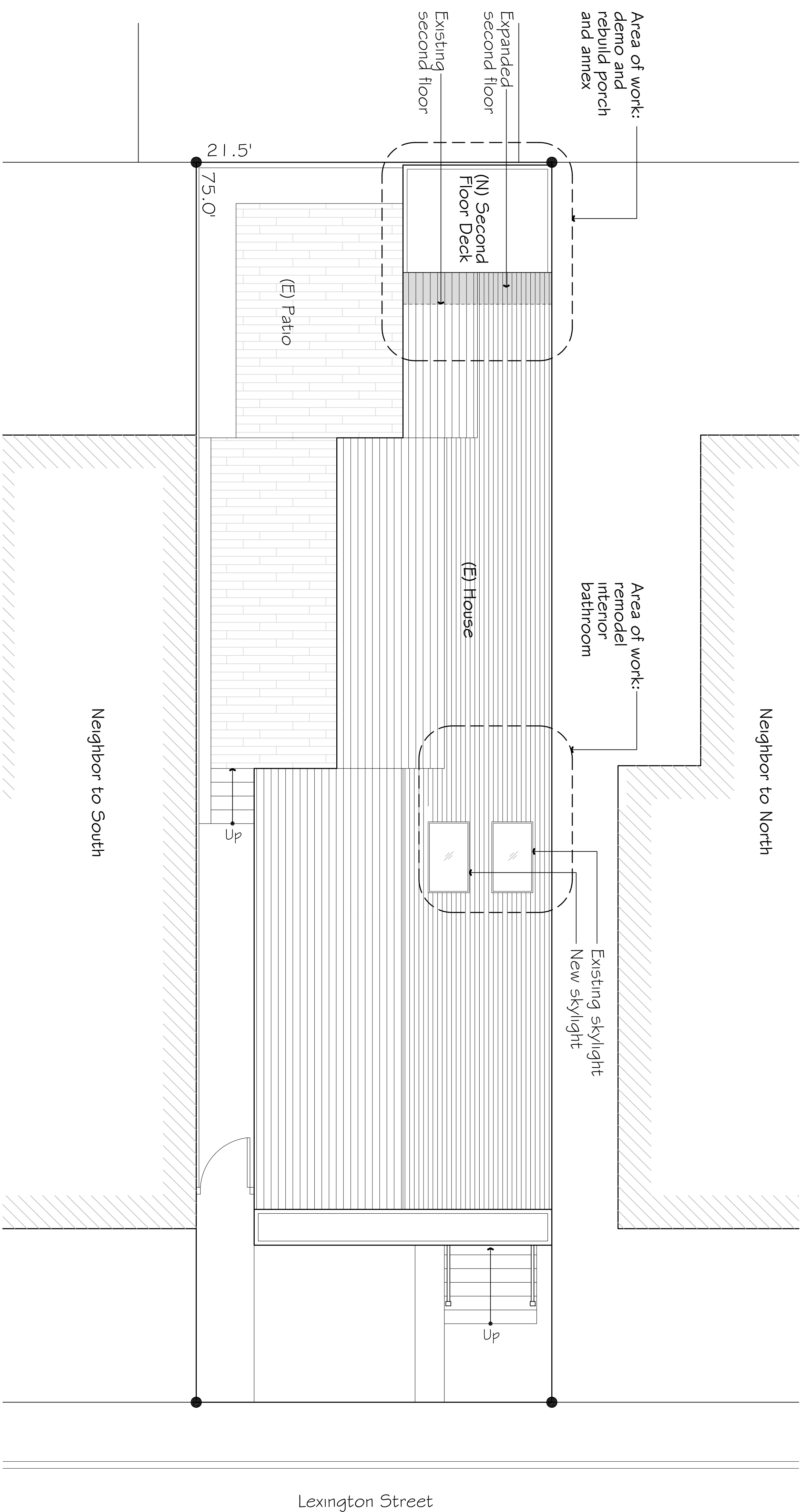


1 Location Map

Scale: 1/16" = 1'-0"



1 Site Plan

Scale: 1/4" = 1'-0"



**Project Description**

Rebuild Annex on Main floor.  
Remodel bathroom and master bedroom; add master bathroom on second floor.

**Directory**

**Owner:**

Mary Henry & Richard Hood  
376 Lexington Street  
San Francisco, CA 94110  
mobile: 415.810.0912  
415.846.9375  
email: maryhenry@gmail.com  
richard@goodhood.com

**Architect:**

Ernie Selander  
2095 Jerrold Ave. Suite 319  
San Francisco, CA 94124  
mobile: 415.385.4339  
email: ernie@selanderarchitects.net

**Building Codes**

2013 CBC and all San Francisco Building, Mechanical, Plumbing, Electrical and Fire Code and amendments.

**Building Type**

Single Family Residential R-3  
Type V Construction

**Sheet Index**

- A1 Site Plan, Location Map and Project info.
- A2 Schedules and Project Notes
- A3 Existing & Proposed First Floor Plans
- A4 Existing & Proposed Second Floor Plans
- A5 Existing & Proposed North Elevation
- A6 Existing & Proposed Building Elevations
- A7 Existing & Proposed Building Section
- A8 Enlarged Bathroom Plans and Interior Elevations

## Notes

1. These special notes are intended to clarify and specify the work of the various trades, vendors, and subcontractors. They are not intended to be exhaustive specification, but rather notes of concern for this project:
  2. All trades shall conform to, but not necessarily be limited to, all of the following requirements:
    - A. Verify all conditions at the site affecting the work. Work to field dimensions as required. Coordinate with the work of others, verifying that their work is sufficiently and appropriately complete for the progress of the work.
    - B. Fabricate and install all work according to the best practices of the trade, per details and dimensions shown, with sharp lines, angles, and smooth surfaces, all true, plumb and level. Joints shall be flush and tight.
    - C. Coordinate all work with interfacing and adjoining work to ensure the best possible durability of the work, materials, and finishes.
    - D. Use only workers skilled and familiar with the work which they are to perform.
    - E. Follow all manufacturer's instructions and recommendations in the installation and application of materials.
  3. No one drawing or specification shall "govern." The Contractor shall correlate work between all the various drawings and specifications. It is the explicit and specific responsibility of the Contractor to examine the Contract Documents in their entirety, bring all discrepancies therein to the attention of the Architect, and await resolution before proceeding with any work affected by such discrepancies.

## Electrical Legend

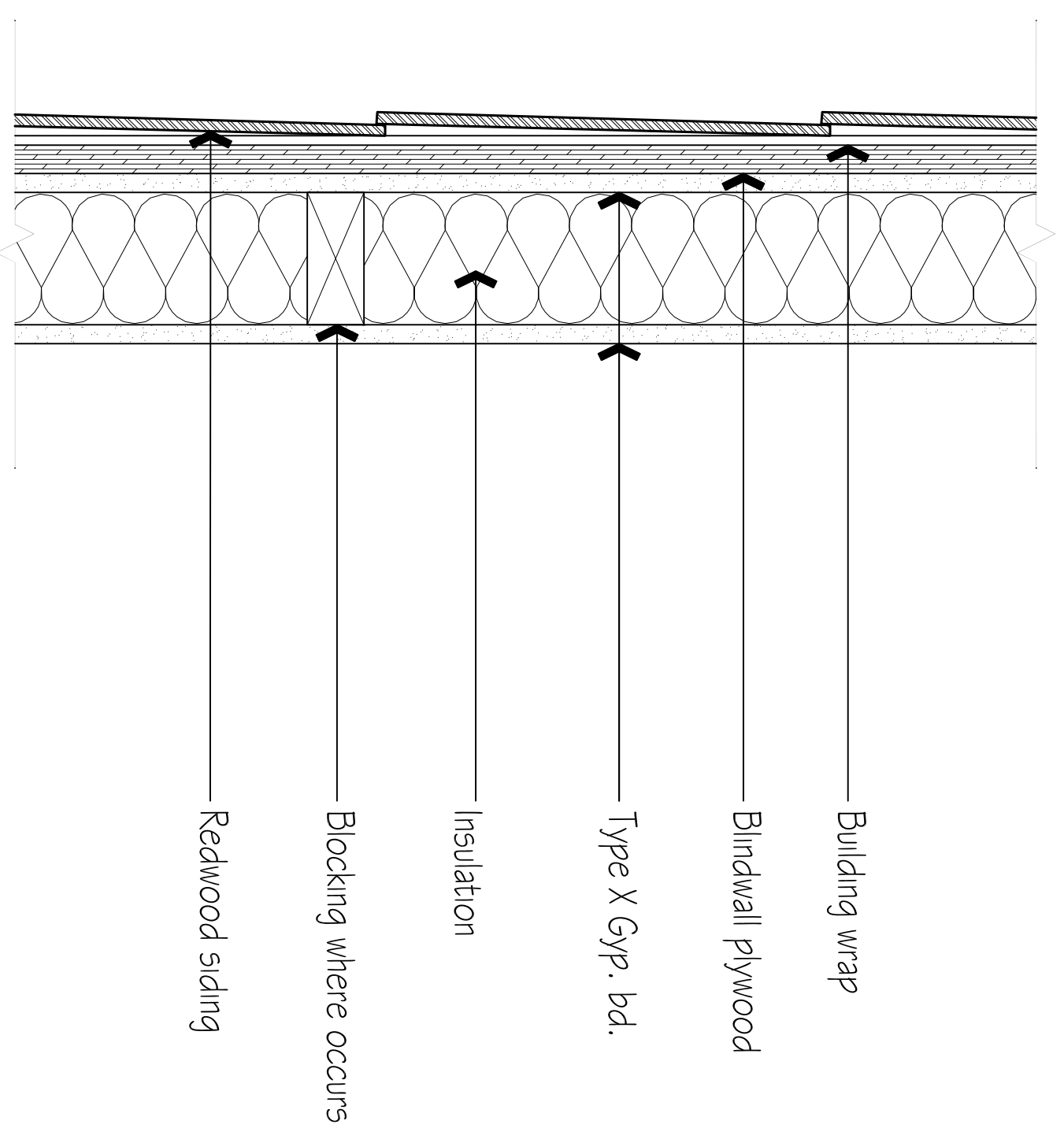
- Fan
- Duplex Outlet
- Dedicated Outlet
- Ground Fault Interruptor Outlet
- Recessed Light Fixture
- Ceiling Mounted Light Fixture
- Wall Mounted Light Fixture
- Switch
- Carbon Monoxide Alarm
- Smoke Detector

## Electrical Notes

1. All bathrooms will use occupancy sensors per CEC 150(d) 10.

## General Notes

1. Max. U-factor for all windows shall be 0.40
2. Provide R-13 insulation for all (N) batting U.N.O.



## Finish Schedule

Type	Floor	Base	Wall	Clg.	Notes
Amex	2	4	0	0	
Master Bedroom	6	6	9	9	MATCH TC wood trim @ walls as req'd
Master Bedroom	1	3&4	0	0	New paint throughout
Coast	1	4	0	0	
WD Closet	1	4	0	0	
Hall	1&2	3&4	0	0	MATCH TC wood trim @ walls as req'd
Bathroom	6	6	9	9	New paint throughout

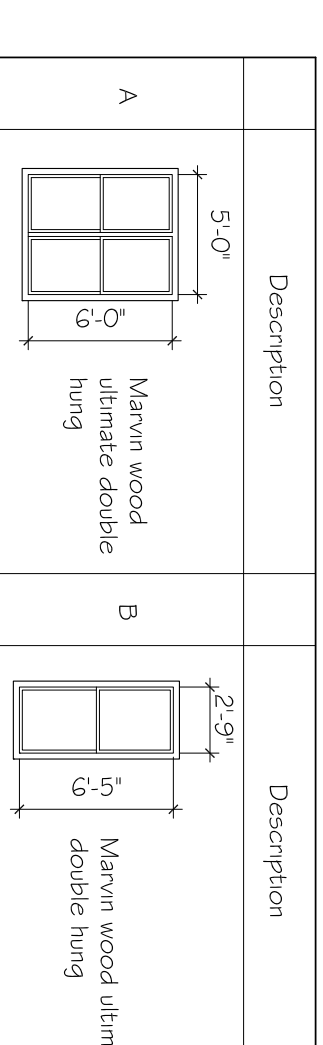
## Finish Types

#	Finish	Notes
1	Existing Hardwood	Paint & refinish as req'd.
2	New Hardwood	Match existing
3	Existing Painted Wood	Paint & repair
4	New Painted Wood	Semi-gloss finish
5	New Carpet	Not used
6	New Marble Tile	Allow \$5/sq ft.
7	New Ceramic Tile	Not used
0	Painted 50# gyp. blk. or (E)	Eggshell finish
9	Painted 50# gyp. blk. or (E)	Semi-gloss finish

## Window Schedule

#	Type	Catalogue Number	Notes
1	A	WDJ1162034	Match exterior elevation
2	B	WDJ12834*	Match exterior elevation
3	B	WDJ12834*	Match exterior elevation *Meets national energy codes for fire evaluation

## Window Types



## Door Schedule

#	Type	Door Size	Hardware	Notes
01	A	2'-4" x 6'-0"		Exterior Solid Core Door w/ Frosted Glass
02	A	2'-4" x 6'-0"		Exterior Solid Core Door w/ Frosted Glass
03	B	2'-4" x 6'-0"		Interior Solid Core Door
04	B	2'-4" x 6'-0"		Interior Solid Core Door
05	B	2'-6" x 6'-0"		Interior Solid Core Door
06	C	4'-0" x 6'-0"		(2) Interior Blind Door
07	B	2'-4" x 6'-0"		Interior Solid Core Door

## Door Types

Description	Description
A (N) Exterior solid core door w/ frosted glass panel	B (N) Interior solid core door
C (N) 2-Interior solid core doors	

Issue: \_\_\_\_\_ Date: \_\_\_\_\_

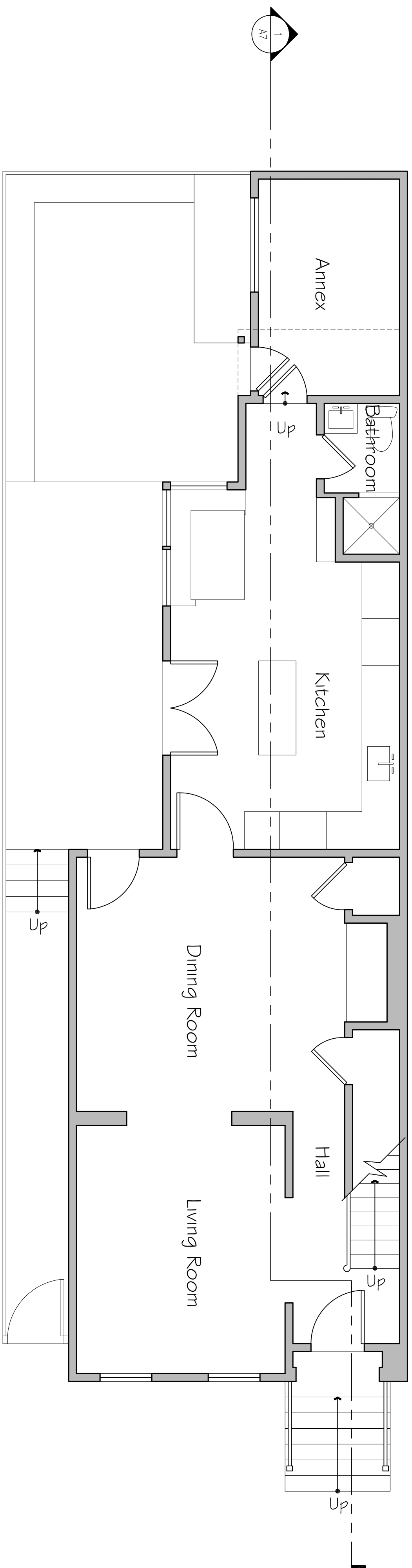
Site Permit 5/19/2014

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 San Francisco, CA 94110  
 Parcel # 36091060

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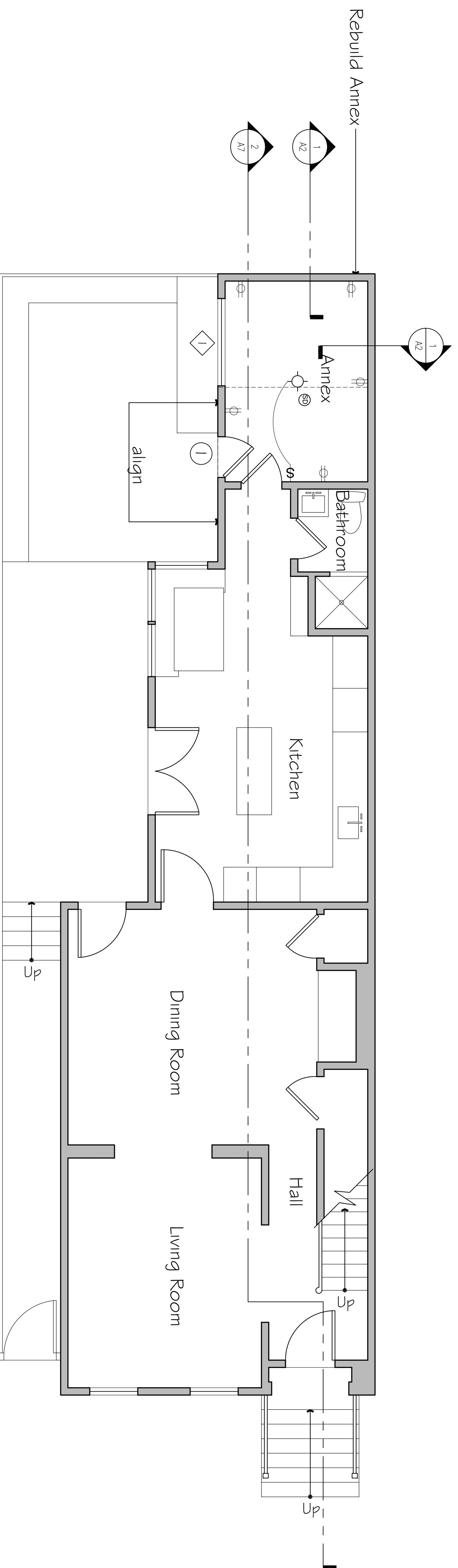
2095 Jerrold Avenue, Suite 319, SF, CA 94124  
 ernie@selanderarchitects.net 415.385.4339

A2



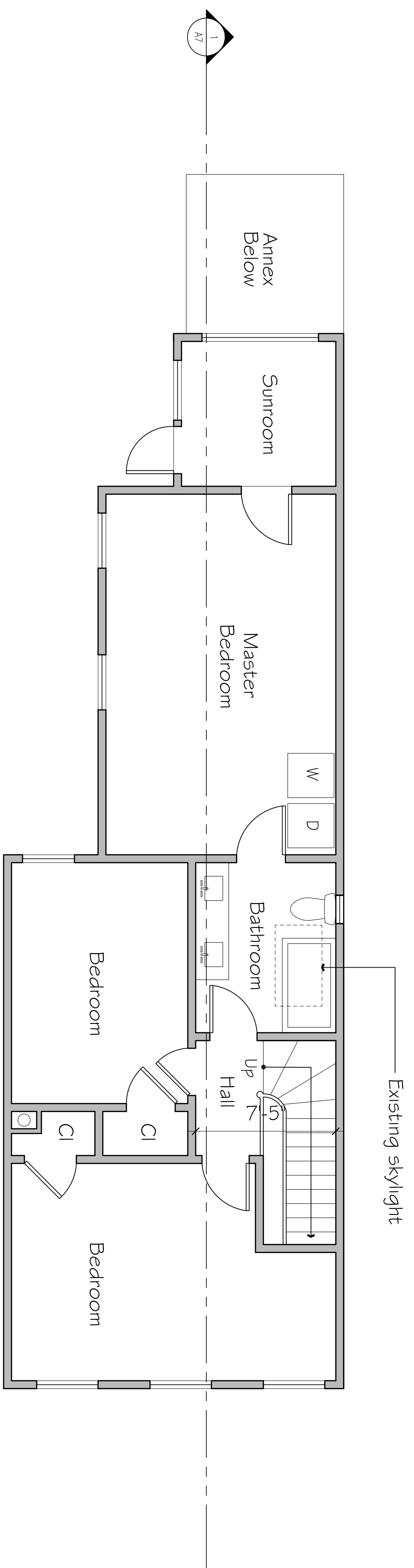
1 Existing Main Floor Plan

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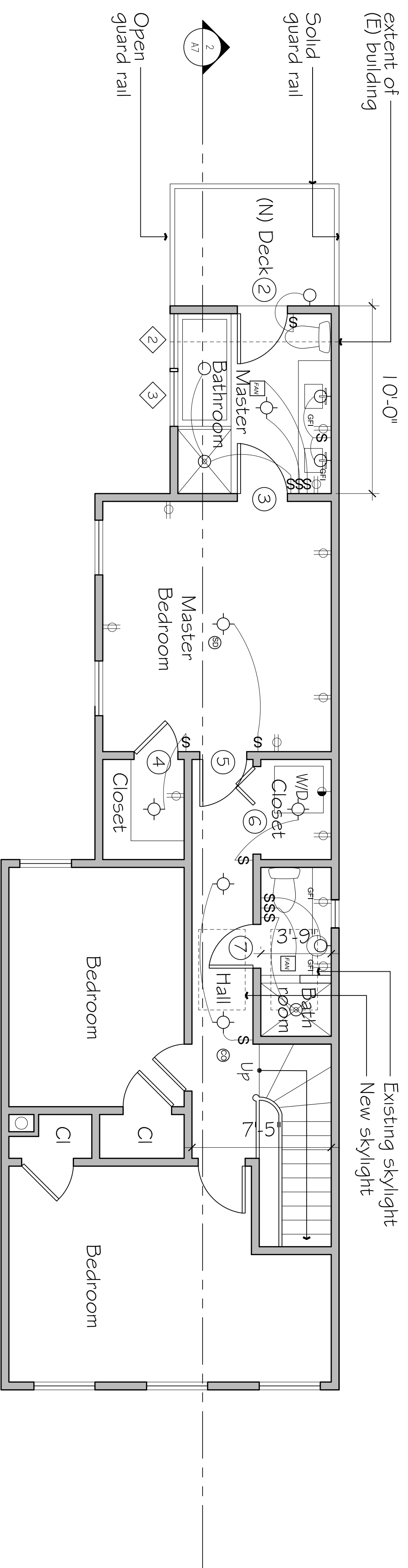
2 Proposed Main Floor Plan

Scale: 1/4" = 1'-0"



1 Existing Second Floor Plan

Scale: 1/4" = 1'-0"



2 Proposed Second Floor Plan

Scale: 1/4" = 1'-0"



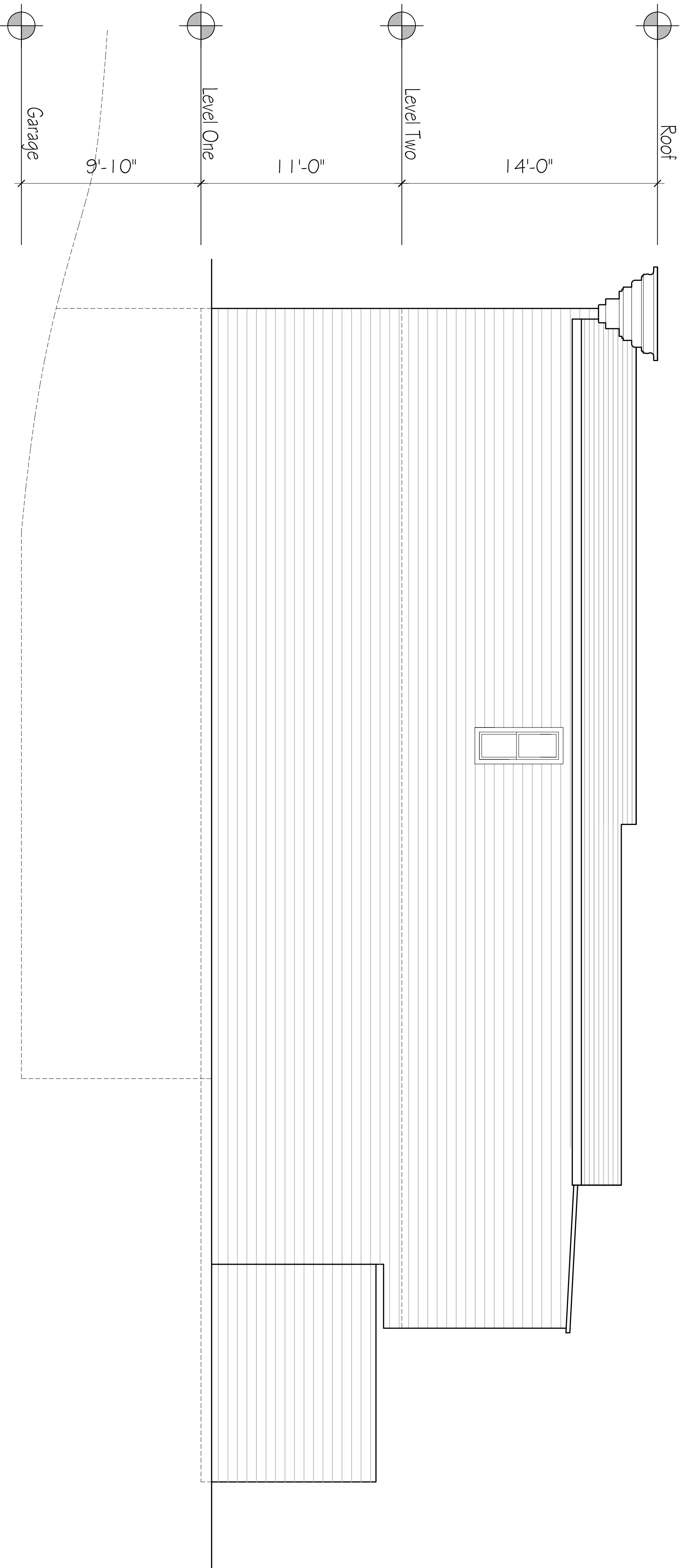
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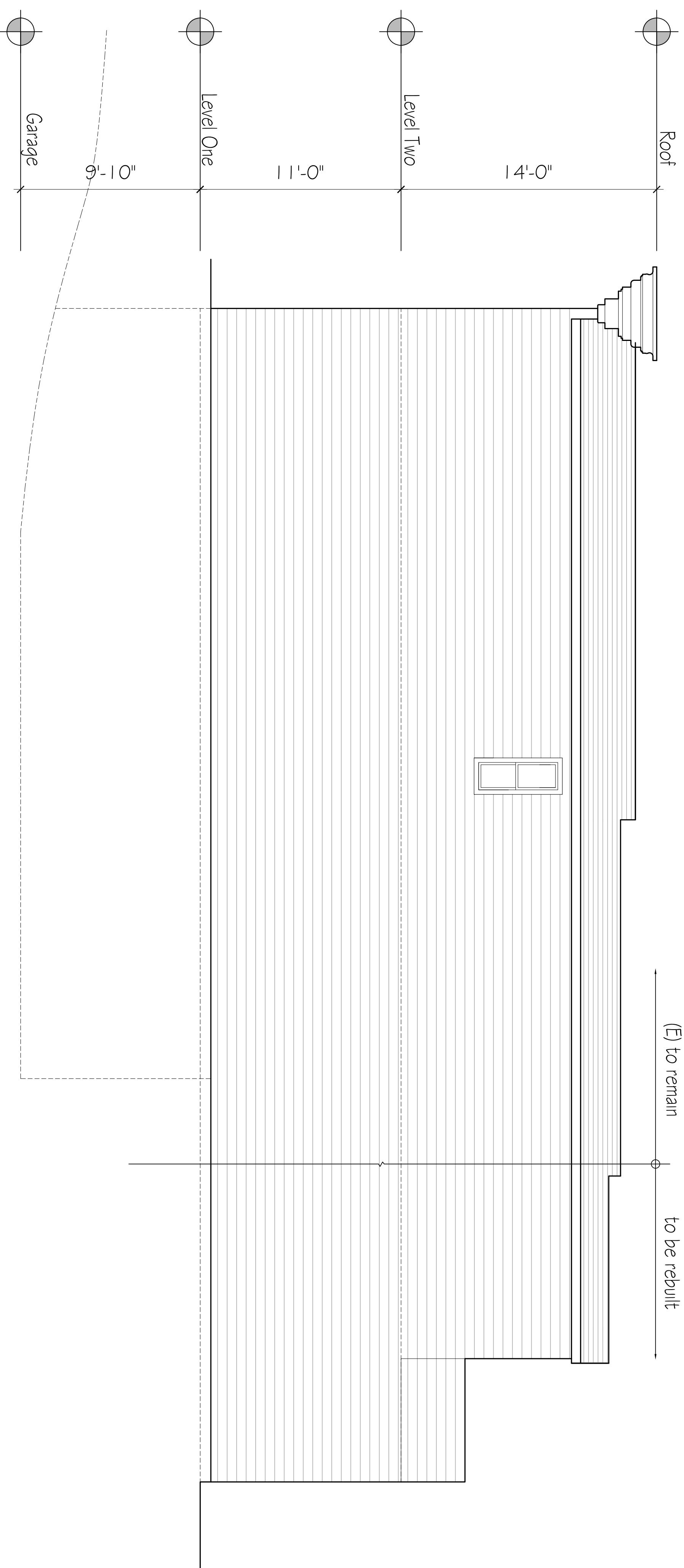
San Francisco, CA 94110  
 Parcel # 3609/060

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1 Existing North Elevation

Scale: 1/4" = 1'-0"



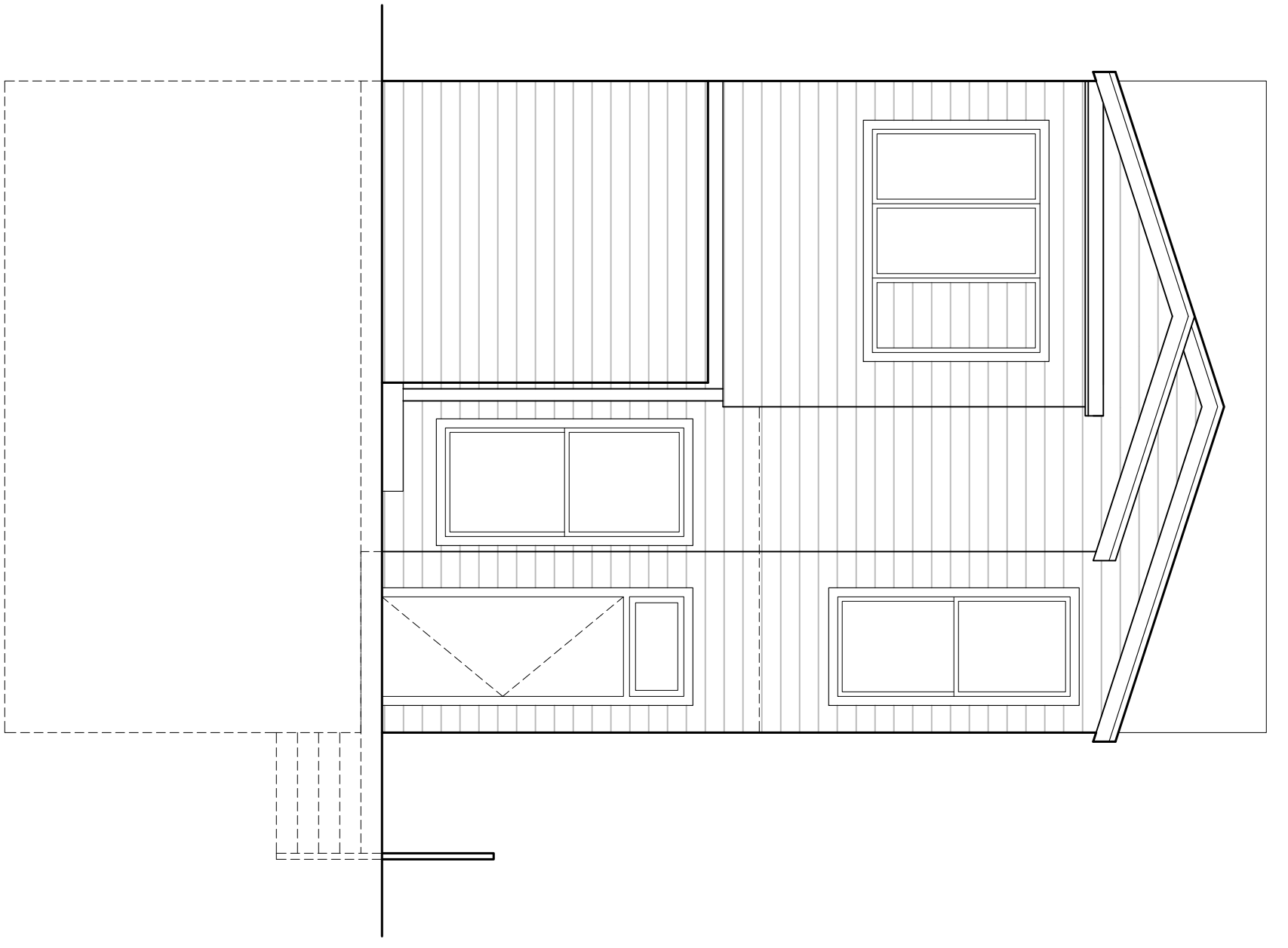
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Issue:	Date:
Site Permit	5/19/2014

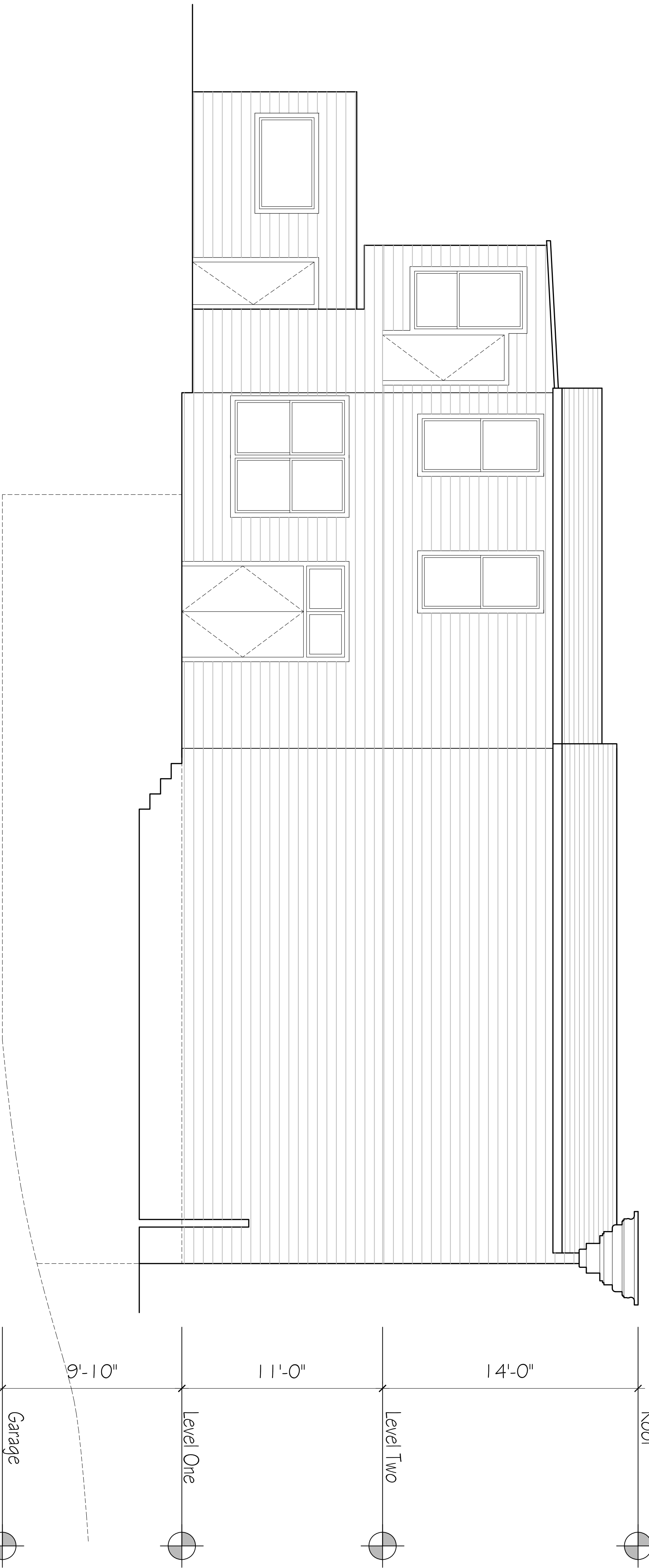
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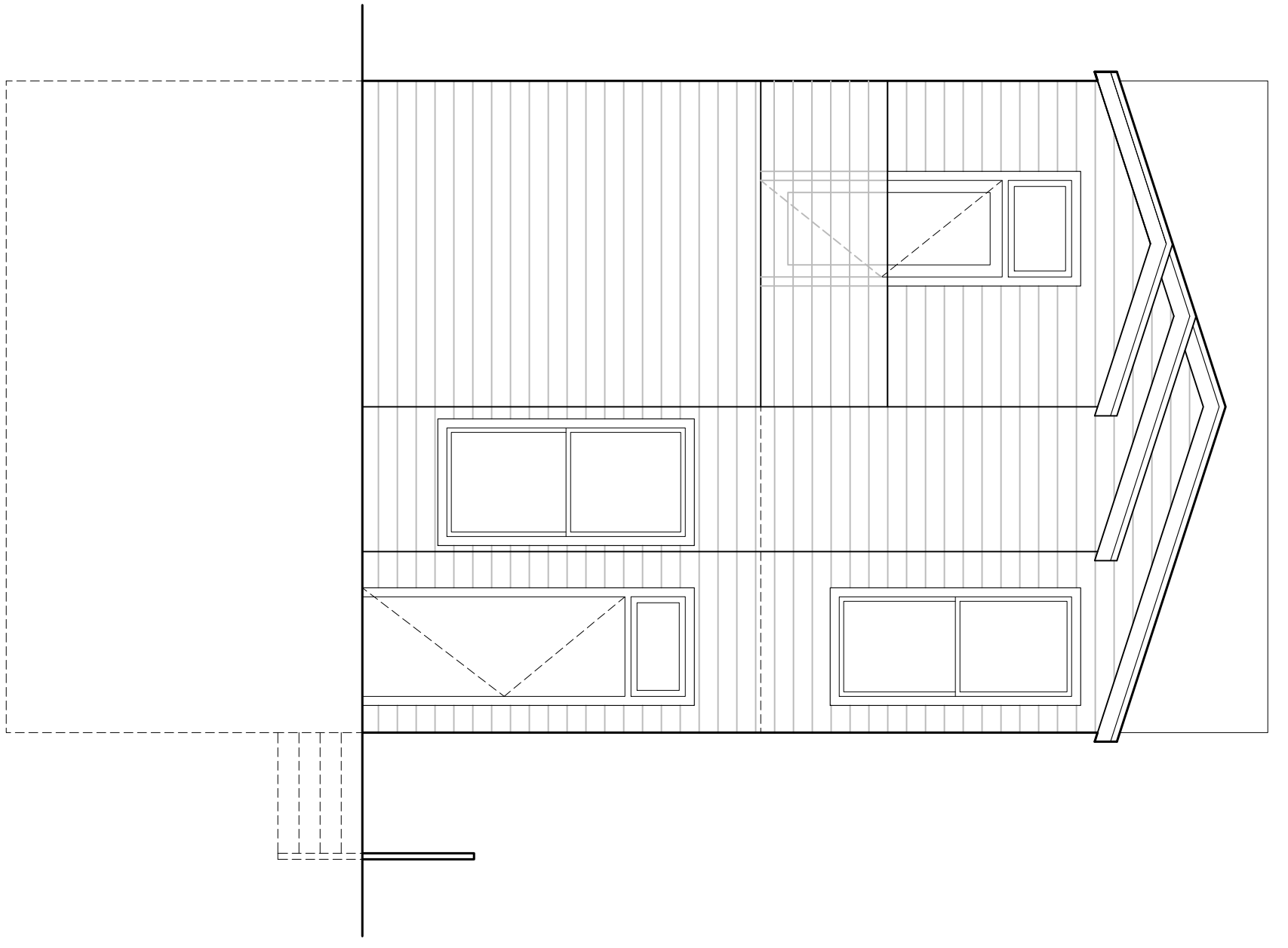
1 Existing West Elevation

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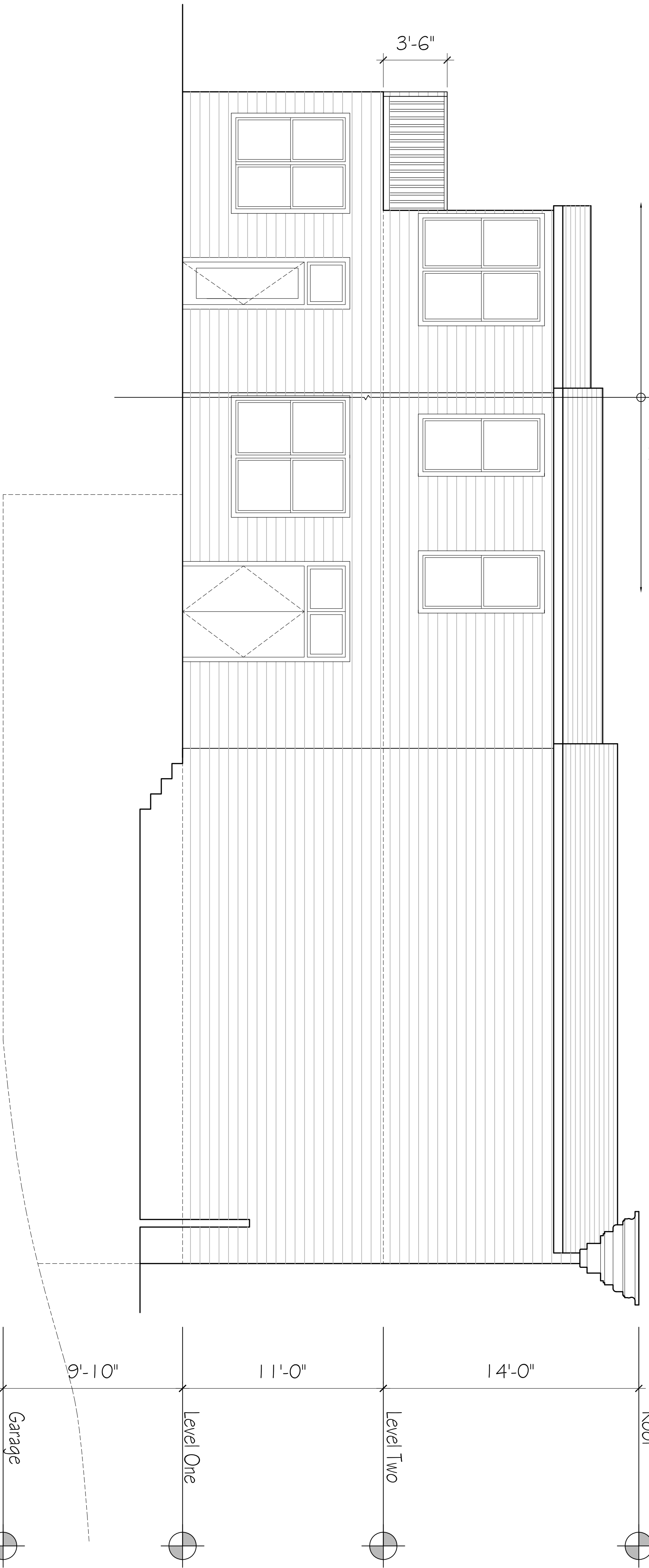
2 Existing South Elevation

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3 Proposed West Elevation

Scale: 1/4" = 1'-0"



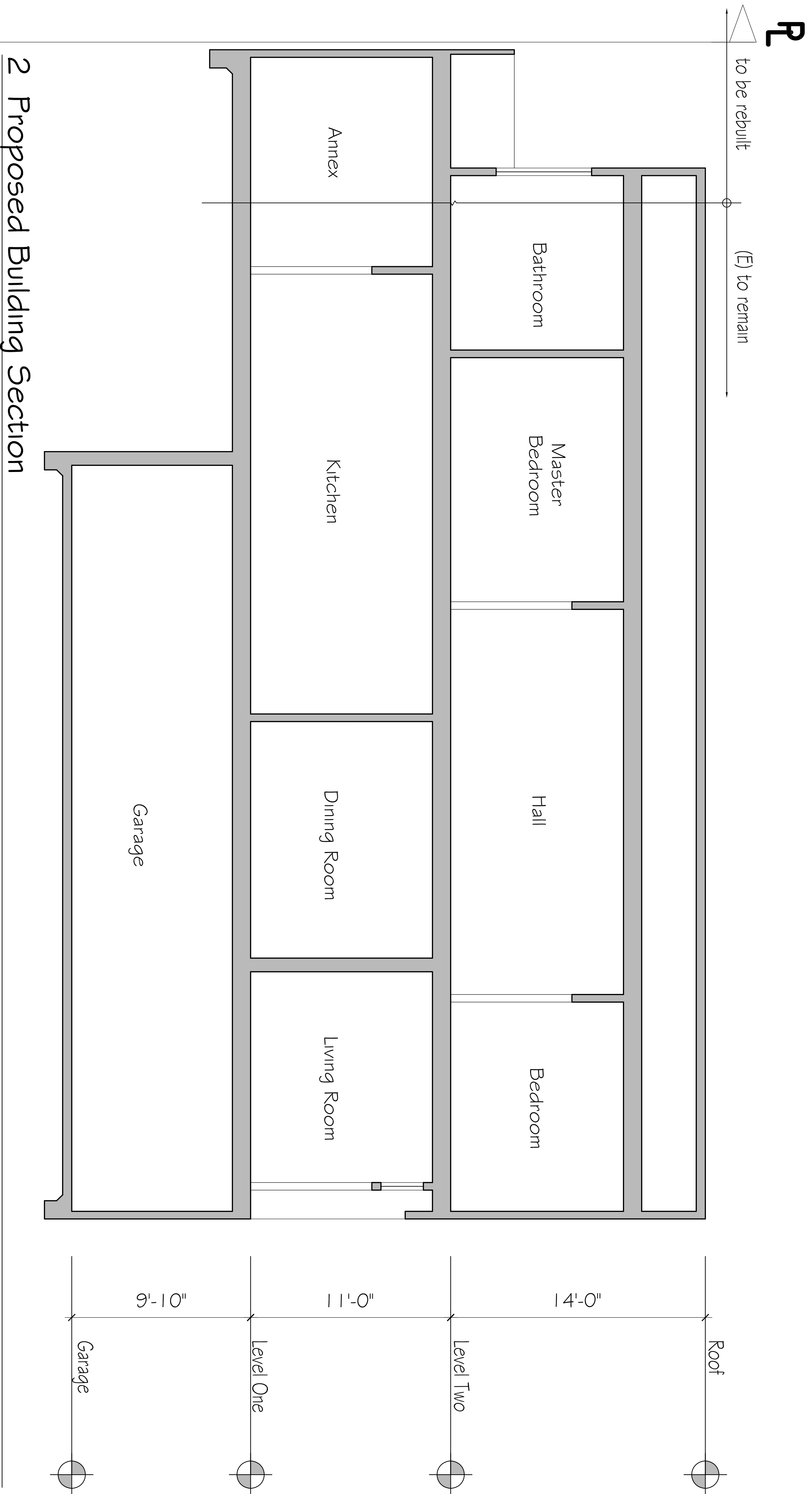
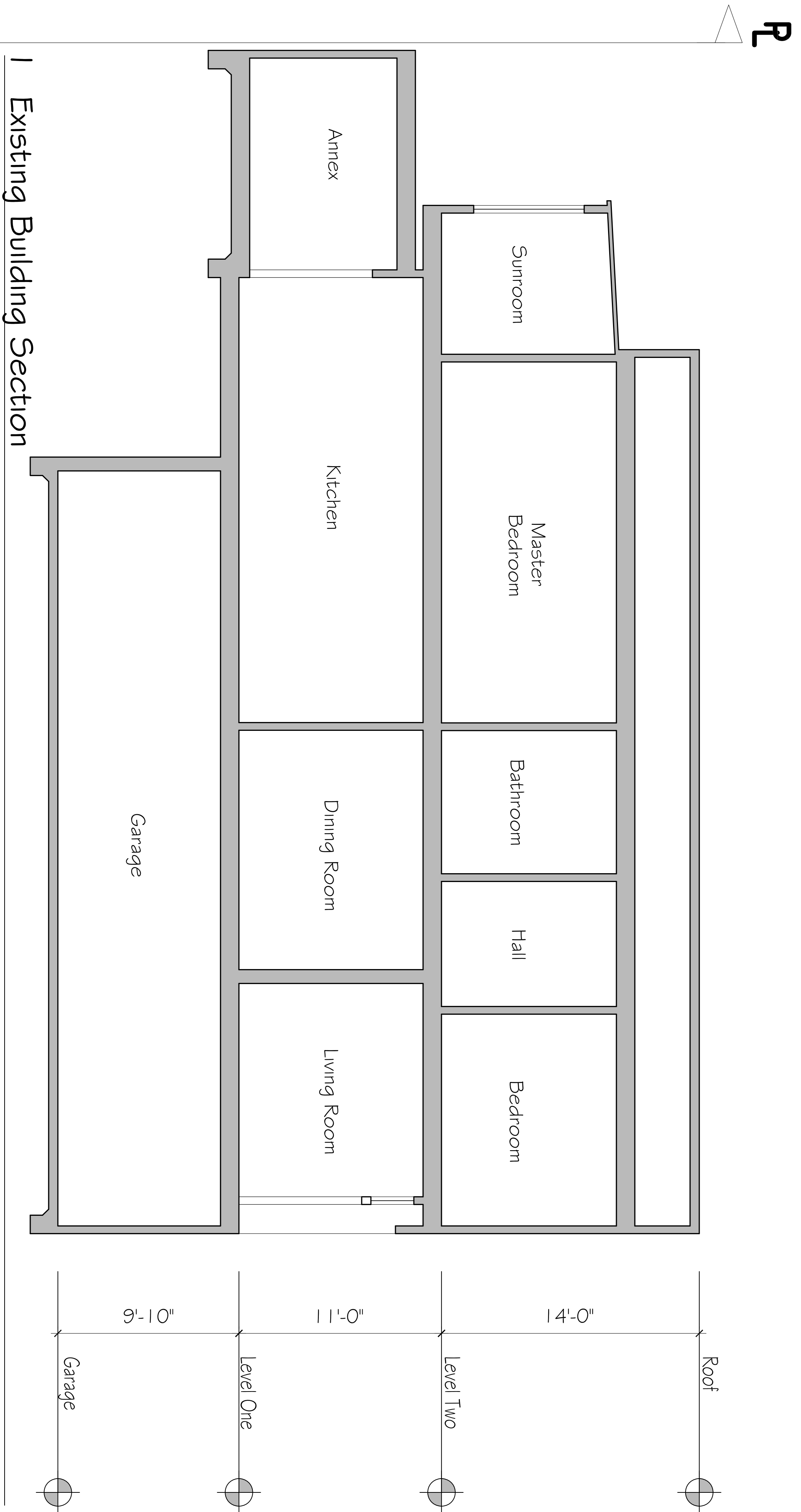
4 Proposed South Elevation

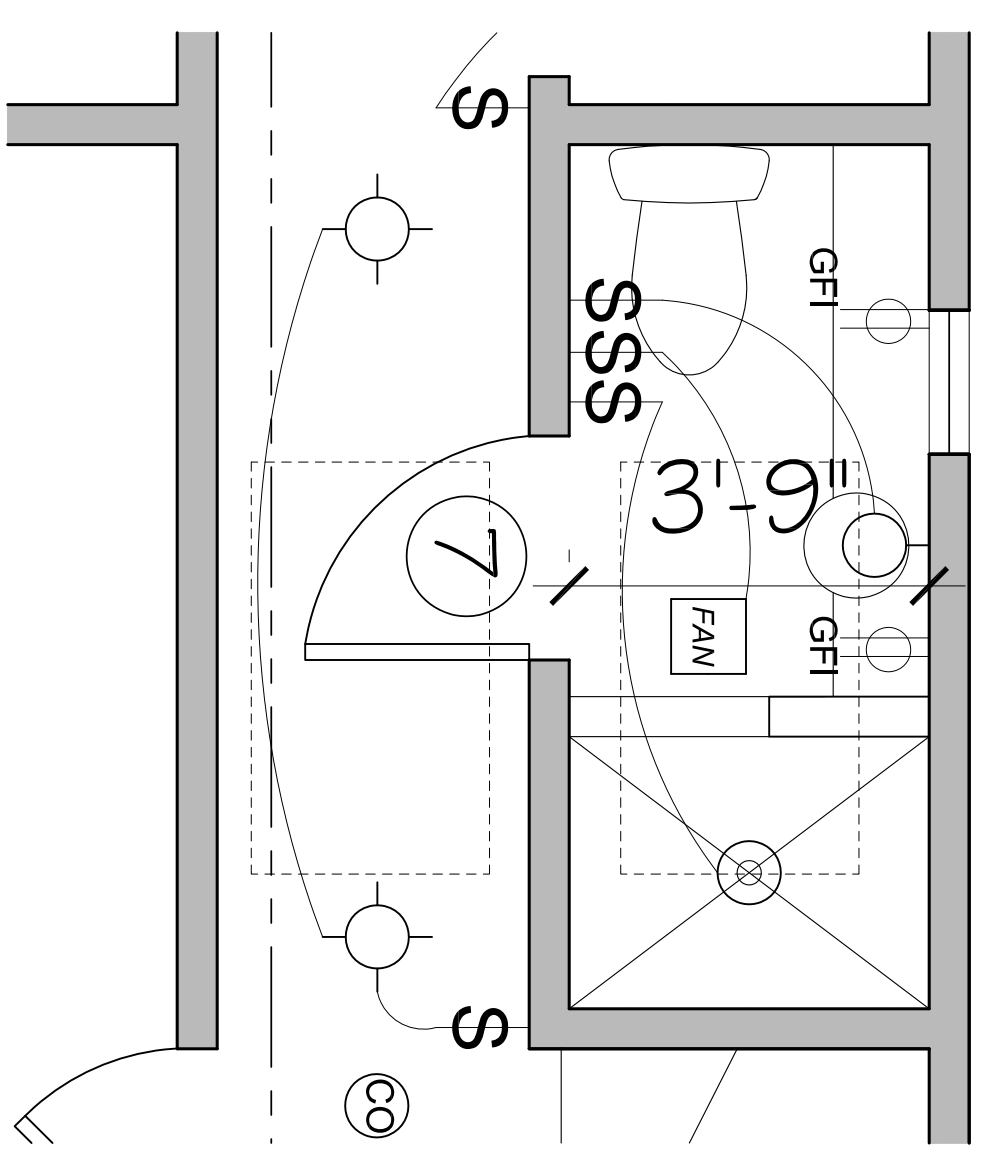
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Site Permit	5/19/2014

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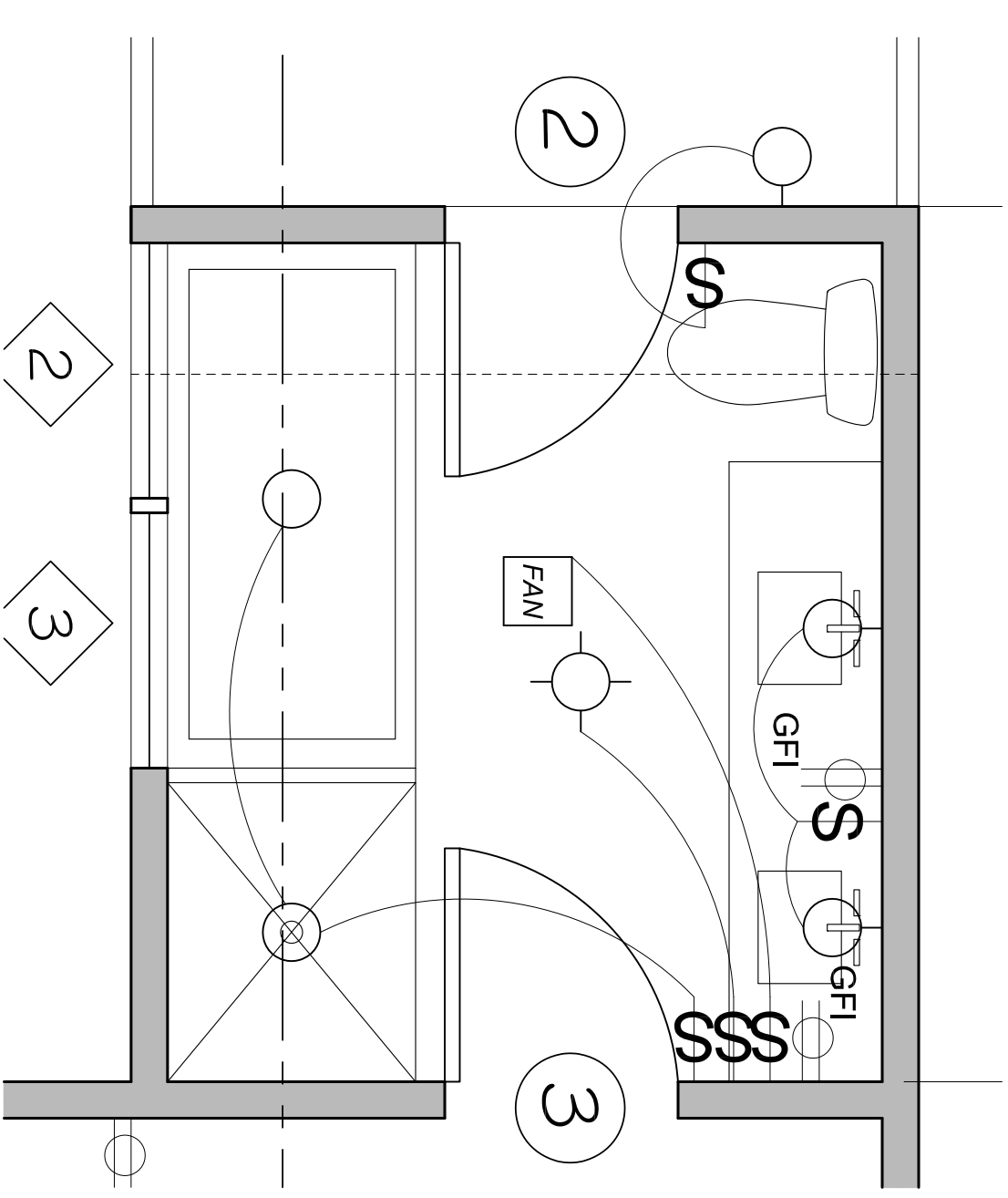
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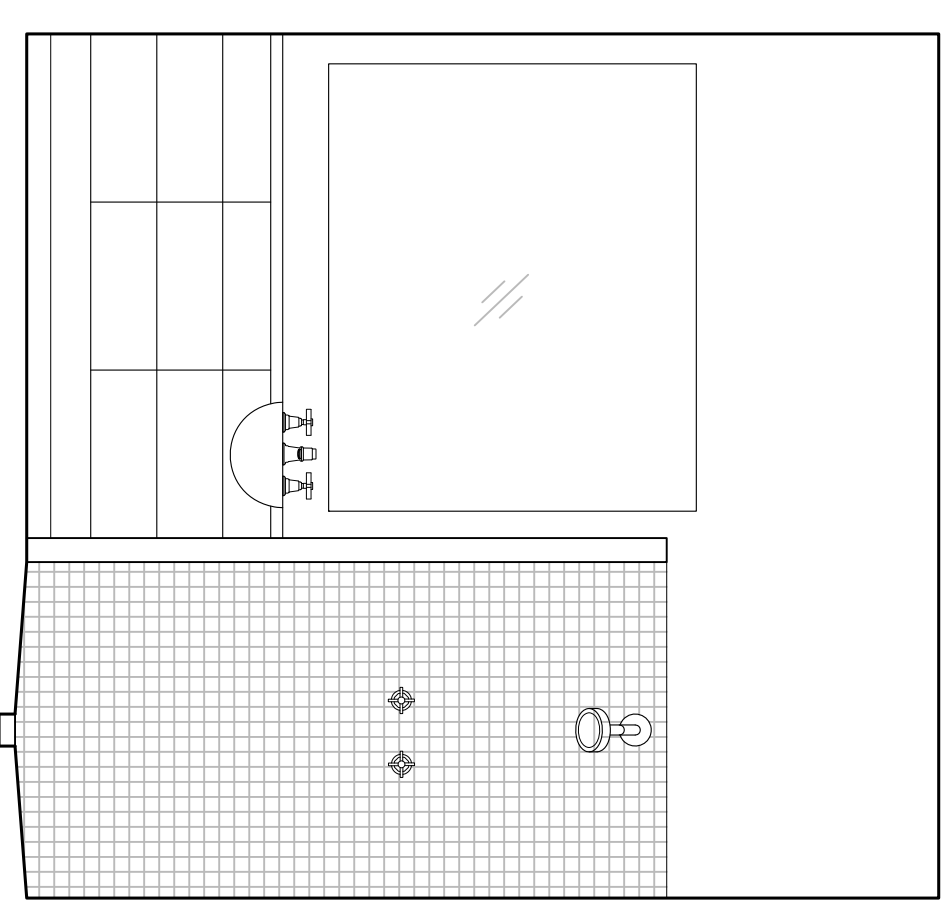
1 Enlarged Bathroom Plan

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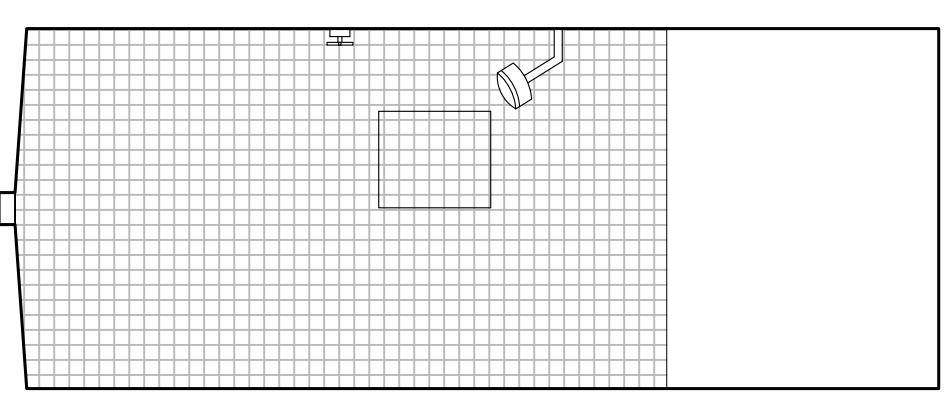


3 Enlarged Master Bathroom Plan

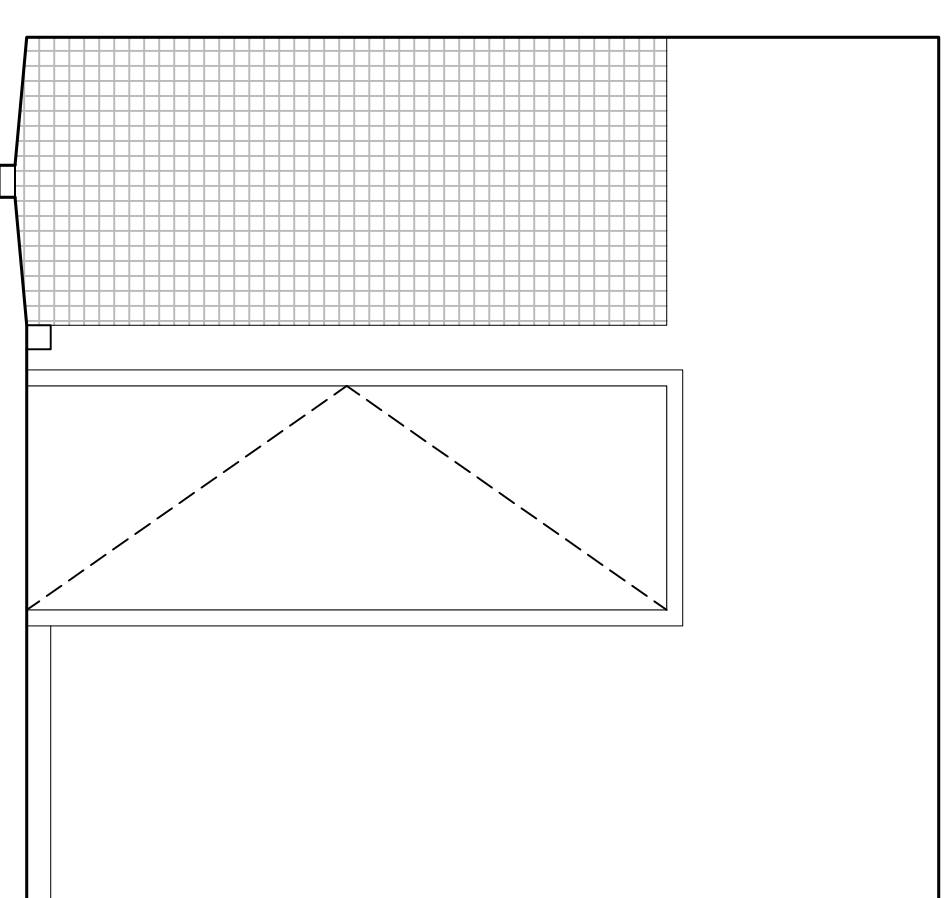
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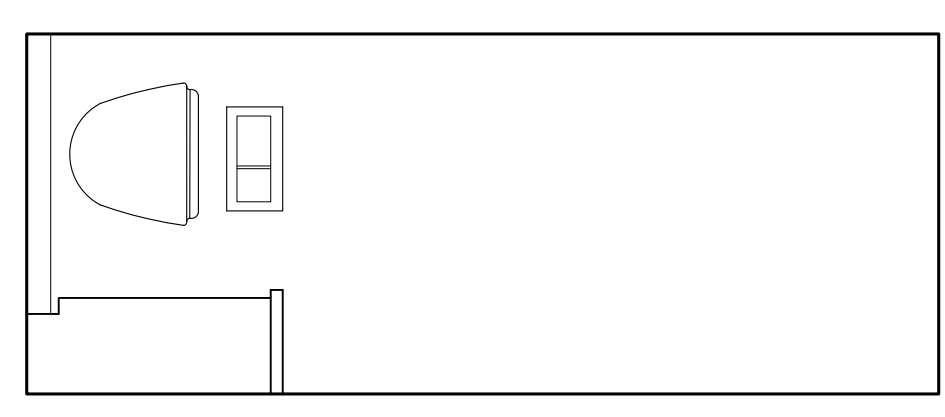
North



East



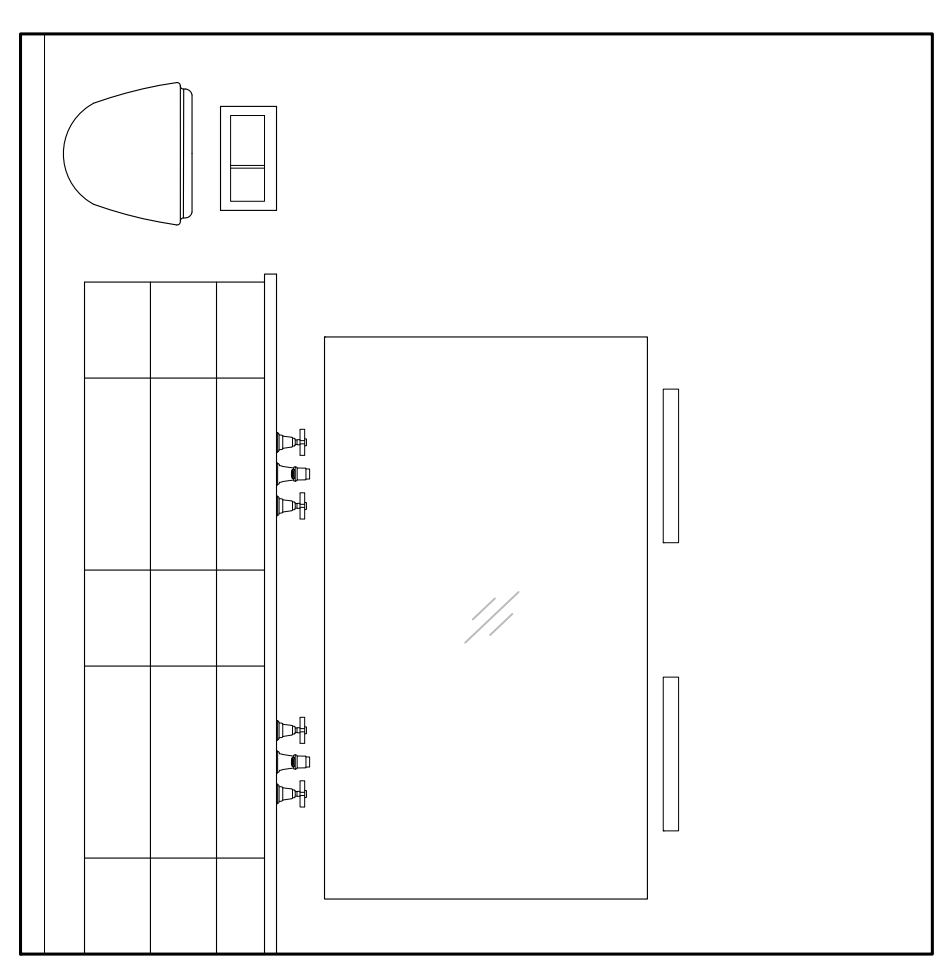
South



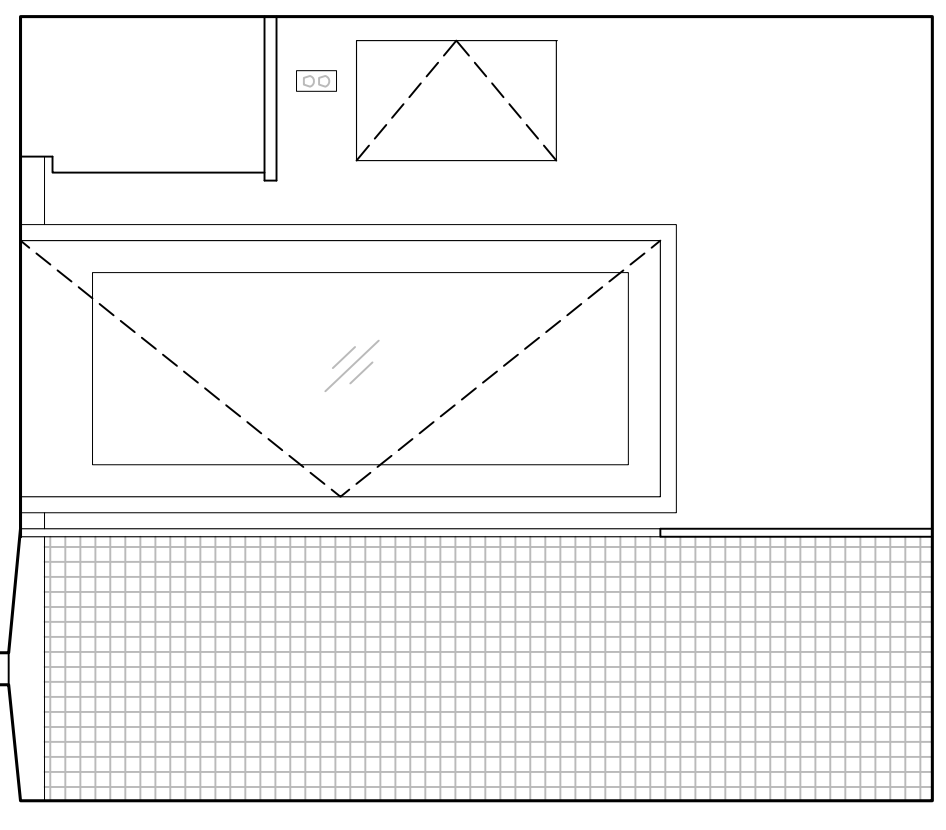
West

2 Bathroom Interior Elevations

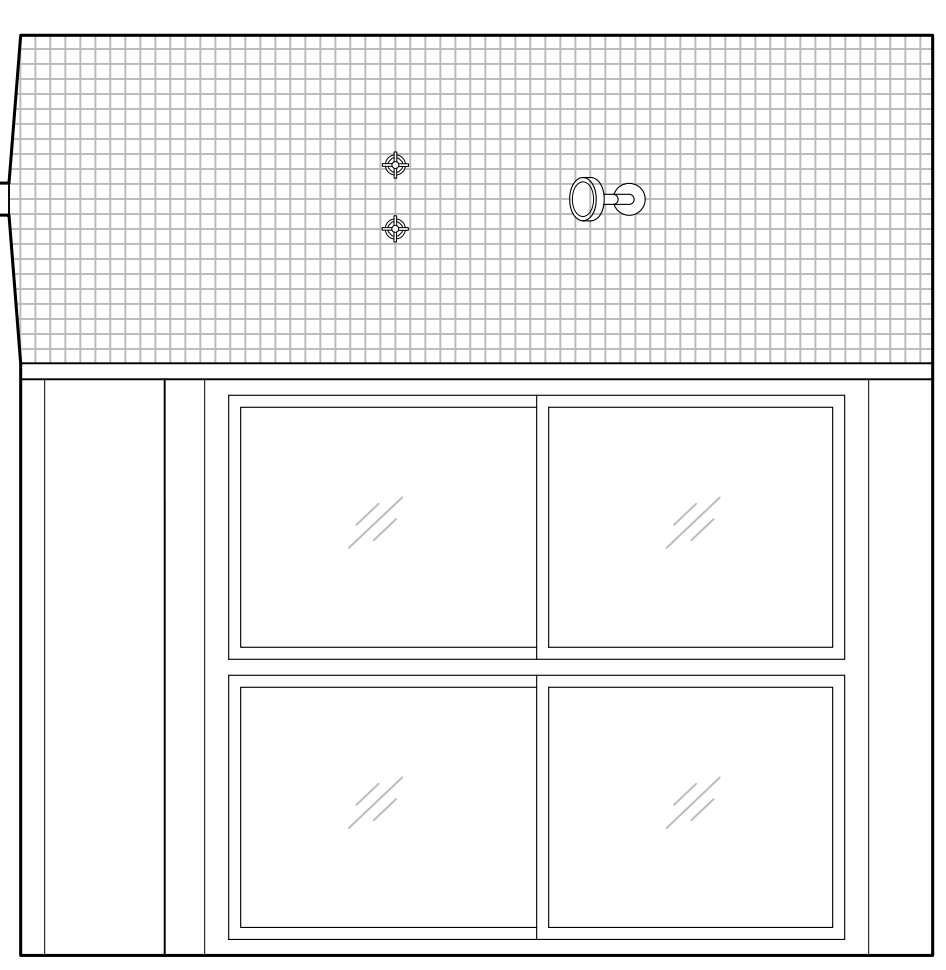
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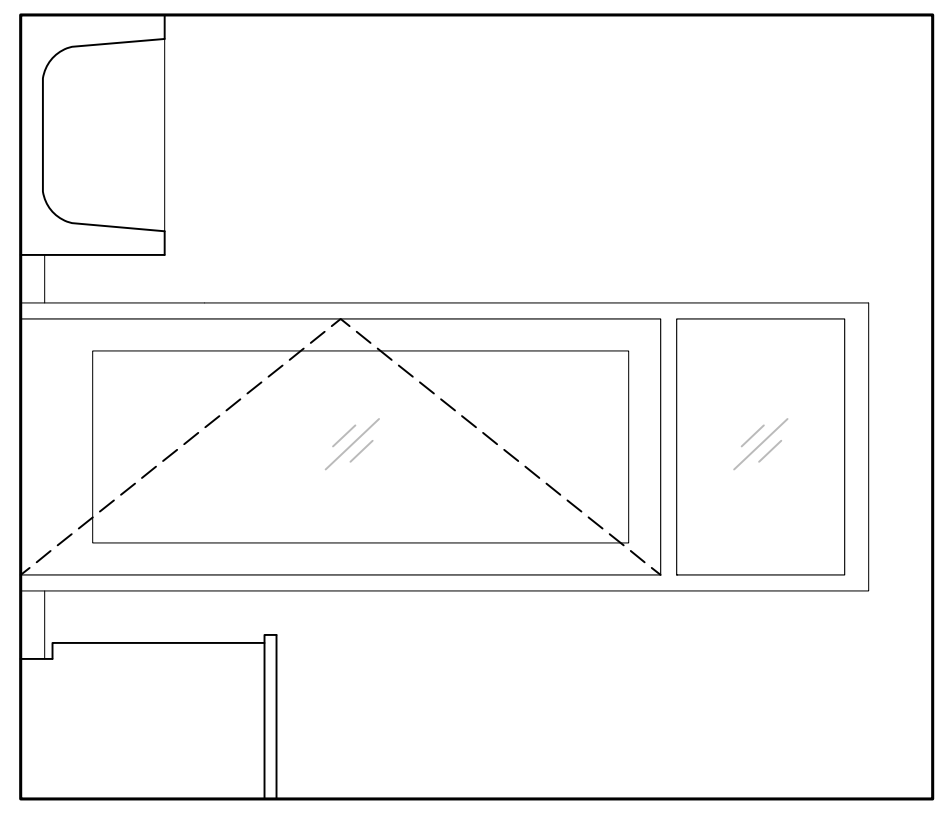
North



East



South



West

4 Master Bathroom Interior Elevations

Scale: 1/2" = 1'-0"

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