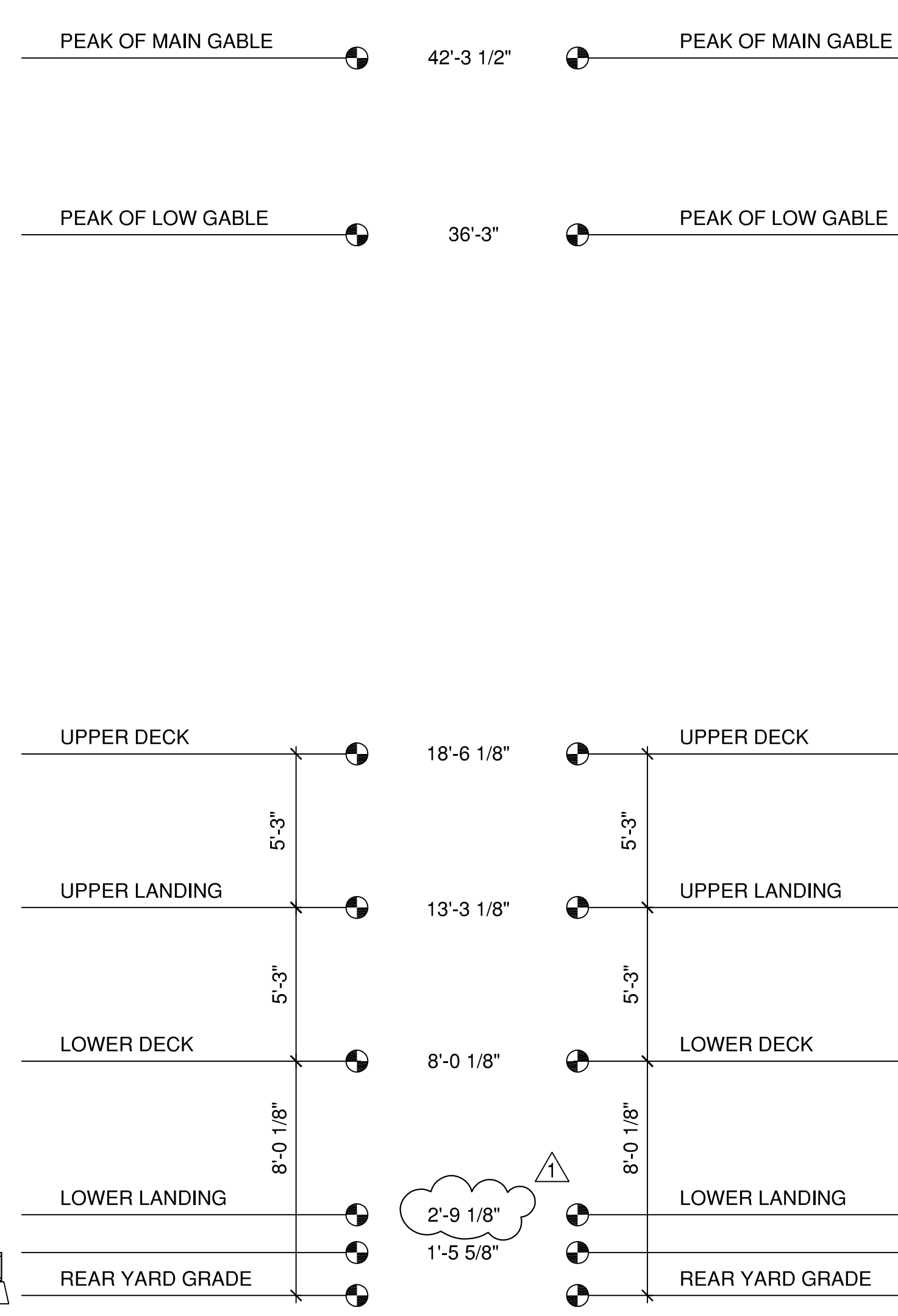


(P) PARTIAL FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

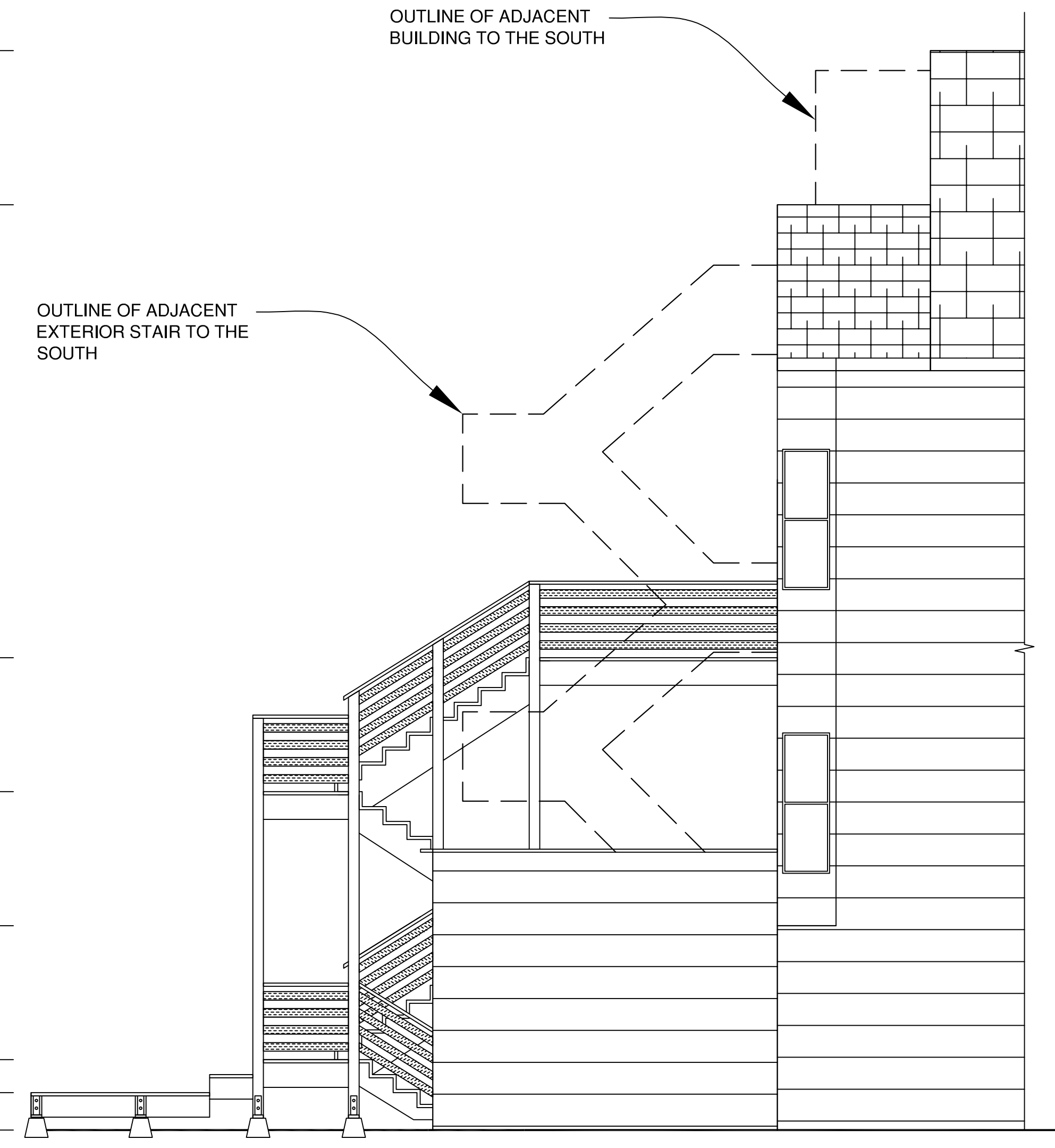
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(P) DECK - NORTH ELEVATION
SCALE: 1/4"=1'-0"



(P) DECK - NORTH ELEVATION
SCALE: 1/4"=1'-0"



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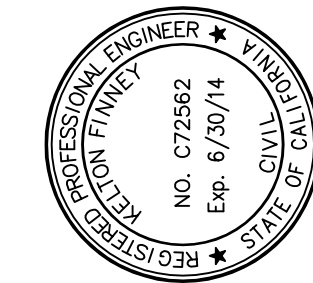
(P) PARTIAL NORTH ELEVATION
(P) PARTIAL SOUTH ELEVATION

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6-30-14

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PLAN CHECK

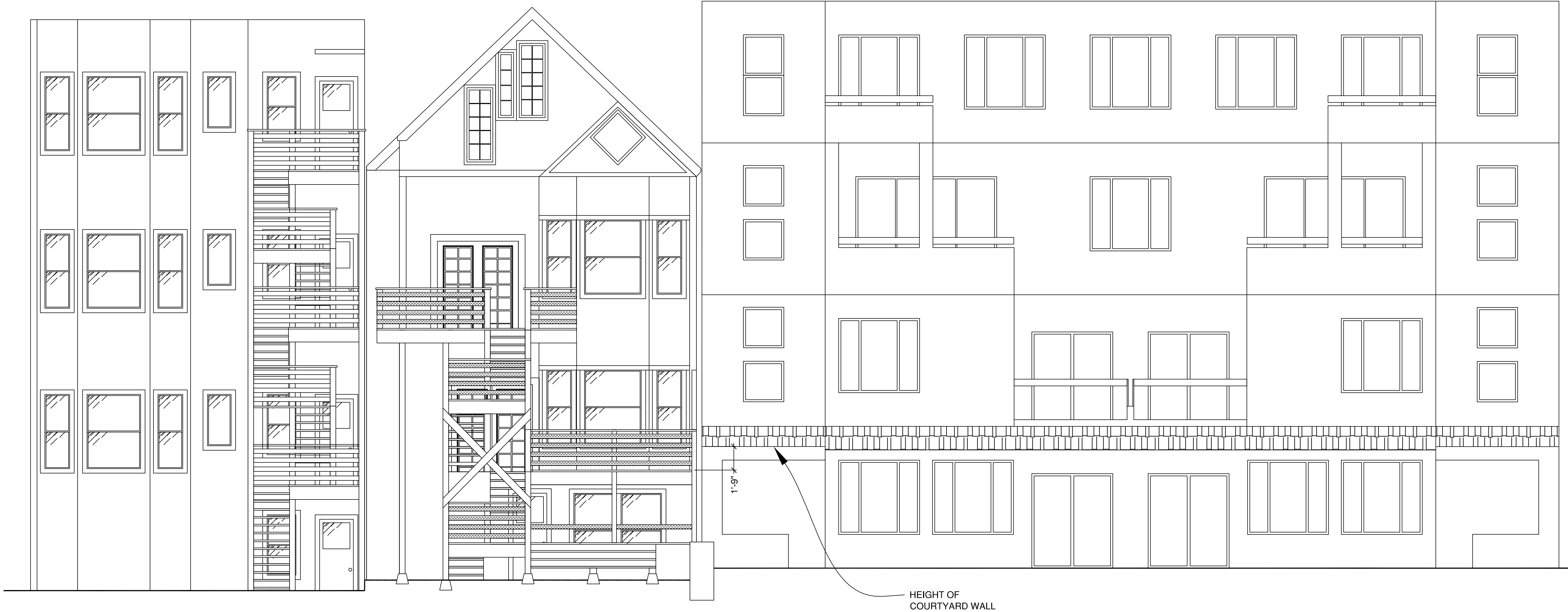
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(E) REAR ELEVATION
SCALE: 1/4"=1'-0"

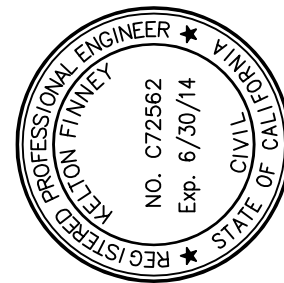
(E) EAST ELEVATION

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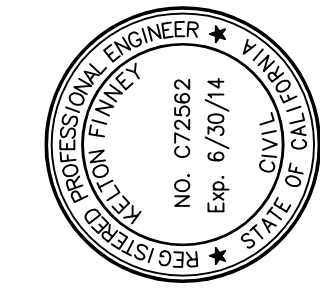


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(P) REAR ELEVATION
SCALE: 1/4"=1'-0"



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(P) EAST ELEVATION


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PLAN CHECK

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City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom C. Hui, S.E. CBO., Acting Director

DAN RAMPTON@gmail.com
65-729 6613

May 20, 2013

REPORT OF PHYSICAL INSPECTION
APPLICATION CC- 7248

Daniel Rampton et al
351 Church Street
San Francisco, CA 94114

Dear Property Owner:

In accordance with your request for a report of physical inspection of the property located at 349-351 Church Street, the following report is hereby submitted.

Under the provisions of the law, it is necessary that you correct all violations listed in this report within six (6) months of the date of this letter. Your prompt attention to this will be appreciated.

Please follow the instructions outlined on the last page of this report.


If further information or assistance is required regarding any items cited in the Building, Electrical or Plumbing portions of this report, please contact the appropriate inspector listed on that portion of the report. You must obtain separate Building, Electrical and Plumbing permits before starting any work.

Very truly yours,
Tom C. Hui, S.E.,CBO.
Acting Director
By: Patrick O'Riordan
Chief Building Inspector
Building Inspection Division

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Building Inspection Division
1660 Mission Street - San Francisco CA 94103
Office (415) 558-6570 - FAX (415) 558-6474
Website: www.sfdci.org

City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom C. Hui, S.E.,CBO. Acting Director

Date of Report: May 20, 2013

Date of Inspection: 3/14/13

Report of Condition at: 349-351 Church Street

Physical Inspection: CC- 7248

Owner of Record: Daniel Rampton et al

Block: 3557 Lot: 042

Mailing Address: 349-351 Church Street
San Francisco, CA 94114

Description of Property

The premises contain a story 3, with wood framed, Type V building without basement. There is an arrangement for 2 dwelling units R-3 occupancy on 2 floors. The ground level (1st floor) is used as private garage U Occupancy with storage room at the rear.

The original construction date of this building is unknown, according to the report of residential building record. There are no other outstanding Building, Electrical and Plumbing violations notices issued against this building, according to our Complaints Tracking System. The dimensions of this lot are 25 ft. x 125 ft. and is zoned RM-2.

Building and Housing Inspection Report

The San Francisco Building, Housing and Mechanical Code violations contained herein are those that were observed at the time of inspection. If other, or similar, concealed violations become evident as corrective work progresses, they also shall be corrected in accordance with the San Francisco Building, Housing and Mechanical Code.

General Building:

1. The existing fire resistive separation for the garage/ storage/utility/etc. level is defective because the gypsum ceilings and/or walls exhibit: holes, untreated joints, unsealed penetrations, missing sections, etc. SFBC Sec 406.1.4, Chap 7 & 25; SFHC Sec 102, 603 & 1001(m)

2. The storage room exhibits exposed facing materials on the thermal insulation this is a fire hazard. SFBC Sec 719.3; SFHC Sec. 1001(d)

Building Inspection Division
1660 Mission Street - San Francisco CA 94103
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Report of Condition at Premises:
349-351 Church Street

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3. No record of approved building permit was found for the rear stairs and decks. If you have documentation disproving this, please provide this office with all relevant information. SFBC section 101,106 and 108; SFHC section 301

If documentation cannot be provided for item #3 and the owner chooses to retain the existing use or a similar arrangement (or restore to the last approved use) it will be necessary to file acceptable plans/drawings, along with your building permit application. SFBC Sec. 106 et seq. & Chapter 34.

4. Provide approved handrail for rear stairs. SFBC sec 1012 et seq & 3401.2-3403; SFHC sec 1001(d).

5. Repair the areas of the deck and stairs that exhibit dry-rot . SFBC Sec. 102 & 3401.2; SFHC Sec.1001(L)

6. Replace any wood that is not approved for supporting members of deck and stairs. SFB sec.2304.11.5

351 Lower:

No visible building code violation observed at time of this inspection.

349 Upper:

7. No record of approved building permit was found for the improvements to the attic including stairs, windows, skylights, partitions, finished walls, and removal or moving of collar ties etc. If you have documentation disproving this, please provide this office with all relevant information. SFBC section 101,106 and 108; SFHC section 301

If documentation cannot be provided for item #7 and the owner chooses to retain the existing use or a similar arrangement (or restore to the last approved use) it will be necessary to file acceptable plans/drawings, along with your building permit application. SFBC Sec. 106 et seq. & Chapter 34.

If you require any further information regarding this portion of the report, please call building inspector John Cuneo at 415-575-6867 (desk) or 415-558-6570(main) between 7:30AM to 4:00 PM, or by email john.cuneo@sfgov.org

Report of Condition at Premises:
349-351 Church Street

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Electrical Inspection Report

The San Francisco Electrical Code violations contained herein are those that were observed at the time of inspection. If other, or similar, concealed violations become evident as corrective work progresses, they also shall be corrected in accordance with the San Francisco Electrical Code.

Common Areas and Systems:

1. The electrical installation in the common areas was found to be in compliance with the SFEC at the time of this inspection

Unit #349 (upper):

2. Provide documentation of electrical permit approval for the work under current active permits.

Unit #351: (lower)

3. The electrical installation in Unit #351 was found to be in compliance with the SFEC at the time of this inspection

Based on the above report, the violations contained herein shall be corrected by a California State licensed electrical contractor, subject to electrical permit and inspection requirements. **NO ELECTRICAL WORK SHALL BE PERFORMED UNTIL A VALID ELECTRICAL PERMIT IS ISSUED.**

If you need additional information regarding this report, please telephone Inspector Collin Wing at 415-558-6024. Office hours: 7:30 to 8:30 AM and 3:15 to 4:00 PM.

Report of Condition at Premises:
349-351 Church Street

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Plumbing Inspection Report

The San Francisco Plumbing and Mechanical Code violations contained herein are those that were observed at the time of inspection. If other, or similar, concealed violations become evident as corrective work progresses, they also shall be corrected in accordance with the San Francisco Plumbing and Mechanical Code.

Common Area:

1. All hose bibs require vacuum breakers. CPC 603.4.7

2. Furnace in garage requires flue to have proper clearances from combustibles. CMC Table 5-3

3. Gas line in garage requires proper support/strapping. CPC 1211.2.6

4. Gas line in the breezeway requires proper support/strapping. CPC 1211.2.6

5. Light well north side DWV shows significant amounts of corrosion. CPC 101.5.5

Unit # 349 CHURCH ST:

6. Hose bib requires vacuum breakers. CPC 603.4.7

Unit # 351 CHURCH ST:

No violations observed at time of inspections.

If you require any further information or assistance regarding this portion of the report, please call Inspector John Watson 558-6573 between 7:30 - 8:30 AM and 3:00 - 4:00 PM.

BONZA
ENGINEERING INC.

COMPLY W/INSPECTION RPT CC-7248
349-351 CHURCH STREET
SAN FRANCISCO, CA

SCAN OF PHYSICAL INSPECTION RPT

1-14-14

PERMIT SUBMITTAL
REVISION

JOB NO: 0069

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