



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 03, 2014**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 430 El Camino Del Mar	Case No.: 2014.1376V
Cross Street(s): 27th & 28th Avenues	Building Permit: N/A
Block / Lot No.: 1308/008	Applicant/Agent: Rebecca Amato
Zoning District(s): RH-1(D) / 40-X	Telephone: 510 420-0210
Area Plan: N/A	E-Mail: rebecca@amatoarchitecture.com

PROJECT DESCRIPTION

The proposal is to construct a one-story horizontal addition, measuring 10 feet, 7 1/2 inches deep by 4 feet, 9 inches wide by 8 feet, 6 inches in height, at the rear of the two-story, single-family house. The addition will be set back 4 feet from the side (west) property line and approximately 25 feet from the rear (south) property line.

Per Section 134 of the Planning Code the subject property is required to maintain a rear yard of 34 feet, 3 inches. The proposed addition would encroach 8 feet, 6 inches into the required rear yard; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Alexandra Kirby** Telephone: **415-575-9133** Mail: Alexandra.Kirby@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.1376V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

DEMOLITION NOTES:

- REMOVE ALL EXISTING FLOOR FINISHES WHERE NEW IS INDICATED, INCLUDING BUT NOT LIMITED TO CARPET TILE, BROADLOOM CARPET, CERAMIC TILE, SHEET VINYL, AND VCT. ALL MATERIAL TO BE REMOVED AND DISPOSED OF.
- PROTECT EXISTING WOOD FLOOR DURING DEMOLITION OF FLOORING MATERIALS AND OTHER CONSTRUCTION. WOOD FLOORING WILL BE REFINISHED AND REUSED.
- REMOVE ALL ABANDONED TEL, DATA & ELECTRICAL CABLING, CONDUIT & DEVICES AND DISPOSE.
- REMOVE ANY FLOOR MONUMENTS, AND ASSOCIATED WIRING, CAP AND FILL FLOOR FLUSH TO MATCH ADJACENT SURFACES.
- PATCH & REPAIR ALL WALLS INDICATED AS REMAINING AFFECTED BY DEMOLITION AND CONSTRUCTION. PREP AS REQUIRED TO RECEIVE NEW FINISHES.
- REMOVE ALL WALL COVERING AND PATCH AS REQUIRED AT LOCATIONS TO RECEIVE NEW WALL FINISHES.
- REMOVE ALL EXISTING CEILING GRID SYSTEMS AND ASSOCIATED LIGHTING, LIFE SAFETY AND ELECTRICAL, SPRINKLER SYSTEM TO REMAIN.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL VERIFY PARTITION LAYOUT IN FIELD WITH DESIGNER BEFORE PROCEEDING.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO BE ADJACENT OR OTHERWISE FINISHED WHEREVER REQUIRED. THESE SURFACES SHALL BE ALIGNED AND SANDED SMOOTH.
- ALL PARTITIONS ARE DIMENSIONED FINISH FACE TO FINISH FACE OF GYPSUM BOARD (U.O.N.) ALL VERTICAL DIMENSIONS ARE ABOVE FINISH FLOOR.
- ALL DIMENSIONS TO EXTERIOR WINDOW WALL ARE TO INSIDE EDGE OF SILL (U.O.N.).
- ALL WORK SHALL BE INSTALLED PLUMBING LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT. THE CONTRACTOR SHALL PROTECT LINE AND GRADE MARKINGS ON THE FINISH FLOOR FOR RECTIFYING UNLEVEL FLOOR CONDITIONS.
- DIMENSIONS NOTED "CLEAR" OR "CLR" ARE MINIMUM REQUIRED. DIMENSIONS AND CLEARANCE MUST BE ACCURATELY MAINTAINED.
- PERIMETER PARTITIONS SHOWN WITHOUT DIMENSIONS AND ALIGNMENT CONDITIONS SHALL BE CENTERED ON COLUMN, COLUMN FIRING OR WINDOW OR OTHER MEMBER.
- THERE SHALL BE A MINIMUM OF 1"-6" CLEAR TO THE NEAREST RETURNING PARTITION, PERMANENT FIXTURE OR MULLION AT THE FULL SIZE OF ALL DOORS.
- ALL LATCH SETS AND LOCK SETS ON ALL DOORS SHALL COMPLY WITH ALL HANDICAP CODES.
- BRACING FOR DOOR FRAME IS NOT REQUIRED AT DOOR JAMBS LOCATED 6" OR LESS FROM 90 DEGREE PARTITION INTERSECTION.
- THE CONTRACTOR SHALL UNDERCUT INTERIOR DOORS AS REQUIRED TO CLEAR FINISH FLOOR AND/OR THRESHOLD WITH SEAL 1/4" MAX. ALL RATED DOORS, IF ANY, SHALL BE ORDERED SO AS TO CLEAR FINISH FLOOR BY 1/4" MAX.
- THE CONTRACTOR SHALL PROVIDE WOOD BLOCKING AND/OR HEAVY GAGE SHEET METAL BACKING AS REQUIRED BY THE CONTRACT DOCUMENTS IN THE WALLS BEHIND WALL HUNG SHELVING, CABINETS AND EQUIPMENT ETC. ALL WOOD BLOCKING SHALL BE FIRE-RESISTANT TREATED AS REQ'D BY CODE.
- GLASS AND GLAZING SHALL BE INSTALLED PER PUBLISHED SPECIFICATIONS, STANDARDS, TESTS AND RECOMMENDED METHODS OF THE TRADE, INDUSTRY OR GOVERNMENTAL ORGANIZATIONS APPLYING WORK IN THIS PROJECT.
- GLAZING SHALL BE INSTALLED TO COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF THE FOMA "GLAZING SEALING SYSTEMS MANUAL" AND "GLAZING MANUAL".
- INSTALLATION OF WINDOW & DOOR FRAMES SHALL BE SECURED PROBABLY TO THE SUBSTRATE. NO GAPS WILL BE ACCEPTED. ALL SCRATCH MARKS SHALL BE RESTORED USING FINISH TO MATCH EXISTING.
- CONTRACTOR TO SUBMIT PROPOSED THERMOSTAT LOCATIONS TO DESIGNER AND BUILDING ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.

FINISH NOTES:

PAINTING: NO PAINTING OR INTERIOR FINISHING SHALL BE DONE UNDER CONDITIONS WHICH JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH WORK.

A. CONTRACTOR SHALL PROVIDE THREE 8"X10" BRUSH-OUT CARDS OF EACH OPAQUE FINISH COLOR AND OBTAIN DESIGNER'S APPROVAL OF SAMPLES PRIOR TO APPLICATION. FOR TRANSPARENT FINISHES, PROVIDE THREE 8"X10" SAMPLES OF EACH FINISH ON THE SPECIES OF WOOD SPECIFIED AND OBTAIN DESIGNER'S APPROVAL OF SAMPLES PRIOR TO COMMENCING WORK.

B. EXAMINE ALL SURFACES TO BE FINISHED UNDER THIS CONTRACT AND SEE THAT THE WORK OF OTHER TRADES HAS BEEN LEFT OR INSTALLED IN SATISFACTORY CONDITION TO RECEIVE PAINT, STAIN OR SPECIFIED FINISH. APPLICATION OF THE FIRST COAT SHALL INDICATE ACCEPTANCE OF THE EXISTING SURFACES.

FINISH NOTES: (CONT.)

C. ALL SURFACES SHALL BE IN PROPER CONDITION TO RECEIVE THE SPECIFIED FINISH. ALL SURFACES SHALL BE HAND-SANDED AND DUSTED CLEAN. ALL KNOT HOLES, FITCH POCKETS OR SINKS SHALL BE SCALED AND SHELLACKED OR SEALED WITH KNOT SEALER. NAIL HOLES, CRACKS OR DEFECTS CAREFULLY PUTTED AFTER FIRST COAT. WITH PUTTY MATCHING COLOR OF STAIN OR PAINT FINISH. REMOVE ANY OIL OR GREASE WITH MINERAL SPIRITS.

D. INTERIOR WOODWORK FINISHES SHALL BE SANDED BETWEEN COATS. CRACKS, HOLES OR IMPERFECTIONS IN PLASTER OR WALLBOARD SHALL BE FILLED WITH PROPER PATCHING COMPOUND FOR THAT MATERIAL.

E. INTERIOR GYPSUM WALLBOARD SURFACES SHALL BE EPED WITH DAMP CLOTH JUST PRIOR TO APPLICATION OF THE FIRST COAT IN ORDER TO LAY FLAT ANY MAP WHICH MAY HAVE FORMED DURING THE SANDING PROCESS.

F. CLEANING AND RETOUCHING:

1. AT COMPLETION OF PAINTING, ALL PAINT MATERIALS AND EQUIPMENT SHALL BE REMOVED, ALL PAINT SPOTS REMOVED AND ALL AREAS THOROUGHLY CLEANED. ANY DIRT OR DEBRIS CAUSED BY WORK SHALL BE CLEANED UP AS WORK PROGRESSES.

2. RETOUCH OR REFINISH PAINTED SURFACES DAMAGED BY SUBSEQUENT WORK AS DIRECTED BY GENERAL CONTRACTOR. THE COST OF SUCH WORK SHALL BE BORNE BY THE TRADE RESPONSIBLE FOR THE DAMAGE.

FLOOR AND BASE FINISHES:

A. VERIFY THAT SUB-SURFACE IS SMOOTH, LEVEL AND FREE FROM DEFECTS WHICH WOULD AFFECT THE INSTALLATION. DO NOT PROCEED WITH WORK UNTIL DEFECTS HAVE BEEN CORRECTED. THOROUGHLY CLEAN SUB-FLOOR PRIOR TO APPLICATION OF ADHESIVE.

B. PAINTED OR OTHERWISE FINISHED SURFACES SHALL BE PROTECTED FROM DAMAGE DURING FLOORING INSTALLATION.

C. CARPET SHALL BE PROTECTED FROM DAMAGE AFTER INSTALLATION.

D. TREAT CARPET SEAMS WITH SEALER, USING METHODS RECOMMENDED BY CARPET MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.

E. PROVIDE SEAMING DIAGRAM FOR APPROVAL.

MILLWORK NOTES:

- ALL MILLWORK IS TO BE CONSTRUCTED TO THE STANDARDS FOR PREMIUM GRADE ESTABLISHED BY THE AMERICAN WOODWORK INSTITUTE (AWI).
- THE GENERAL CONTRACTOR SHALL SUBMIT ONE REPRODUCIBLE SET OF SHOP DRAWINGS FOR ALL MILLWORK TO THE PROJECT DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL WOOD BLOCKING, BACKING OR BRACING SHALL BE FIRE-RESISTANT TREATED TO MEET THE STANDARDS REQUIRED BY ALL APPLICABLE CODES.
- TRANSPARENT FINISH WOOD VENEERS AND SOLIDS SHALL BE AWI PREMIUM GRADE WITH AWI FINISH SYSTEM #2, CATALYZED LACQUER TRANSPARENT FINISH FOR CLOSED PORE GRAIN, UNLESS OTHERWISE NOTED.
- OPAQUE FINISH WOODS, SHALL BE AWI PREMIUM GRADE, PAINT FINISH, SEMI-GLOSS ACRYLIC ENAMEL.

REFLECTED CEILING NOTES:

- THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING TYPES, CEILING FIXTURES, SWITCHING AND ASSOCIATED ITEMS. REFER TO THE ELECTRICAL ENGINEERING DRAWINGS (LIGHTING PLAN) FOR CIRCUITING, WIRING LAYOUT, APPROXIMATE SWITCH LOCATIONS AND ADDITIONAL INFORMATION.
- IN THE EVENT OF DISCREPANCIES BETWEEN THE ARCHITECTURAL AND THE ENGINEERING DRAWINGS, THE ENGINEERING DRAWINGS SHALL TAKE PRECEDENCE WITH RESPECT TO QUANTITY OF FIXTURES AND NUMBER/WATTS FOR EACH FOR COMPLIANCE WITH ENERGY CONSERVATION STANDARDS. THE ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE WITH RESPECT TO LOCATION AND FIXTURE TYPE. CONTRACTOR SHALL NOTIFY DESIGNER IMMEDIATELY OF ALL SUCH DISCREPANCIES.
- ELECTRICAL ENGINEER TO DETERMINE NUMBERS AND SPECIFY LOCATIONS OF ALL CODE-REQUIRED EMERGENCY LIGHT FIXTURES, SMOKE DETECTORS, STROBE LIGHTS, AND LIFE SAFETY SPEAKERS.
- EXIT SIGNS AND ILLUMINATIONS TO CONFORM WITH REQUIREMENTS OF UBC SECTION 1002 AND 1003.1-1003.6.
- ELECTRICAL ENGINEER TO DETERMINE NUMBER OF LIGHT CONTROL DEVICES REQUIRED.
- ALL LIGHT SWITCHING TO CONFORM TO TITLE 24 AND TO ALL APPLICABLE CODES.
- ALL LIGHT CONTROL SYSTEMS TO BE BUILDING STANDARD (U.O.N.).
- EXHAUST FANS TO BE PROVIDED AS NOTED ON REFLECTED CEILING PLAN. SIZE AND CIRCUITRY TO BE DETERMINED BY MECHANICAL DESIGN-BUILD CONTRACTOR OR BY MECH. ENGINEER.
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC. NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHT.

REFLECTED CEILING NOTES: (CONT.)

- FINISHED CEILING SHALL BE LEVEL WITHIN THE TOLERANCE OF 1/8" IN 12'-0".
- LIGHT FIXTURES, EXIT SIGNS, SPRINKLERS AND OTHER CEILING ELEMENTS SHALL BE LOCATED IN THE CENTER OF INDIVIDUAL CEILING TILE (U.O.N.).
- VERIFY LOCATION OF ALL PANELS IN GYPSUM BOARD CEILINGS WITH DESIGNER PRIOR TO FRAMING AND INSTALLATION.
- REFER TO DETAILS FOR SEISMIC BRACING AT ACoustICAL CEILING, AND CEILING GRID SUSPENSION REQUIREMENTS.

POWER & SIGNAL NOTES:

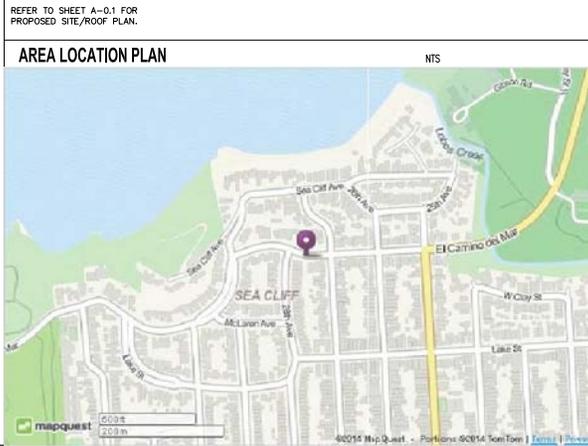
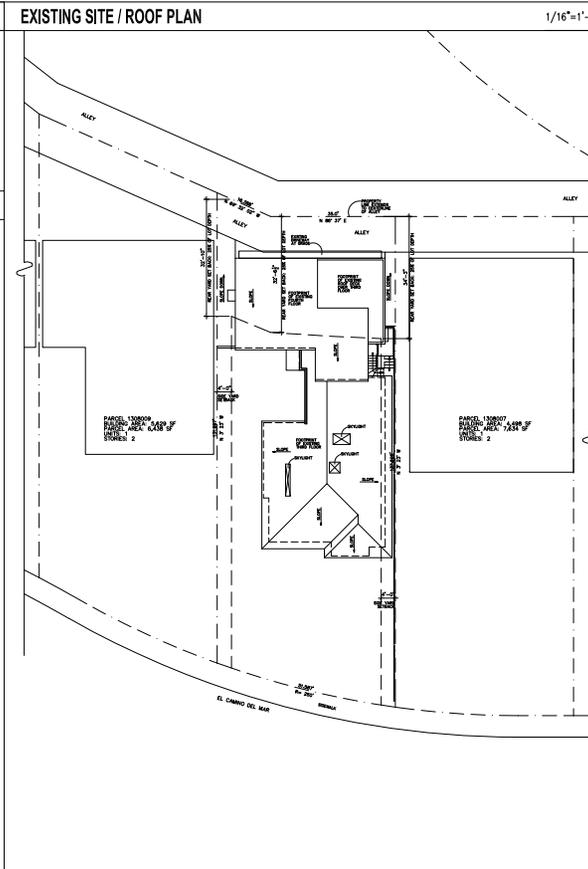
- ALL TELEPHONE AND COMMUNICATION WORK SHALL BE COORDINATED BY THE CONTRACTOR WITH THE DESIGNER, AND THE TELE-COMMUNICATIONS CONTRACTOR.
- CONTRACTOR TO COORDINATE ALL WORK RELATED TO SPECIAL EQUIPMENT WITH THE DESIGNER, OWNER AND TENANT SO AS TO CONFORM WITH THE MANUFACTURER'S SPECIFICATIONS.
- THE CONTRACTOR SHALL LOCATE ALL TELEPHONE, ELECTRICAL AND COMMUNICATION OUTLETS, AND VERIFY EXACT LOCATION WITH THE DESIGNER BEFORE PROCEEDING WITH INSTALLATION.
- IN THE EVENT OF DISCREPANCIES BETWEEN THE INSTALLATION, ARCHITECTURAL, AND THE ENGINEERING DRAWINGS, THE ENGINEERING DRAWINGS SHALL TAKE PRECEDENCE WITH RESPECT TO MANUFACTURERS, TYPES, DETAILS AND SPECIFICATIONS OF PANEL BOXES, FIXTURE RISERS, CIRCUITING, ETC.; THE ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE WITH RESPECT TO LOCATION. CONTRACTOR SHALL NOTIFY DESIGNER IMMEDIATELY OF ALL SUCH DISCREPANCIES.
- ALL ELECTRICAL EQUIPMENT SHALL HAVE AFFIXED THERETO THE LABEL OF A RECOGNIZED TESTING AGENCY (UL, FM, CSA, ETC. I.A.). ANY OTHER LISTING AGENCY SHALL HAVE PRIOR APPROVAL BEFORE INSTALLATION.
- ALL TELEPHONE CABLE IS TO BE TEFLOON-COATED WIRE OR MUST BE IN CONDUIT ABOVE CEILINGS.
- ALL DIMENSIONS ARE TO BE CENTERLINE OF OUTLET OR GROUP OF OUTLETS, U.O.N.
- WHERE NO DIMENSION IS INDICATED, LOCATE DEVICE AT NEAREST STUD TO SCALED LOCATION ON PLAN.
- PAIRS OF FLOOR OUTLETS, WHERE THEY OCCUR, ARE DIMENSIONED TO THE CENTERLINE OF MONUMENT, U.O.N.
- DIMENSIONS BETWEEN PAIRED DEVICES SHALL BE 6" CENTERLINE TO CENTERLINE (U.O.N.).
- MULTIPLE OUTLETS AND SWITCHES SHALL BE GANGED IN ONE JUNCTION BOX WITH A SINGLE COVERPLATE.
- TYPICAL HT. OF ALL WALL MOUNTED OUTLETS SHALL MATCH EXISTING (+18" A.F.F.) U.O.N. TYPICAL SWITCH HT. SHALL MATCH EXISTING (+38" A.F.F.) U.O.N.
- TYPICAL THERMOSTAT HEIGHT IS 48" A.F.F. TO HIGHEST OPERABLE PART (U.O.N.). CONTRACTOR TO SUBMIT PROPOSED THERMOSTAT LOCATIONS TO DESIGNER AND BUILDING ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
- ALL DUPLEX OUTLETS ABOVE COUNTERTOPS TO BE MOUNTED HORIZONTALLY (U.O.N.).
- ALL OUTLETS SHOWN BACK TO BACK SHALL BE OFFSET THE MINIMUM DIMENSION REQUIRED TO AVOID BACK-TO-BACK INSTALLATION.
- TELEPHONE AND COMMUNICATION OUTLETS SHALL BE FURNISHED WITH JUNCTION BOX, 3/4" CONDUIT TO 3" ABOVE CEILING AND A PULL STRING THROUGH THE WALL TO THE CEILING PLenum OR THE NEAREST READILY ACCESSIBLE LOCATION. ONE PULL STRING PER CONNECTION POINT. TENANT'S VENDOR TO PROVIDE AND INSTALL RECEPTACLE AND COVER PLATE.
- WHERE FEASIBLE, RE-USE EXISTING TEL/DATA OUTLETS, CABLES AND DEVICES. COORDINATE SALVAGE ITEMS WITH PROJECT DESIGNER.
- PROVIDE LAYOUT OF FLOOR-MOUNTED OUTLETS AT SYSTEMS FURNITURE. FIELD VERIFY WITH PROJECT DESIGNER AND FURNITURE VENDOR PRIOR TO INSTALLATION.
- WHERE FLOOR MONUMENTS HAVE BEEN DEMOLISHED, REMOVE CABLING AND CAP PENETRATION.
- ALL WALL OUTLETS REMOVED AREA TO HAVE CIRCUITS PULLED BACK TO PANEL. WALL TO BE FINISHED FLUSH FOR SMOOTH PAINT.

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PROJECT INFORMATION

ADDRESS OF PROJECT:
430 EL CAMINO DEL MAR
SAN FRANCISCO, CA 94121

OWNER:
HERB WILTSK
430 EL CAMINO DEL MAR
SAN FRANCISCO, CA 94121

ARCHITECT:
AMATO ARCHITECTURE
REBECCA IVANS AMATO, AIA
1396 PARK AVENUE
EMERYVILLE, CA 94608
CALIFORNIA STATE LICENSE NO. C-25700
EXPIRATION 08/31/15

STRUCTURAL CONSULTANT:
JOHN VADEGAS & ASSOCIATES
55 HAWTHORNE STREET
SAN FRANCISCO, CA 94105
415.243.0858

CONTRACTOR:
UNKNOWN

CONSTRUCTION:
TYPE WOOD FRAME / SINGLE FAMILY

OCCUPANCY:
ZONE: RH-1(D) SINGLE FAMILY DETACHED RESIDENTIAL

CURRENT CODE EDITIONS:
CBC: 2013 CALIFORNIA BUILDING CODE
CMC: 2013 CALIFORNIA MECHANICAL CODE
CEC: 2013 CALIFORNIA ELECTRICAL CODE
CPC: 2013 CALIFORNIA PLUMBING CODE

INDEX OF DRAWINGS

ARCHITECTURAL

- A-0.0 COVER SHEET / SITE PLAN
- A-0.1 PROPOSED SITE/ROOF PLAN
- A-0.2 1ST & 3RD FLOOR PLANS
- A-1.0 EXISTING/DEMOLITION PLANS
- A-2.0 CONSTRUCTION PLANS
- A-3.0 REFLECTED CEILING PLANS
- A-4.0 ELECTRICAL / EQUIPMENT PLANS
- A-5.0 EXISTING & PROPOSED EXTERIOR ELEVATIONS
- A-5.1 EXISTING & PROPOSED EXTERIOR ELEVATIONS
- A-5.2 EXISTING & PROPOSED EXTERIOR ELEVATIONS
- A-6.0 INTERIOR ELEVATIONS

SCOPE OF WORK

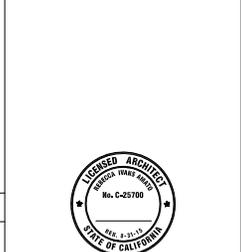
- ENCLOSE APPROX. 48 SF OF AN EXISTING ROOF DECK AT THE 4TH FLOOR TO CREATE A POWDER ROOM. REQUESTING VARIANCE FOR ADDITION WITHIN REAR YARD SETBACK.
- BUILD-OUT 2ND FLOOR STORAGE ROOM TO CREATE GUEST BEDROOM. ADD BATHROOM WITHIN GUEST SUITE.

SQUARE FOOTAGE SUMMARY:

SQUARE FOOTAGE	EXISTING	NEW	CHANGE
4TH AREA	6665	6665	0
LOT FLOOR	780	828	+48
3RD FLOOR	2656	2656	0
2ND FLOOR	1054	1054	0
1ST FLOOR	923	923	0
TOTAL	5413	5461	+48



1396 PARK AVENUE
EMERYVILLE CA, 94608
T E L E 510.420.0210
C E L L 510.499.2080



PROJECT PROGRESSION:	DATE:
ISSUED FOR ENGINEERING	08.12.14
ISSUE FOR PLANNING/VARIANCE	09.09.14
SITE PLAN UPDATE	09.26.14

RESIDENTIAL REMODEL

430 EL CAMINO DEL MAR
SAN FRANCISCO, CA 94121
APN NO. 1308-008

SHEET TITLE:
COVER SHEET / SITE PLAN

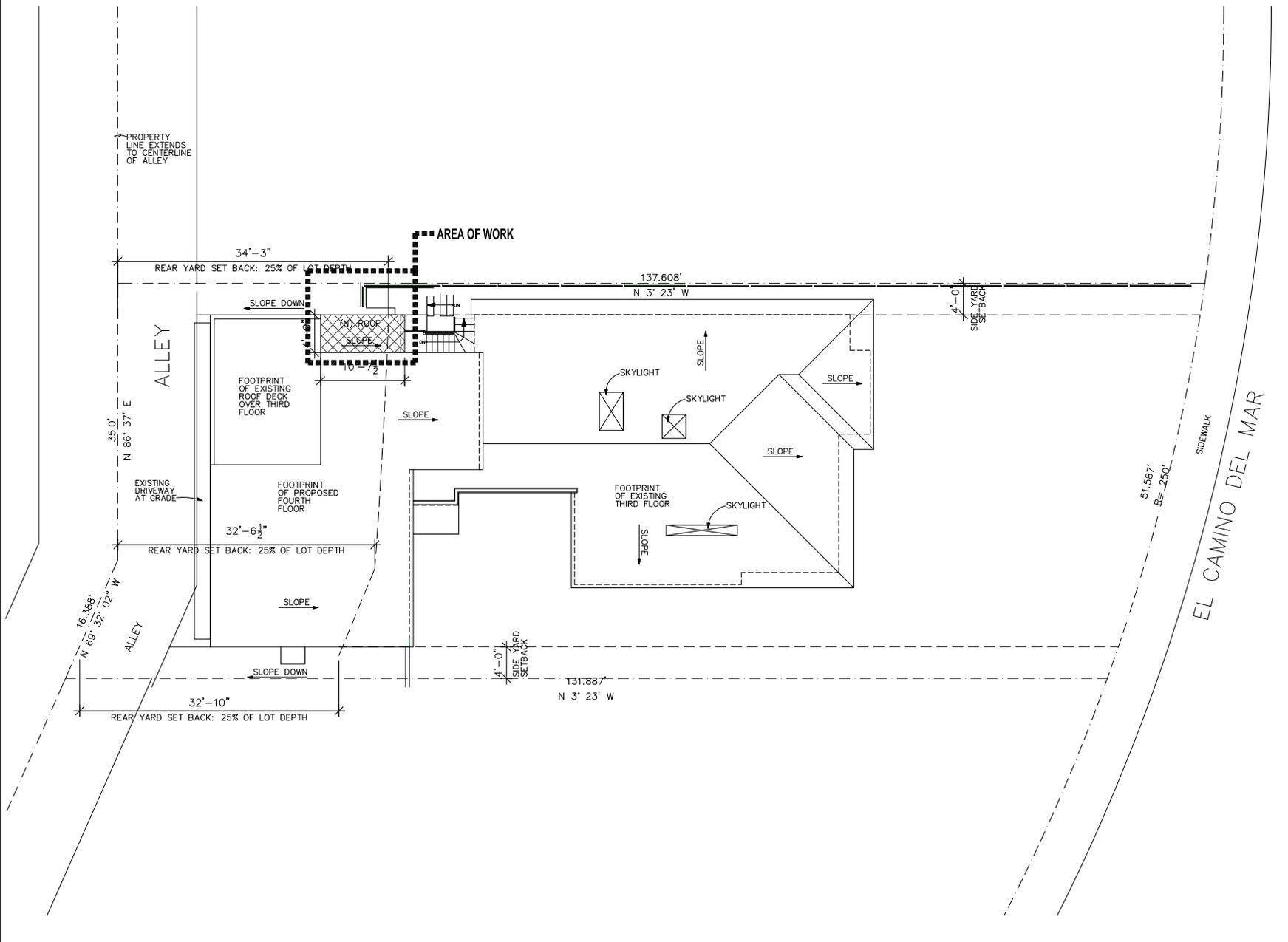
SCALE AS NOTED
DRAWN BY: RAM
JOB # 2014-18
PLOT PLAN NORTH

A-0.0

SHEET NO.:

PROPOSED SITE / ROOF PLAN

3/16"=1'-0"



AMATO ARCHITECTURE
 1396 PARK AVENUE
 EMERYVILLE CA, 94608
 T E L E 510.420.0210
 C E L L 510.499.2080



PROJECT PROGRESSION:	DATE:
ISSUED FOR ENGINEERING	08.12.14
ISSUE FOR PLANNING/VARIANCE	09.09.14

RESIDENTIAL REMODEL

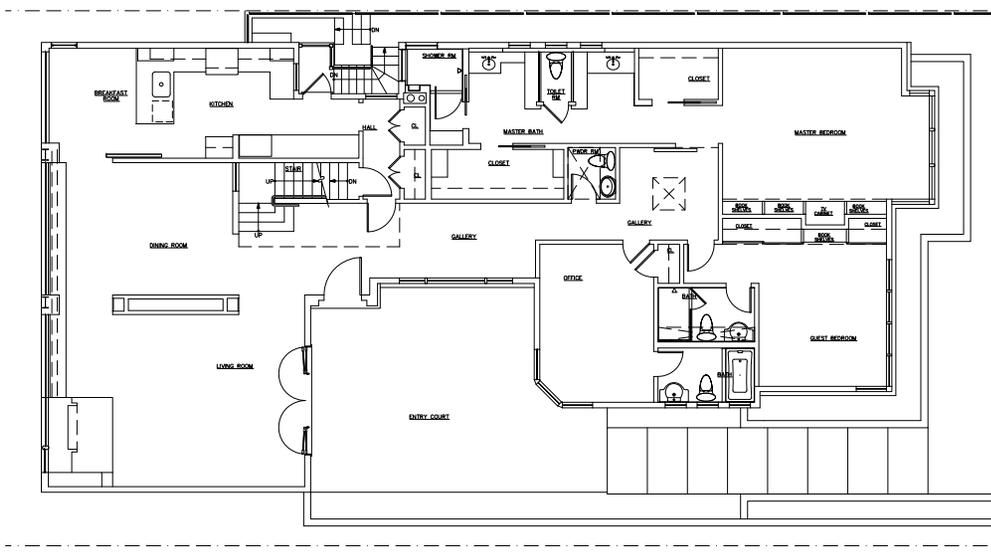
430 EI CAMINO DEL MAR
 SAN FRANCISCO, CA 94121
 APN NO. 1308-008

SHEET TITLE:	
PROPOSED SITE / ROOF PLAN	
SCALE:	3/16"=1'-0"
DRAWN BY:	RAM
JOB #:	2014-18
PLOT PLAN	
NORTH	

SHEET NO: **A-0.1**

EXISTING 3RD FLOOR PLAN

3/16"=1'-0"

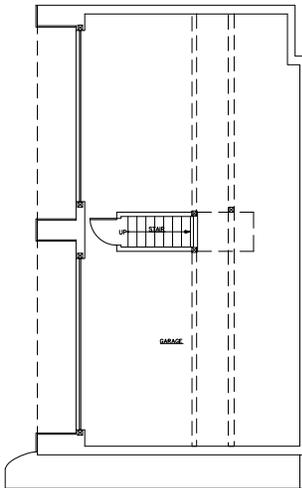


AMATO ARCHITECTURE
 1396 PARK AVENUE
 EMERYVILLE CA, 94608
 T E L E 510.420.0210
 C E L L 510.499.2080



EXISTING 1ST FLOOR PLAN

3/16"=1'-0"



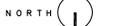
PROJECT PROGRESSION:	DATE:
ISSUED FOR ENGINEERING	08.12.14
ISSUE FOR PLANNING/VARIANCE	09.26.14

RESIDENTIAL REMODEL

430 EI CAMINO DEL MAR
 SAN FRANCISCO, CA 94121
 APN NO. 1308-008

SHEET TITLE:
 1ST & 3RD
 FLOOR PLANS

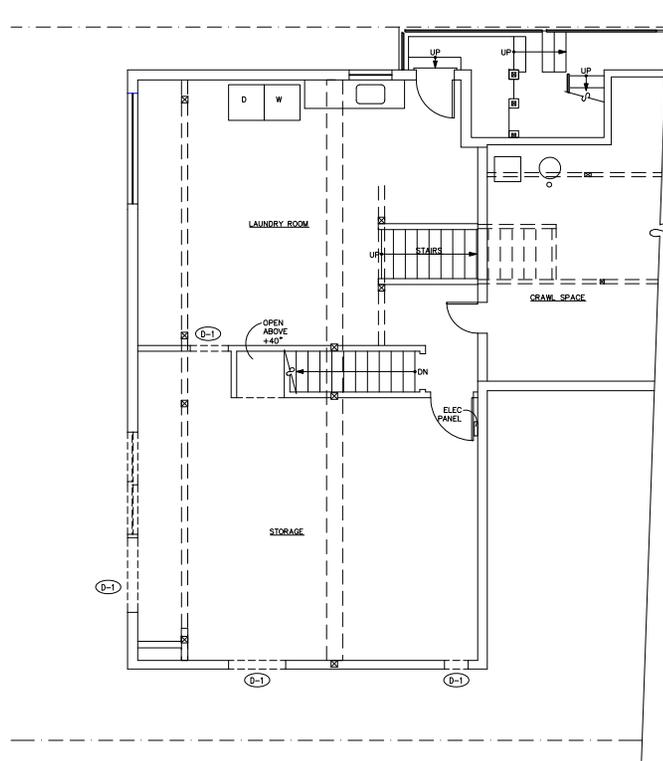
SCALE 3/16"=1'-0"
 DRAWN BY RAM
 JOB # 2014-18
 PLOT PLAN



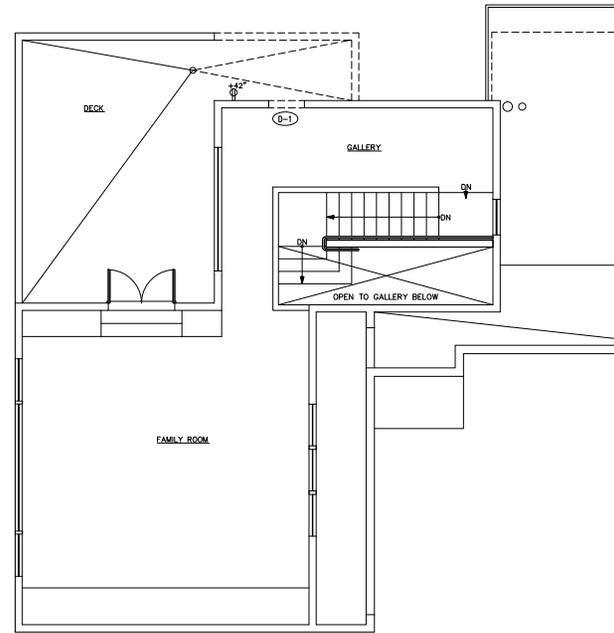
**NOTE: PLANS SHOWN FOR REFERENCE ONLY
 NO WORK TO BE DONE ON THESE FLOORS**

SHEET NO: **A-0.2**

DEMOLITION PLAN - 2ND FLOOR



DEMOLITION PLAN - 4TH FLOOR



DEMOLITION & CONSTRUCTION LEGEND

- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING WALLS TO BE DEMOLISHED.
- ▲
3.0 - ELEVATION SYMBOL
- 3.0 - SHEET NUMBER

DEMOLITION NOTES:

GENERAL NOTES:
 * CONTRACTOR TO PROTECT ALL EXISTING AREAS FROM DUST AND DEBRIS CAUSED BY DEMOLITION WORK AND VERIFY THAT THE JOB SITE IS KEPT CLEAN, WITH CONSTANT REMOVAL OF DEBRIS, AS REQUIRED.

- D-1 CREATE OPENINGS IN EXISTING WALLS AS REQUIRED FOR NEW DOORS AND WINDOWS.
- D-2 .

AMATO ARCHITECTURE
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PROJECT PROGRESSION:	DATE:
ISSUED FOR ENGINEERING	08.12.14
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RESIDENTIAL REMODEL

430 EI CAMINO DEL MAR
 SAN FRANCISCO, CA 94121
 APN NO. 1308-008

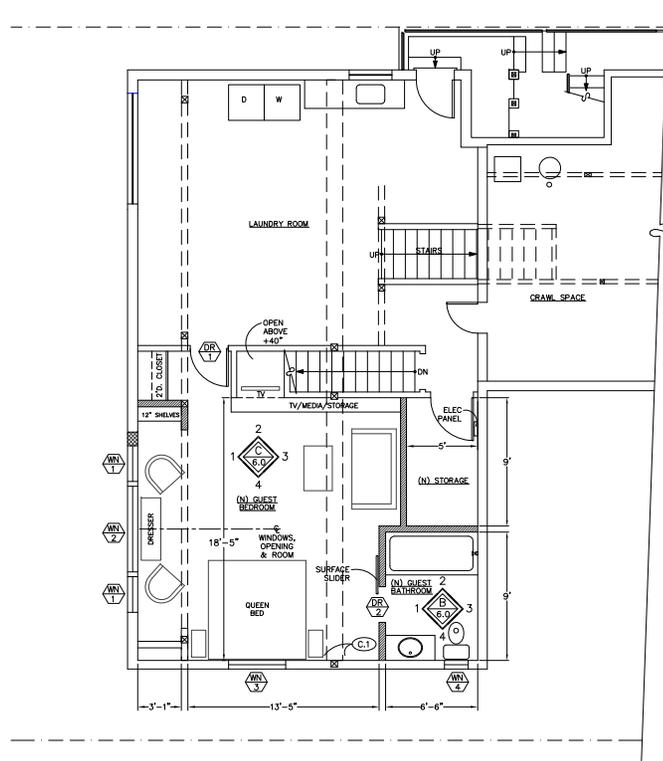
SHEET TITLE:
EXISTING / DEMOLITION PLANS

SCALE 1/4"=1'-0"
 DRAWN BY RAM
 JOB # 2014-18

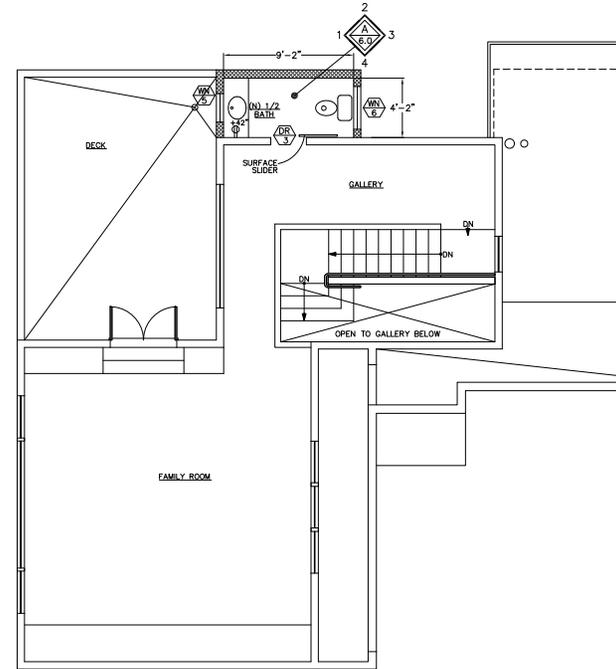
PLOT PLAN
 NORTH

SHEET NO: **A-1.0**

CONSTRUCTION PLAN - 2ND FLOOR



CONSTRUCTION PLAN - 4TH FLOOR



AMATO ARCHITECTURE
 1396 PARK AVENUE
 EMERYVILLE, CA, 94608
 T E L E 510.420.0210
 C E L L 510.499.2080



PROJECT PROGRESSION:	DATE:
ISSUED FOR ENGINEERING	08.12.14
ISSUE FOR PLANNING/VARIANCE	09.09.14

RESIDENTIAL
 REMODEL

430 EI CAMINO DEL MAR
 SAN FRANCISCO, CA 94121
 APN NO. 1308-008

SHEET TITLE:
 CONSTRUCTION PLANS

SCALE 1/4"=1'-0"
 DRAWN BY RAM
 JOB # 2014-18



SHEET NO: **A-2.0**

CONSTRUCTION LEGEND

- EXISTING CONSTRUCTION TO REMAIN.
- NEW EXTERIOR WALLS - MATCH EXISTING
- NEW FULL HT. INTERIOR WALLS - MATCH EXISTING
- NEW CABINETRY
- NEW LOW HT. INTERIOR WALLS - CONFIRM HT. ON SITE
- DOOR AND WINDOW SYMBOL REFER TO SCHEDULE, THIS SHEET
- ELEVATION SYMBOL
- SHEET NUMBER

CONSTRUCTION NOTES:

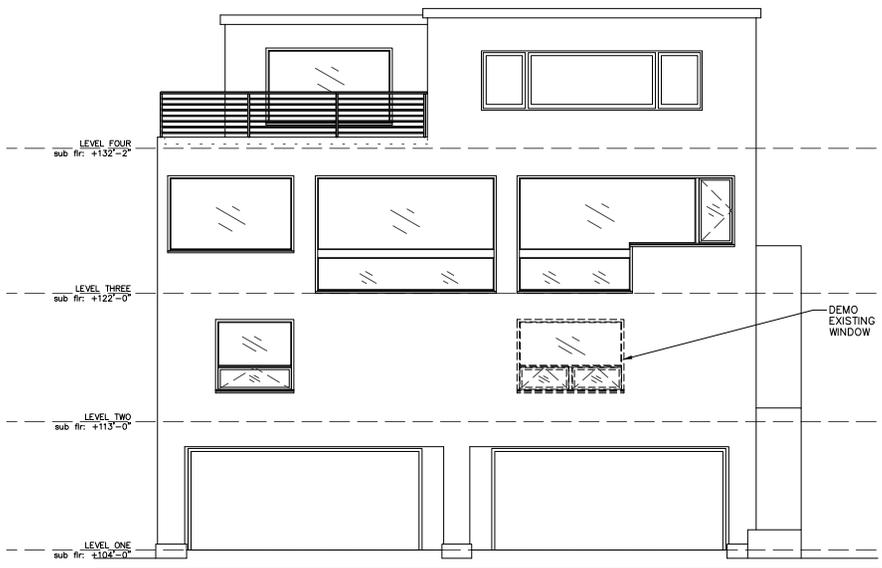
- (C.1) RELOCATE (E) LOW VOLTAGE TRANSFORMERS.
- (C.2) EXPAND (E) RADIANT HEAT SYSTEM.
- (C.3)

DOOR SCHEDULE

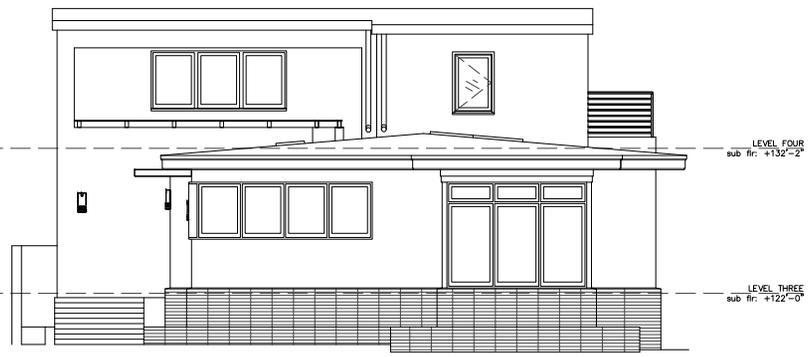
- 2'-8"W. X 6'-8"H. SINGLE INTERIOR DOOR IN PAINT GRADE FRAME. (QTY. 1)
- 2'-6"W. X 8'-0"H. SINGLE WOOD W/ GLASS PANEL SURFACE SLIDING DOOR W/ RECESSED CEILING TRACK, MATCH EXISTING. (QTY. 1)
- 2'-6"W. X 7'-5"H. SINGLE WOOD W/ GLASS PANEL SURFACE SLIDING DOOR, W/ RECESSED CEILING TRACK, MATCH EXISTING. (QTY. 1)

WINDOW SCHEDULE

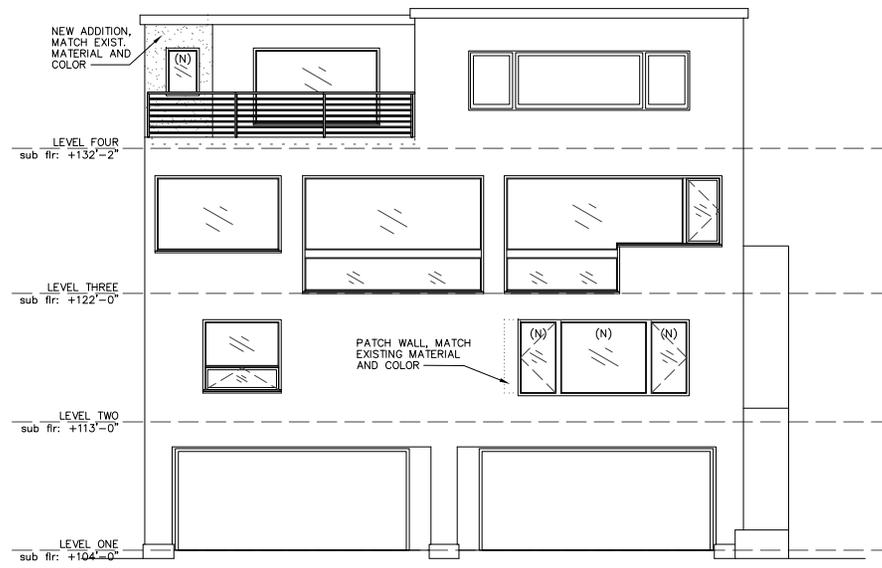
- 2'-6"W X 5'-0"H CASEMENT WINDOW @ GUEST BEDROOM, (QTY. 2).
- 6'-0"W X 5'-0"H FIXED WINDOW @ GUEST BEDROOM, (QTY. 1).
- 4'-0"W X 2'-0"H FIXED WINDOW @ GUEST BEDROOM, (QTY. 1).
- 1'-8"W X 3'-0"H FIXED WINDOW @ GUEST BATHROOM, (QTY. 1).
- 2'-0"W X 3'-0"H FIXED WINDOW @ 1/2 BATHROOM, OBSCURED PRIVACY GLASS, (QTY. 1).
- 3'-0"W X 3'-0"H CASEMENT WINDOW @ 1/2 BATHROOM, (QTY. 1).



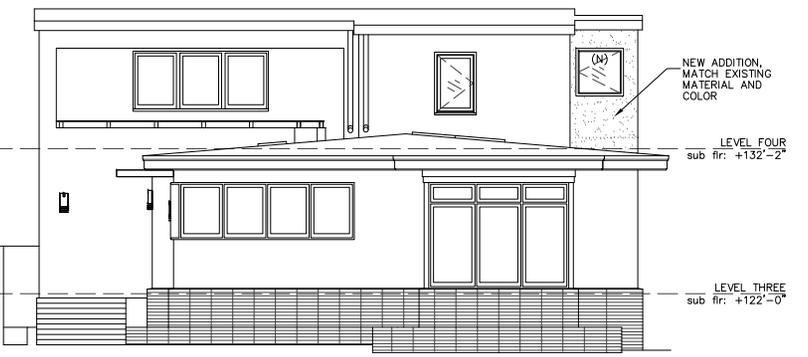
A EXISTING EXTERIOR ELEVATION NORTH FACADE



C EXISTING EXTERIOR ELEVATION SOUTH FACADE



B PROPOSED EXTERIOR ELEVATION NORTH FACADE



D PROPOSED EXTERIOR ELEVATION SOUTH FACADE

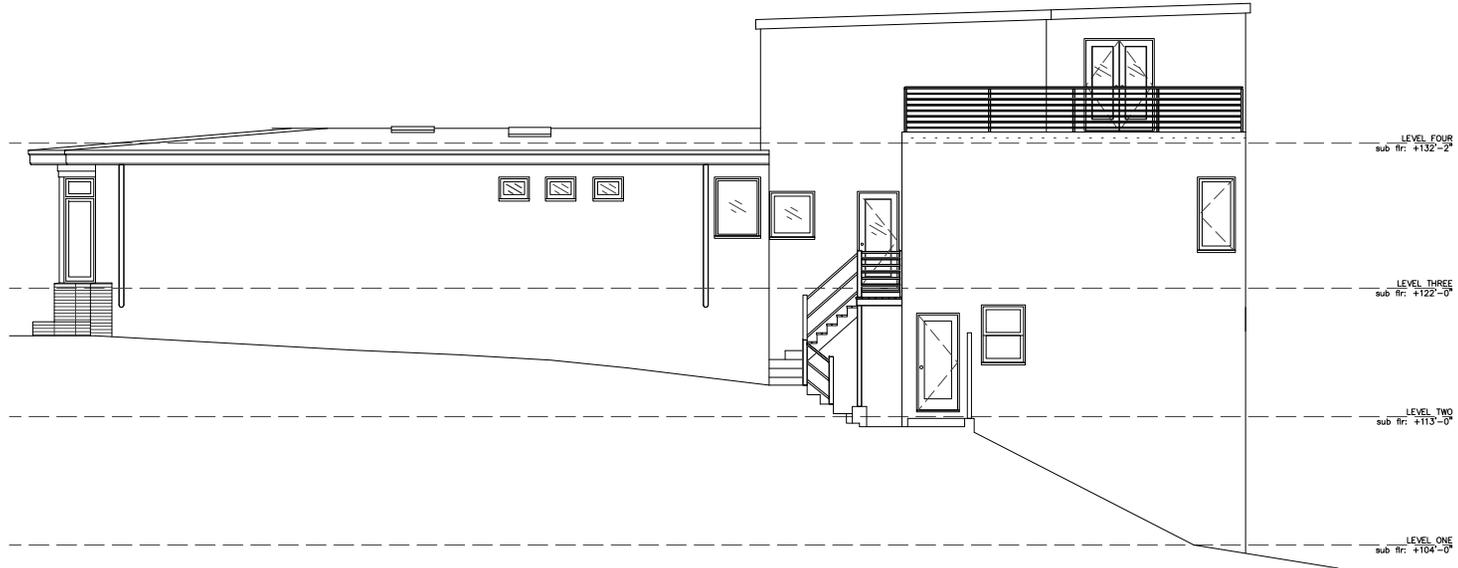
PROJECT PROGRESSION:	DATE:
ISSUED FOR ENGINEERING	08.12.14
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RESIDENTIAL REMODEL

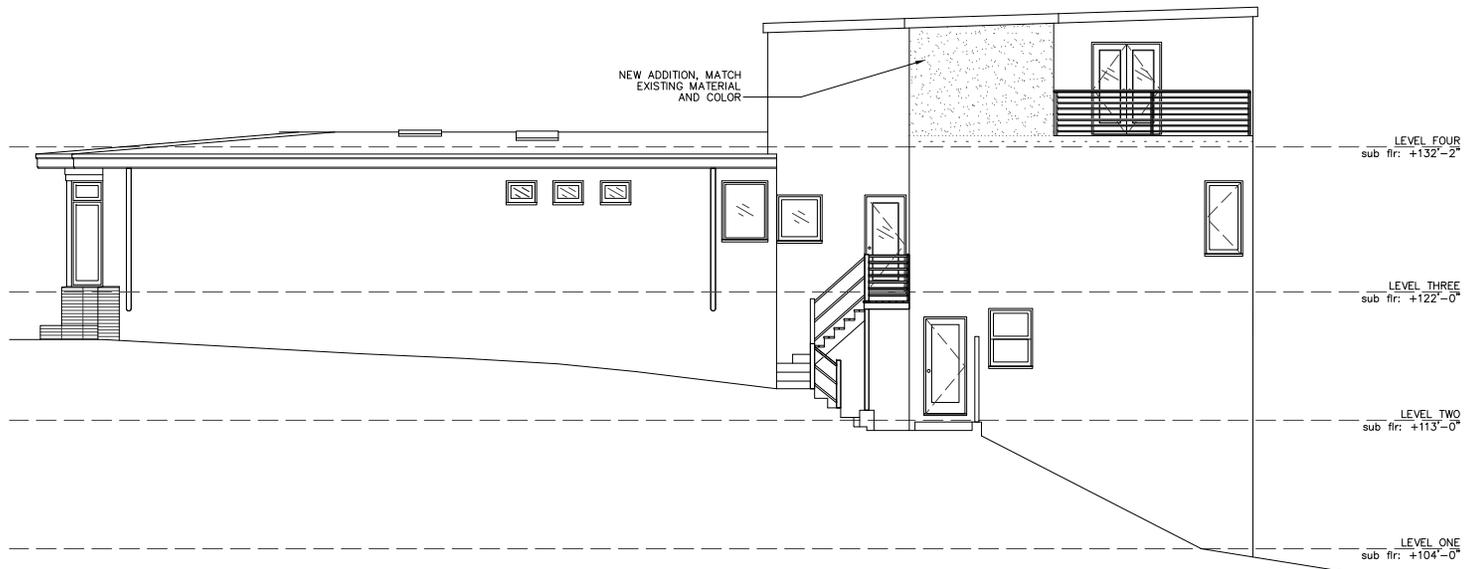
430 EI CAMINO DEL MAR
 SAN FRANCISCO, CA 94121
 APN NO. 1308-008

SHEET TITLE:	
EXISTING / PROPOSED EXTERIOR ELEVATIONS	
SCALE	1/4"=1'-0"
DRAWN BY	RAM
JOB #	2014-18
PLOT PLAN	

SHEET NO: **A-5.0**



E EXISTING EXTERIOR ELEVATION EAST FACADE



F PROPOSED EXTERIOR ELEVATION EAST FACADE

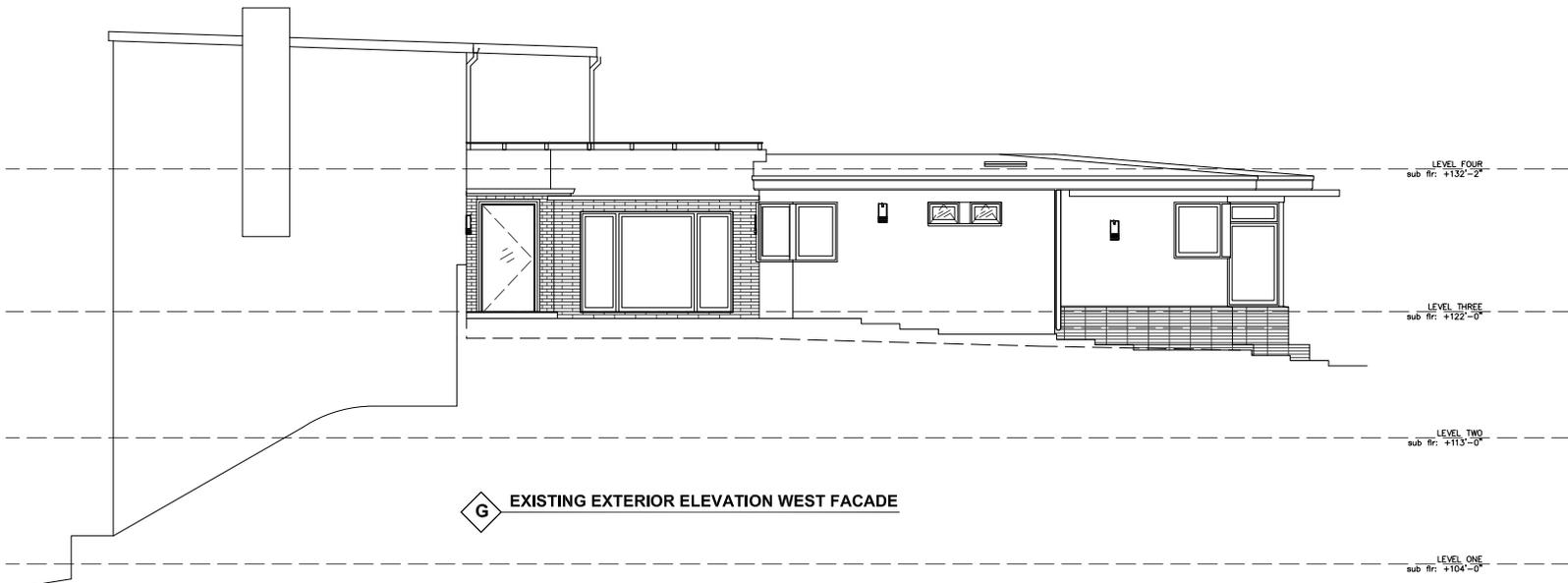
PROJECT PROGRESSION:	DATE:
ISSUED FOR ENGINEERING	08.12.14
ISSUE FOR PLANNING/VARIANCE	09.09.14

RESIDENTIAL REMODEL

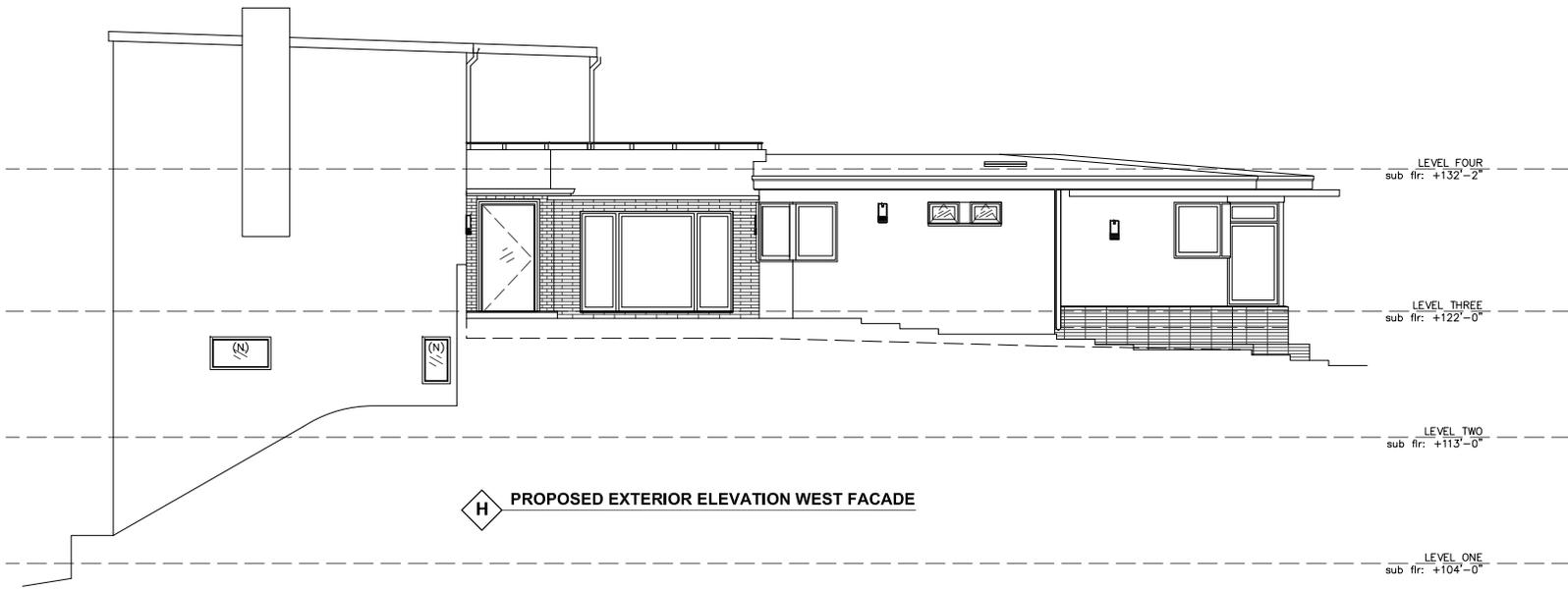
430 EI CAMINO DEL MAR
 SAN FRANCISCO, CA 94121
 APN NO. 1308-008

SHEET TITLE:	
ELECTRICAL / PLUMBING / EQUIPMENT PLANS	
SCALE	1/4"=1'-0"
DRAWN BY	RAM
JOB #	2014-18
PLOT PLAN	

SHEET NO: **A-5.1**



G EXISTING EXTERIOR ELEVATION WEST FACADE



H PROPOSED EXTERIOR ELEVATION WEST FACADE

PROJECT PROGRESSION:	DATE:
ISSUED FOR ENGINEERING	08.12.14
ISSUE FOR PLANNING/VARIANCE	09.09.14

RESIDENTIAL REMODEL

430 EI CAMINO DEL MAR
 SAN FRANCISCO, CA 94121
 APN NO. 1308-008

SHEET TITLE:
 ELECTRICAL / PLUMBING /
 EQUIPMENT PLANS

SCALE: 1/4"=1'-0"
DRAWN BY: RAM
JOB #: 2014-18

PLOT PLAN

SHEET NO: **A-5.2**