



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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**415.558.6409**

Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 22, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance (Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>235-237 Laussat St</b>	Case No.:	<b>2014.1093V</b>
Cross Street(s):	<b>Fillmore &amp; Steiner</b>	Building Permit:	<b>201309096298</b>
Block / Lot No.:	<b>0860/046</b>	Applicant/Agent:	<b>Nils Welin</b>
Zoning District(s):	<b>RH-3 / 40-X</b>	Telephone:	<b>415-672-0186</b>
Area Plan:	<b>Not applicable</b>	E-Mail:	<b>nwelin@eonventure.com</b>
PROJECT DESCRIPTION			
<p>The proposal is to construct a firewall at the rear of a four-story, two-unit dwelling. The proposed firewall measures approximately 5 feet deep by 22 feet 4 inches high. It will be located at the West property line alongside the existing spiral staircase (approved in 2011 pursuant to Variance Case No. 2011.0860V).</p> <p><b>Per Section 134 of the Planning Code</b>, a minimum rear yard depth of 15 feet is required. The proposed firewall will extend to within approximately one foot of the rear property line; therefore, the proposal requires a variance from the rear yard requirement of the Planning Code.</p>			
ADDITIONAL INFORMATION			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b> Planner: <b>Laura Ajello</b> Telephone: <b>415-575-9142</b> Mail: <a href="mailto:Laura.Ajello@sfgov.org">Laura.Ajello@sfgov.org</a></p>			
<p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2014.1093V.pdf">http://sf-planning.org/ftp/files/notice/2014.1093V.pdf</a></p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## APPEAL INFORMATION

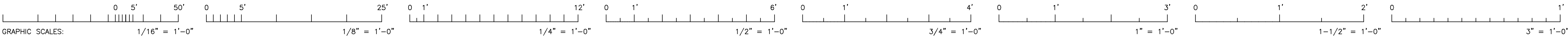
An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

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GENERAL NOTES

1. All work shall conform to requirements of the 2013 California and San Francisco Building Code and all other applicable local and state codes, ordinances and regulations.
2. The contractor shall verify all dimensions and all conditions at the site. Any omissions or conflicts in the drawings, specifications or field conditions shall be brought to the attention of the designer.
3. Dimensions shall always take precedence over scale.
4. Details marked "typical" shall apply in all similar cases unless specifically noted otherwise. Where no detail is shown, construction shall be guided by details for similar work.
5. All clarifications or required drawings shall be issued by the designer.
6. The contractor shall obtain inspection approval on all items in writing from the inspector. The contractor shall obtain and pay for all permits and licenses required by legally constituted authorities. The contractor shall obtain a certificate of occupancy and the release of liens on all material and labor at the completion of the project.
7. The contractor shall furnish a written guarantee for all work for a period of one year from date of completion as evidenced by final payment. Upon receipt of formal notice from designer, contractor shall make all repairs due to faulty materials, installation or construction or inadequate maintenance or supervision at no additional cost.
8. The contractor shall adequately shore all existing construction for which the support is removed until all new supports are in place. Where walls are removed which provide lateral support for the building, a sequence of construction shall be followed which allows lateral forces to be supported by new walls prior to removal of existing walls or adequate temporary lateral bracing shall be provided until all new construction is in place.
9. Requests for change orders and substitutions shall be approved in advance by the designer.
10. Glass doors, adjacent panels and all glazed openings within 18" of the adjacent floor or enclosing a tub or shower shall comply with Part I of U.B.C. Standard No. 54-2.
11. All new windows and glazed doors shall be N.F.R.C. certified with a minimum U-value of 0.40 in conformance with current California Energy Commission Standards.
12. Primary lighting for bathroom & kitchen shall be high-efficacy or provided with lighting control per California Energy Code 150(k)
13. Toilet shall use no more than 1.5 gallons per flush and shower head shall have a maximum flow rate of 2.5 gallons per minute.
14. All operating manuals, warranties and consumer information for equipment and fixtures installed on premises shall be surrendered to the owner upon completion of the project.
15. Partitions around bathrooms, laundry and kitchen shall be sound-proofed with sound attenuating batt insulation and of water resistant materials.
16. All exterior doors to be security openings and shall be openable from the inside without special knowledge or the use of a key.
17. All operable windows to have bug screens.
18. All exterior trim and mouldings shall be backprimed with paint or varnish as required.

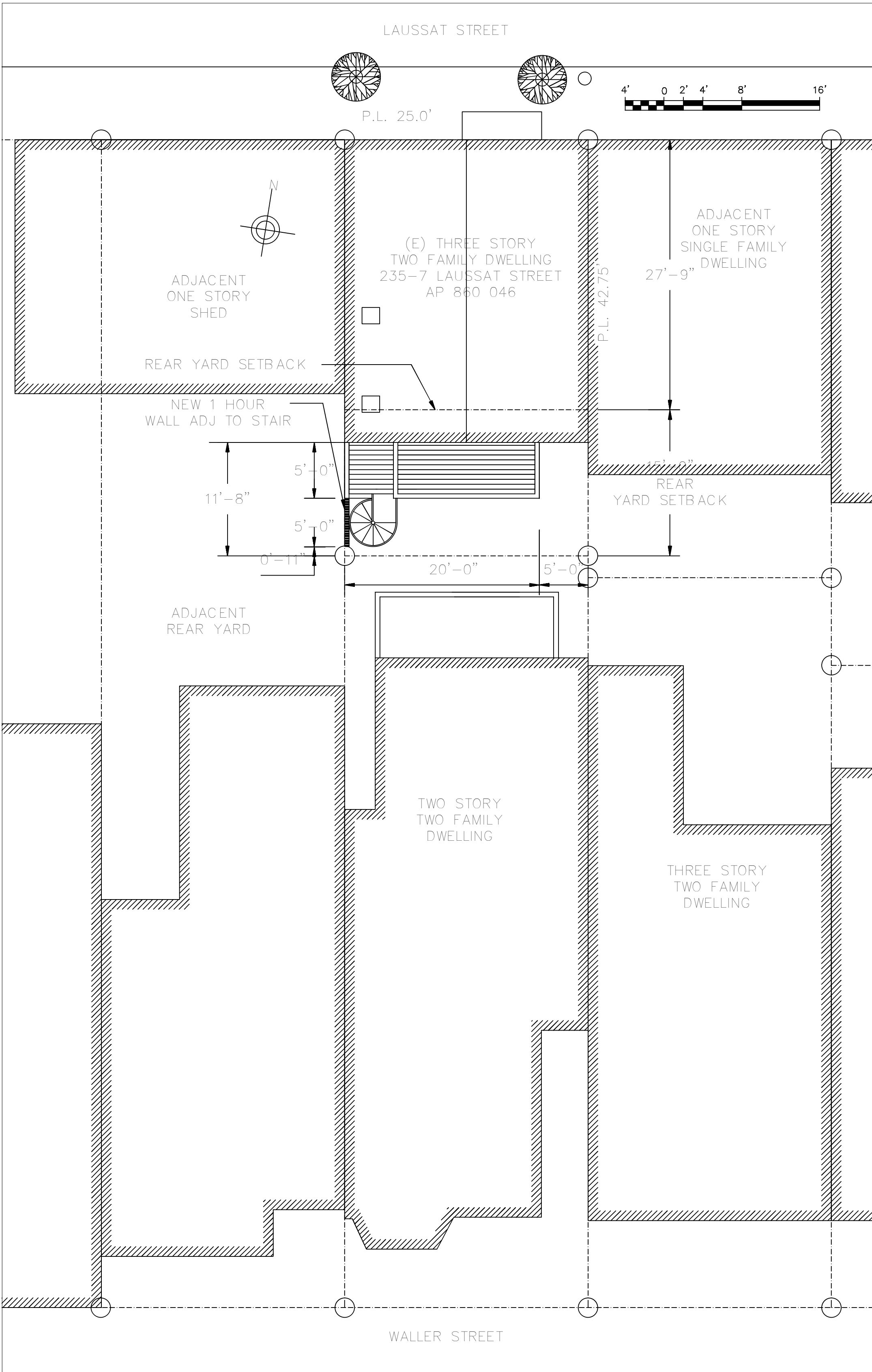
FOUNDATION NOTES

1. All foundation steel shall be Grade 60 min. and conform to ASTM A615-86 specifications.
2. All concrete shall be Type II Portland cement concrete, minimum 2500 psi..with a minimum slump of 6 in.

FRAMING NOTES

General Requirements:

1. Observation visits to the site by representatives of the designer do not include inspections of construction methods nor safety measures. Such visits are performed to review conformance with the intent of the contract documents and do not supply construction supervision nor detailed inspection services. Contractor shall supply all construction supervision.
  2. Design and furnish shoring, bracing, protective fences and canopies as required to safely execute work. These drawings represent the finished structure. Means, methods, and sequence of construction are the contractor's responsibility.
- Lumber
1. All dimensional framing members to be Douglas Fir-Larch, maximum moisture content 16%.
  2. Minimum lumber grades (UON).  
DF #2- studs, sills, plates and joists  
DF #1- beams and posts
  3. Provide pressure treated Douglas Fir or foundation grade redwood for lumber in contact with concrete within 4 feet of grade.
  4. Provide 2" nom. full height blocking at each support plus:
    - a. at mid-height on studs longer than 10'
    - b. along all walls at soffit height
  5. Nailing shall be in accordance with UBC table 23-1-Q in addition to nailing specified in these drawings.
  6. Nails shall be cooler gauge green vinyl sinkers or equivalent.
  7. All bolts shall be hex head machine type and conform to ASTM A307 or better, (UON). Provide standard cut washers at each end (UON).
  8. Built up headers shall be spiked with 16d nails at 9" o.c. staggered.
- PLYWOOD:
1. Plywood shall meet requirements of PS 1-83 and be APA stamped.
  2. Minimum grade plywood shall be CDX exposure 1 (UON).
- CONNECTORS:
1. All connectors shall be by Simpson Strong-Tie Co., Inc. or equivalent unless otherwise noted.



A SITE PLAN  
SCALE: 1/8" = 1'-0"

SCOPE OF WORK

NEW ONE HOUR WALL ALONG WEST PROPERTY  
LINE ADJACENT TO SPIRAL STAIR TO REAR YARD.

PROJECT DATA

APN	860 046
BUILDING TYPE	V-B
EXISTING OCCUPANCY GROUP	R-2 TWO FAMILY
PROPOSED OCCUPANCY GROUP	R-2 TWO FAMILY
SEISMIC ZONE	IV
CLIMATE ZONE	3
ZONING DESIGNATION	RH-3

SHEET INDEX

- A1 SITE PLAN & GEN. NOTES
- A2 EXISTING FLOOR PLANS
- A2.1 PROPOSED FLOOR PLANS
- A3 ELEVATIONS - PROPOSED
- A4 PHOTOS

JAFFAR  
DESIGN

18 Tenth St, #923  
San Francisco, CA 94103  
phone: 415.336.1225

Date	Issue
04/22/2014	

ONE HOUR WALL  
235-7 LAUSSAT  
STREET  
SAN FRANCISCO CA  
FOR MR NILS WELIN

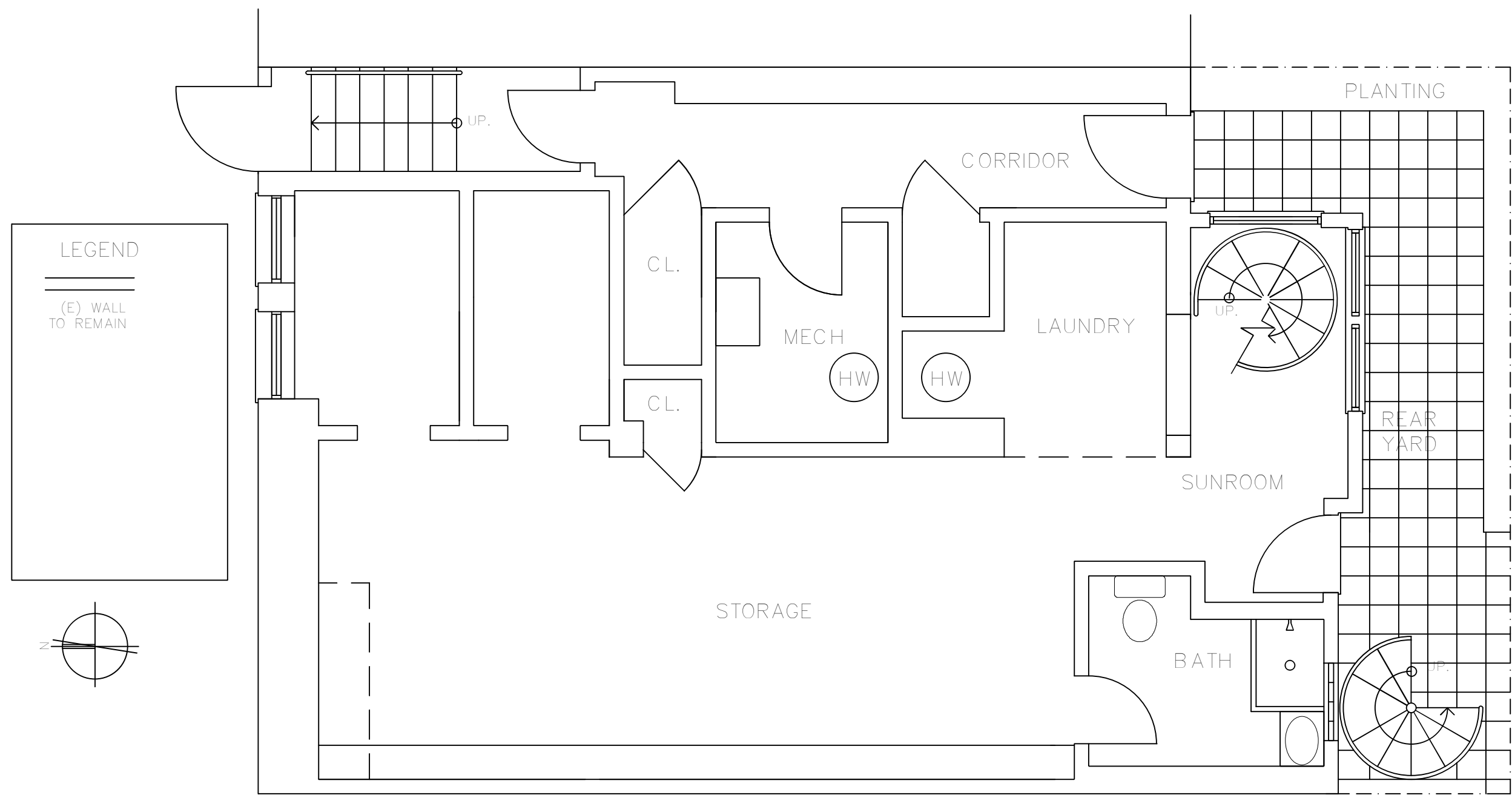
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SITE PLAN, INDEX,  
GENERAL NOTES

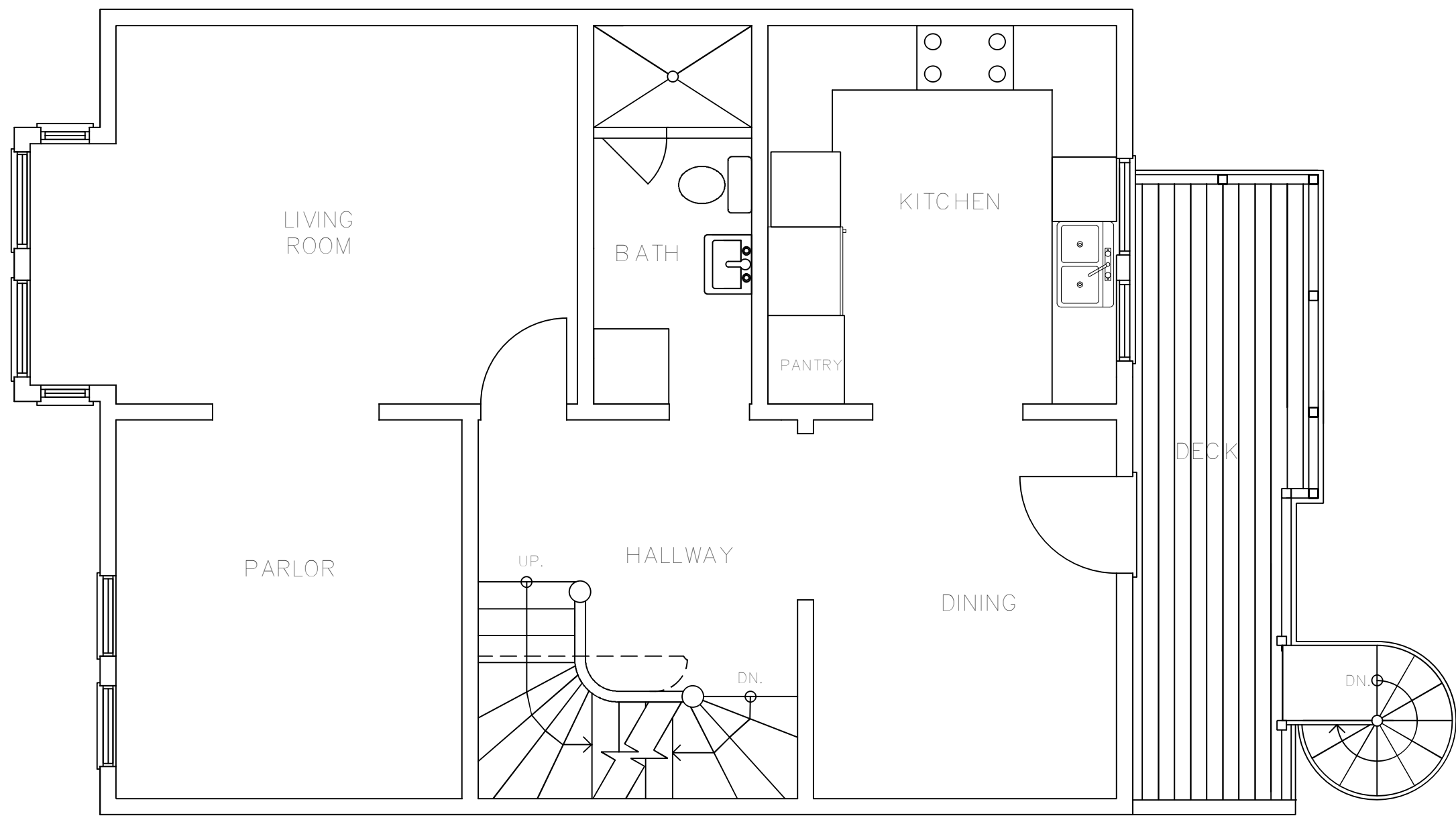
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DESIGN

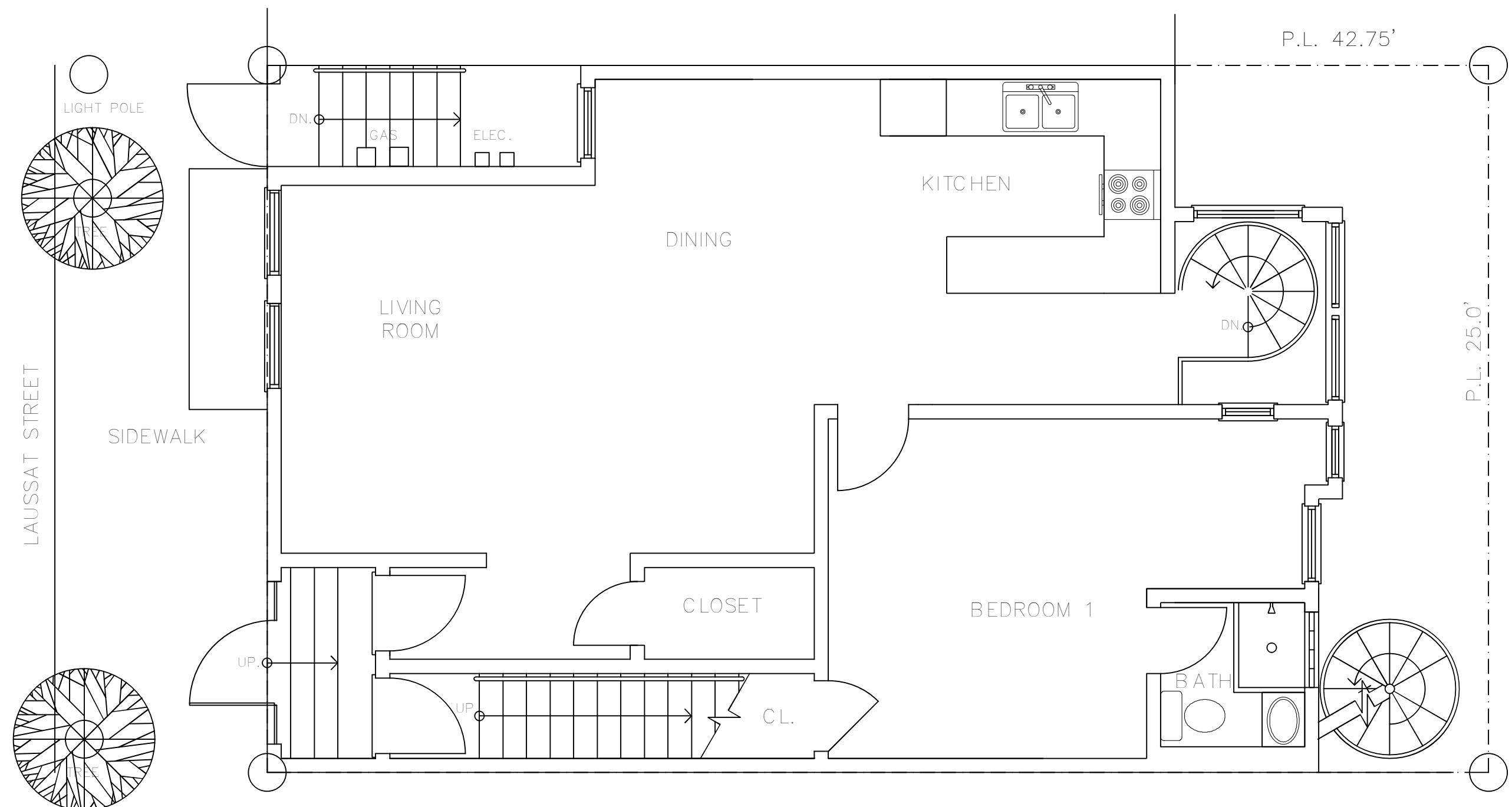
18 Tenth St, #923  
San Francisco, CA 94103  
phone: 415.336.1225



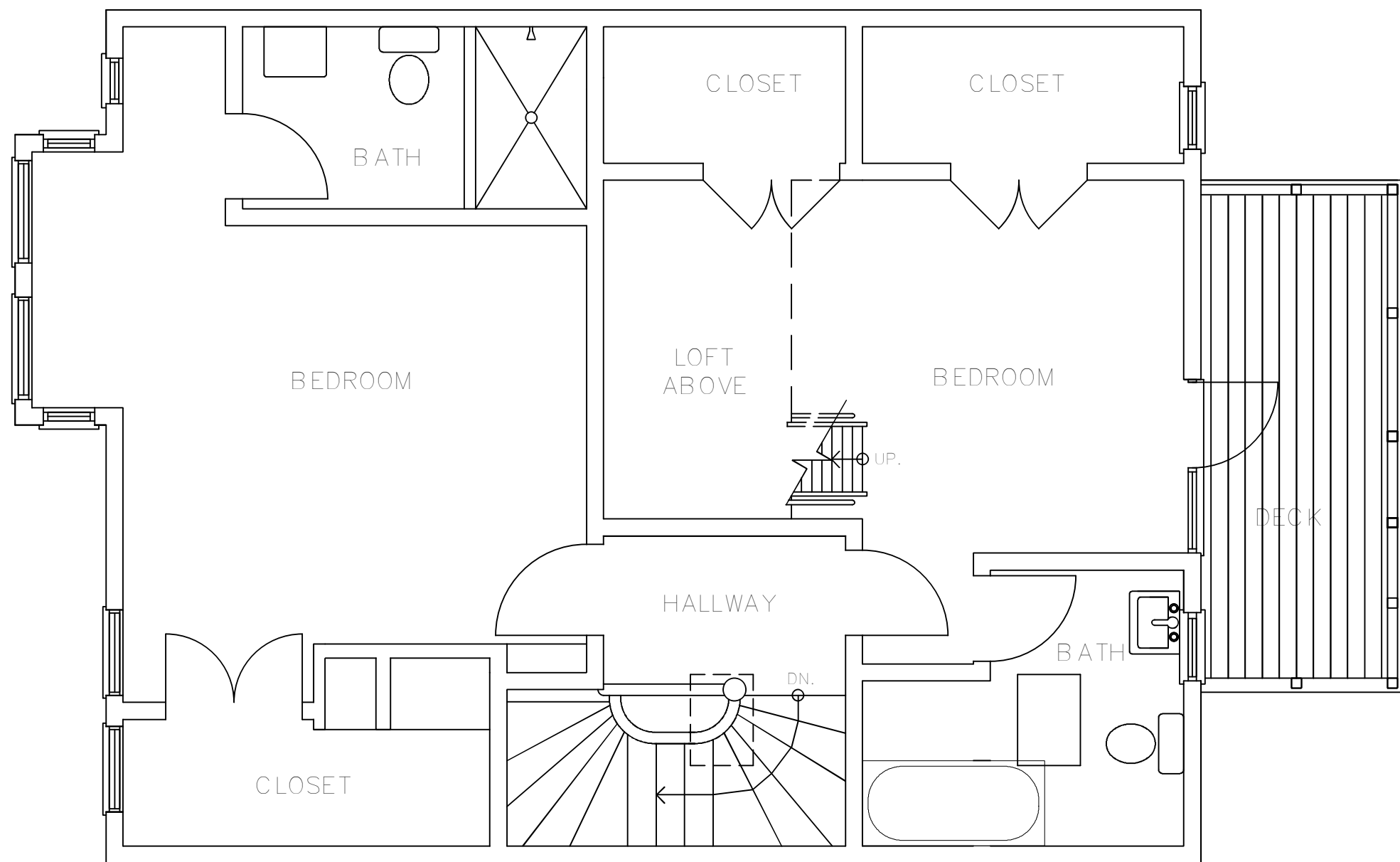
**A** BASEMENT PLAN  
SCALE: 1/4" = 1'-0"



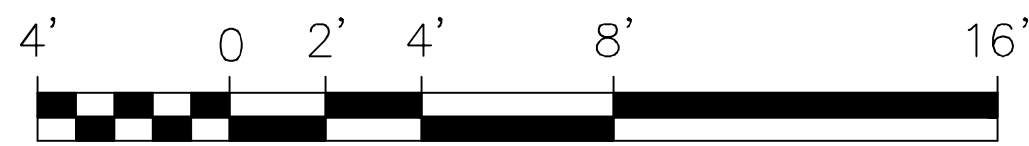
**C** SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**B** FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**D** THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"



Date Issue  
04/22/2014

ONE HOUR WALL  
235-7 LAUSSAT  
STREET  
SAN FRANCISCO CA  
FOR MR NILS WELIN

Job No.: 0908  
Scale: AS  
NOTED

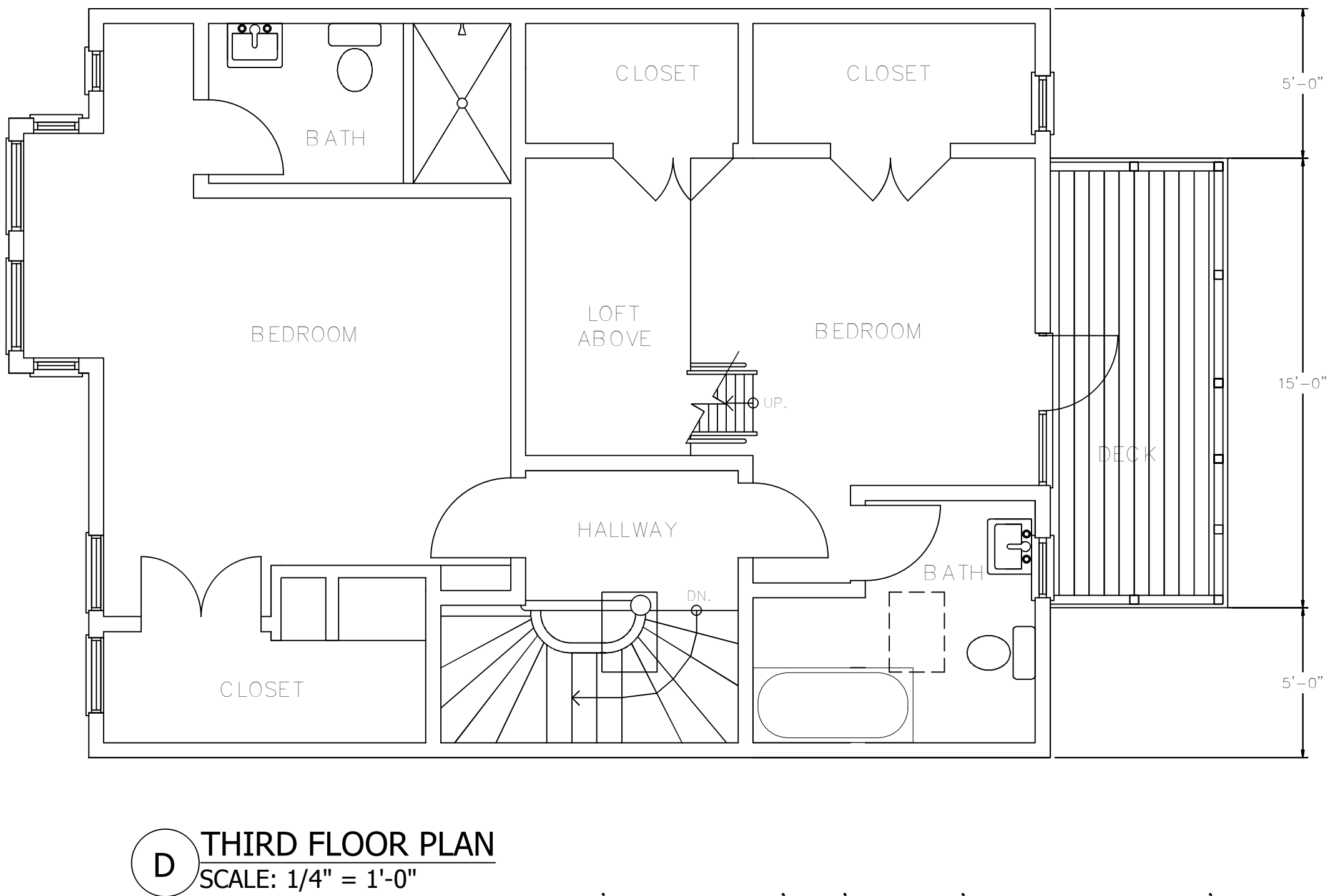
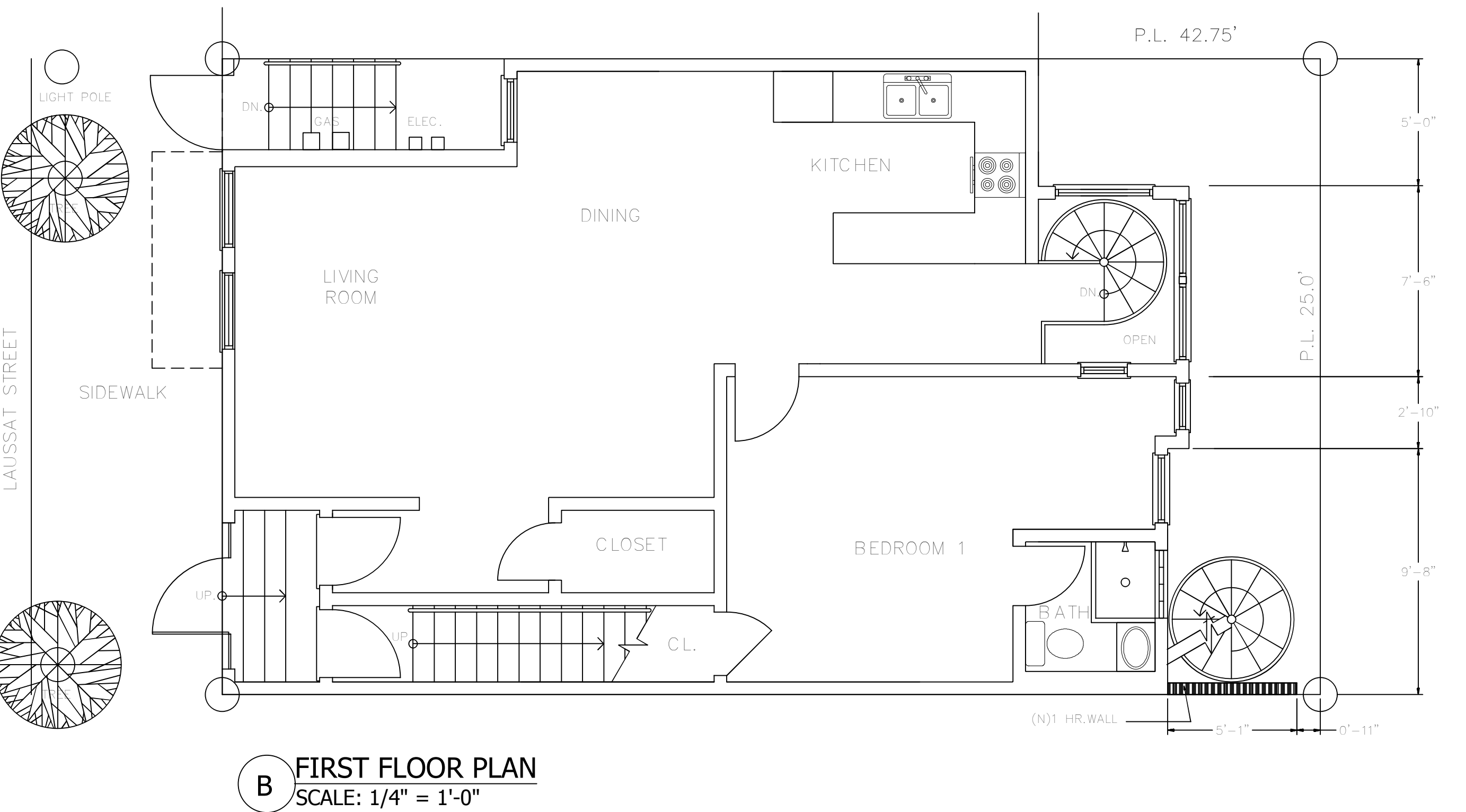
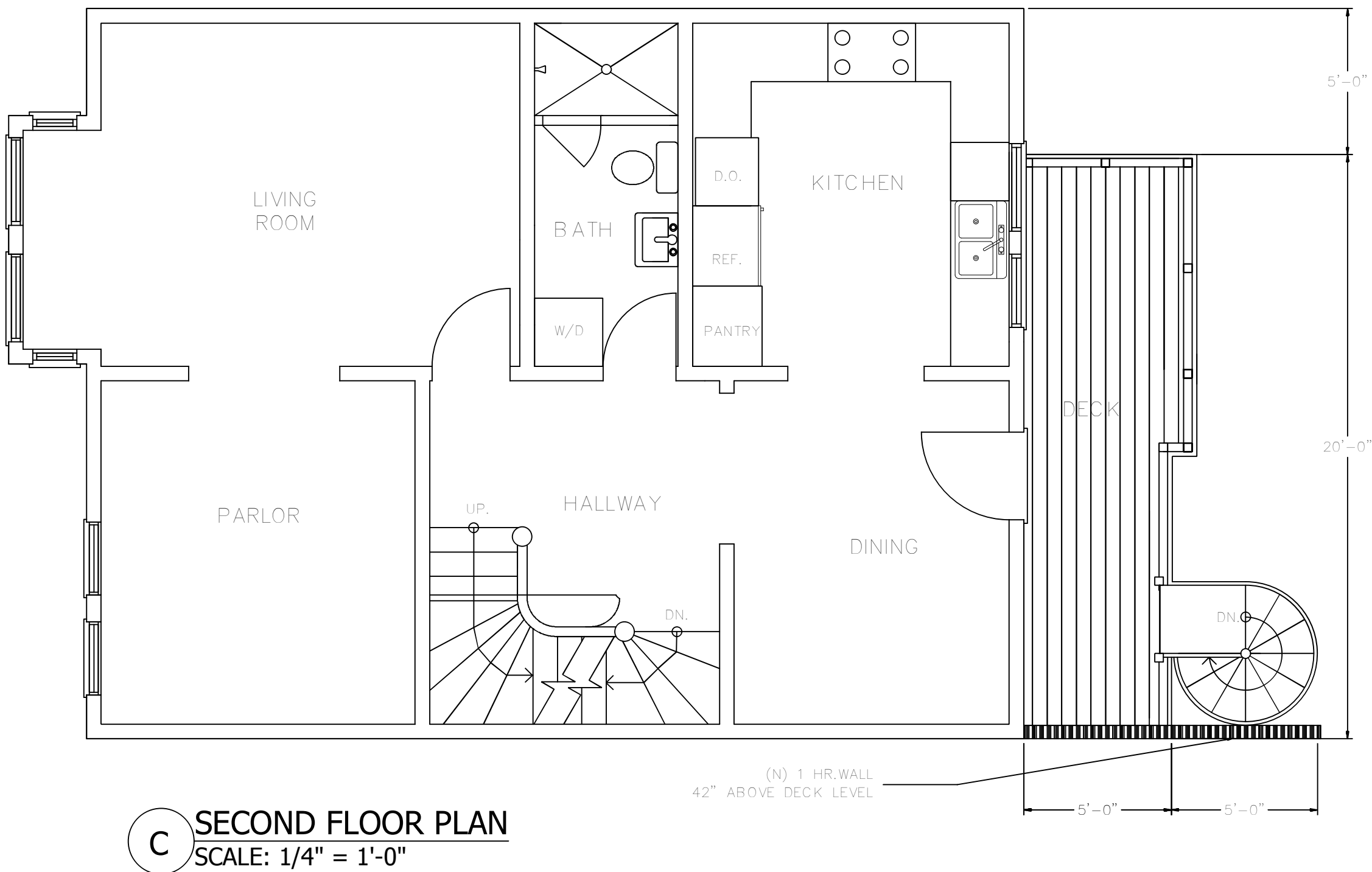
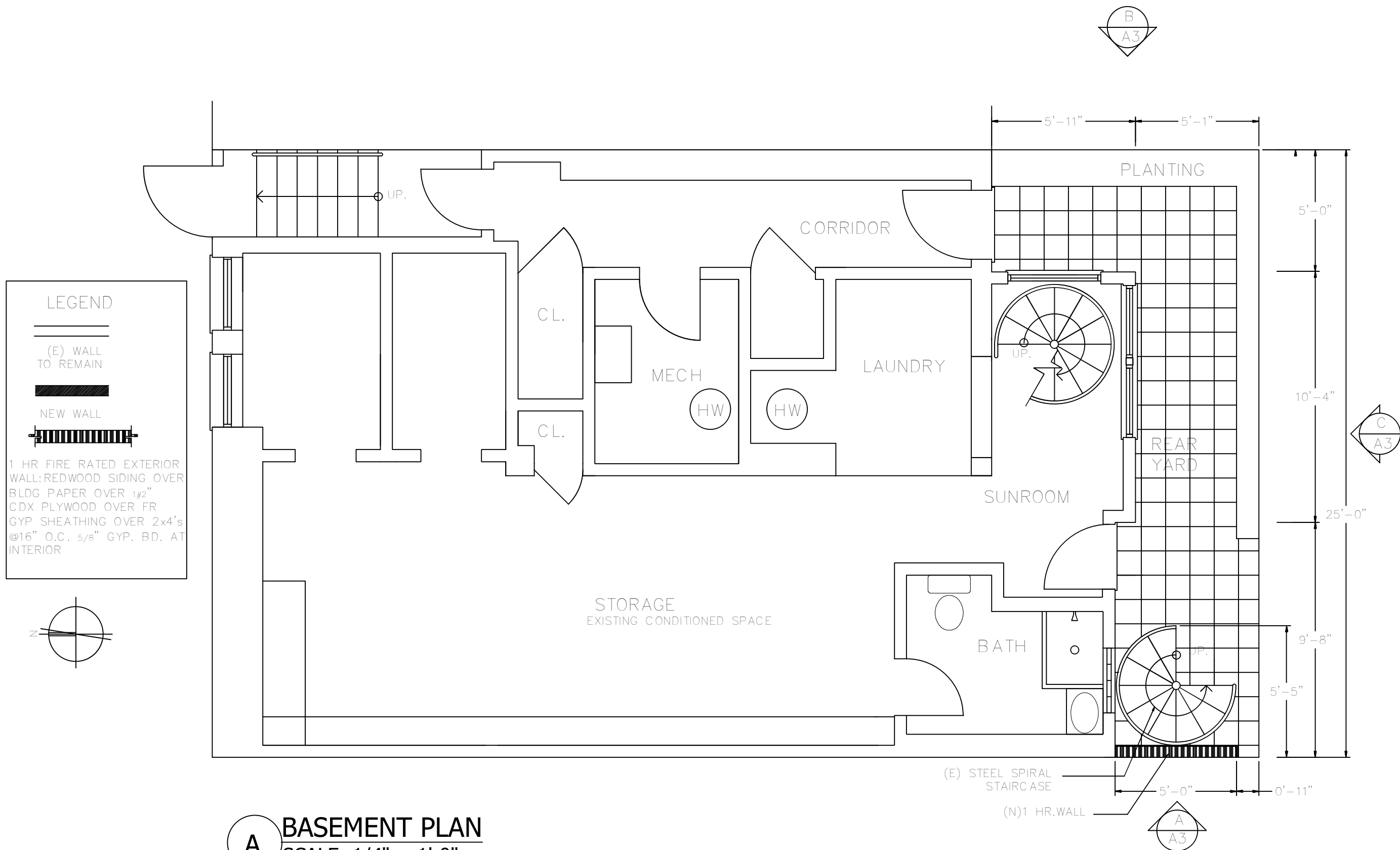
EXISTING FLOOR  
PLANS

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SHEET2 of 5 Sheets

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Date Issue  
D 08/13/2013

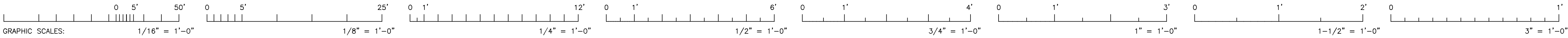
ONE HOUR WALL  
235-7 LAUSSAT  
STREET  
SAN FRANCISCO CA  
FOR MR NILS WELIN

Job No.: 0908  
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NOTED

PROPOSED FLOOR  
PLANS

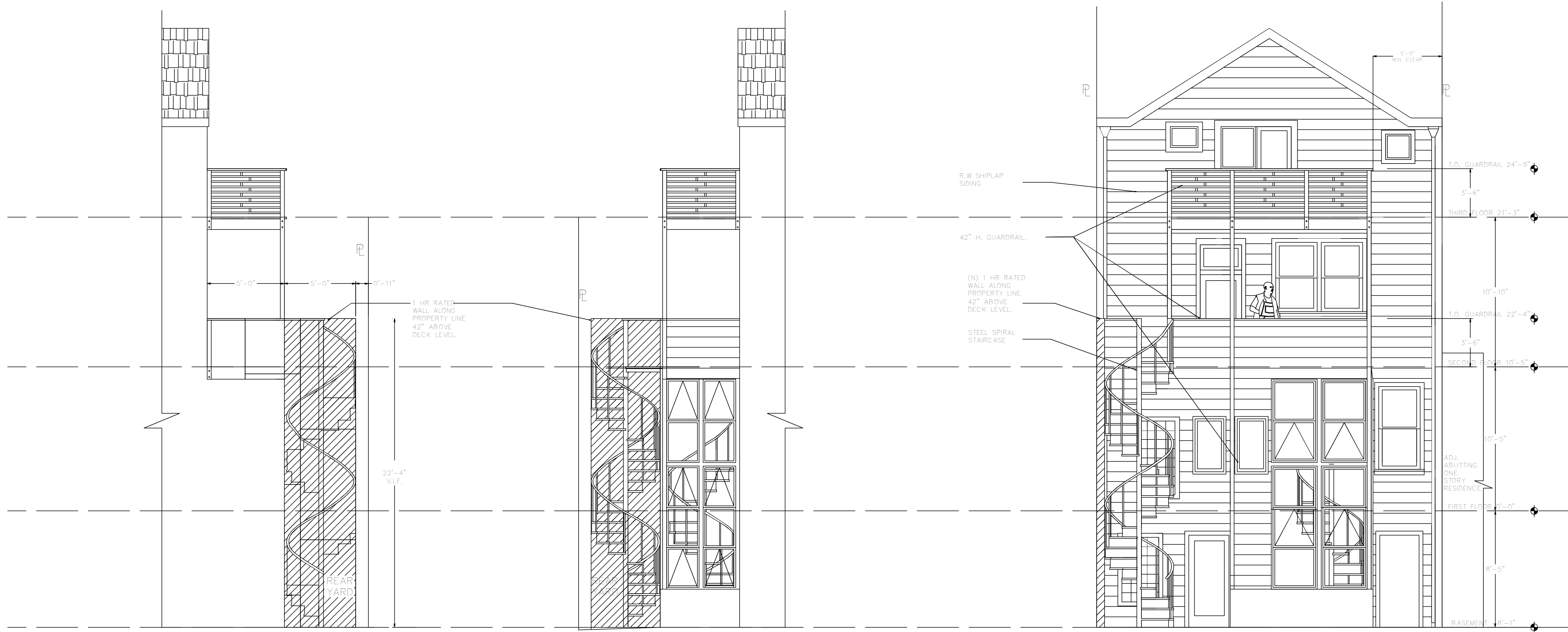
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SHEET 3 of 5 Sheets



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A WEST ELEVATION -PROPOSED  
SCALE: 1/4"=1'-0"

B EAST ELEVATION -PROPOSED  
SCALE: 1/4"=1'-0"

C SOUTH ELEVATION - PROPOSED  
SCALE: 1/4"=1'-0"

Date	Issue
08/13/2013	

ONE HOUR WALL  
235-7 LAUSSAT  
STREET  
SAN FRANCISCO CA  
FOR MR NILS WELIN

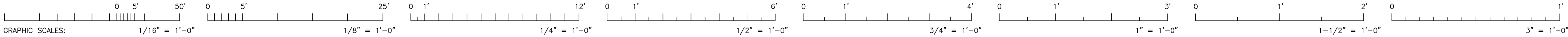
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PROPOSED  
ELEVATIONS

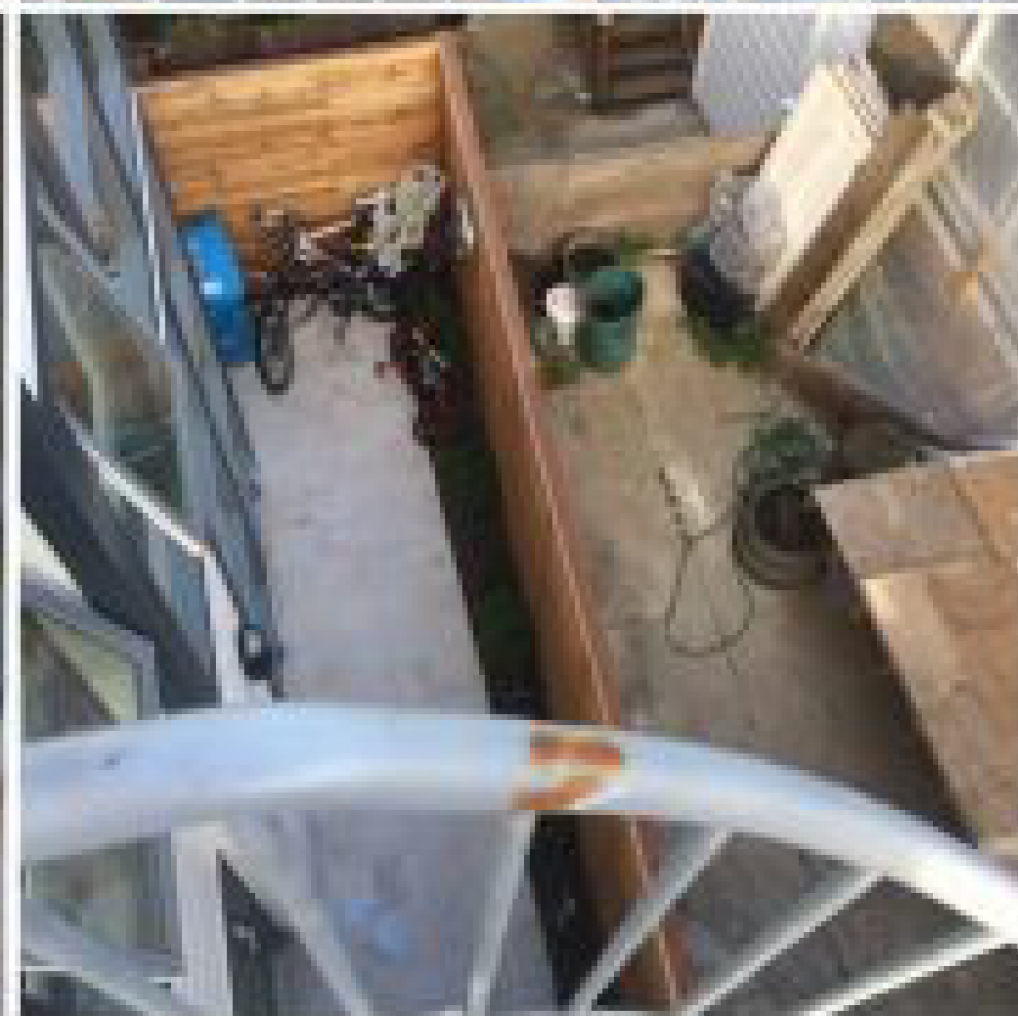
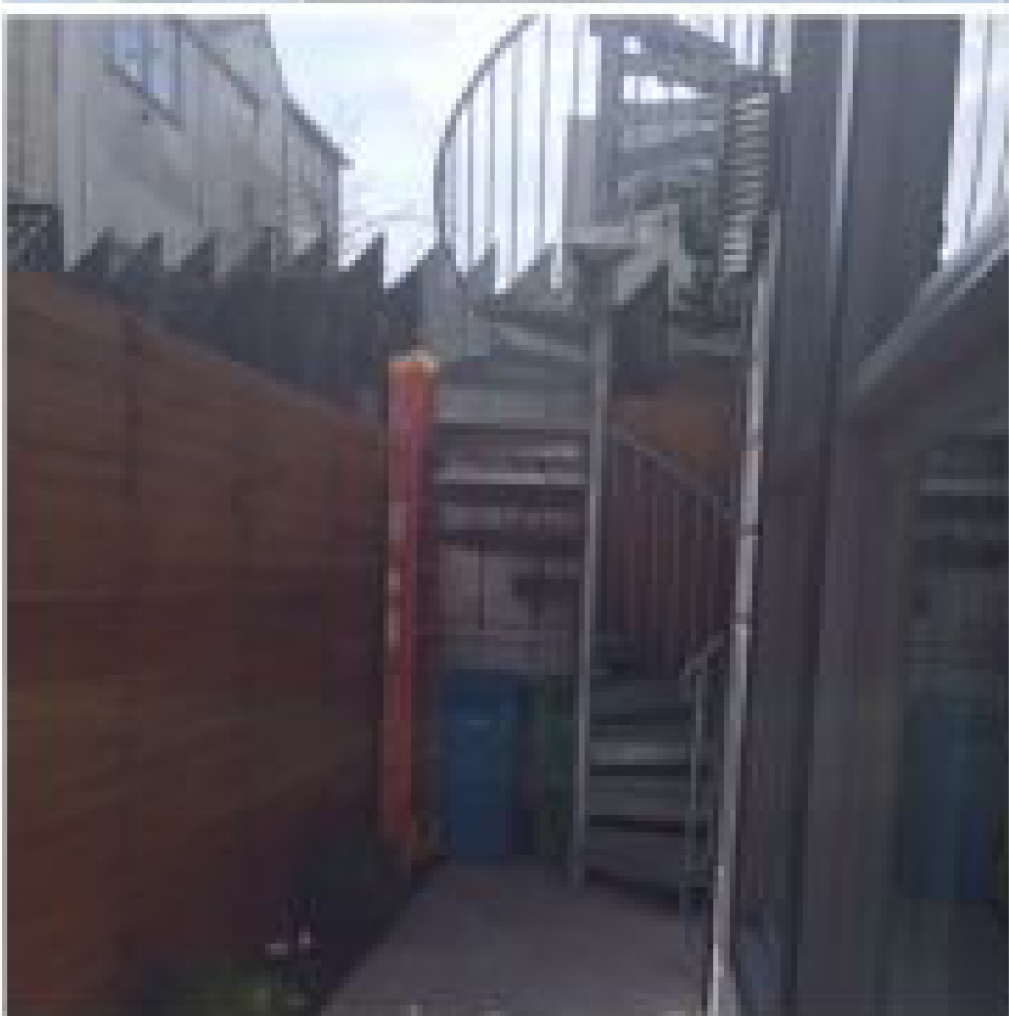
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DESIGN

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San Francisco, CA 94103  
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Date	Issue
08/13/2013	

ONE HOUR WALL  
235-7 LAUSSAT  
STREET  
SAN FRANCISCO CA  
FOR MR NILS WELIN

Job No.: 0908

Scale: AS NOTED

PHOTOS

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