



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, November 18, 2009**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Parking and Exposure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 4465-4467 24th Street Cross Street(s): Grand View/Fountain Block /Lot No.: 6501/042 Zoning District(s): RM-1/40-X Area Plan: N/A	Case No.: 2006.1386V Building Permit: N/A Applicant/Agent: Ahmad Larizadeh Telephone: (415) 716-9099 E-Mail: banainc@aol.com

PROJECT DESCRIPTION

The proposal is to legalize a third ground floor unit without providing required parking or required exposure to an open area at the existing 3-story building.

Section 151 of the Planning Code requires one independently accessible off –street parking space for each dwelling unit. There are 2 existing parking spaces where 3 would be required.

Section 140 of the Planning Code requires that each dwelling unit shall have at least one window that faces directly on an open area with a minimum dimension of at least 25-feet in every horizontal dimension. The proposed ground floor unit does not have at least one window that meets this requirement.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon Lai** Telephone: **(415) 575-9087** E-Mail: sharon.lai@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at:

http://www.sfgov.org/site/uploadedfiles/planning/Public_Records/Variances/2006.1386V.pdf

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

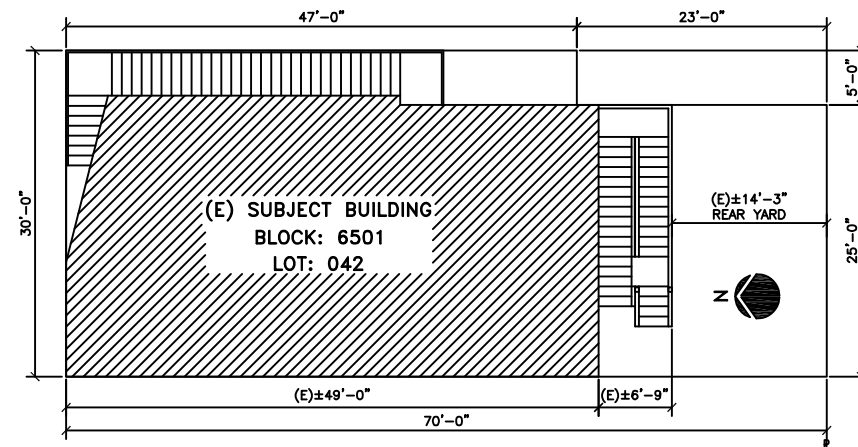
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ADDITION OF 1-DWELLING UNIT IN AN EXISTING
2-UNIT RESIDENTIAL BUILDING

4465-4467 / 24TH. STREET
SAN FRANCISCO, CA. 94118



PLOT PLAN

1
1/8"=1'-0"

ABBREVIATIONS

⊙	AT	FD	FLOOR DRAIN	MECH	MECHANICAL	S	SOUTH
⊘	CENTERLINE	FE	FIRE EXTINGUISHER	MEMB	MEMBRANE	SC	SOLID CORE
(E)	EXISTING	FEC	FIRE EXTINGUISHER	MET	METAL	SECT	SECTION
ℙ	PROPERTY LINE	FIN	FINISH	MFR	MANUFACTURER	SHWR	SHOWER
AD	AREA DRAIN	FLR	FLOOR	MH	MANHOLE	SHT	SHEET
ASB	ASBESTOS	FOS	FACE OF STUD	MISC	MISCELLANEOUS	SPECS	SPECIFICATIONS
A.F.F.	ABOVE FIN. FLR.	FT	FOOT, FEET	MTD	MOUNTED	SQ	SQUARE
BD	BOARD	GA	GAUGE	M.C.	MEDICINE CABINET	S.STL	STAINLESS STEEL
BLDG	BUILDING	GALV	GALVANIZED	MIC	MICROWAVE	S.SK	SERVICE SINK
BLK	BLOCK	GB	GRAB BAR	(N)	NEW	STD	STANDARD
BOT	BOTTOM	GL	GLASS	NIC	NOT IN CONTRACT	STL	STEEL
BUR	BUILT-UP ROOFING	G.I.	GALVANIZED IRON	NO./#	NUMBER		
CAB	CABINET	GND	GROUND	NOM	NOMINAL		
C.B.	CATCH BASIN	GYP	GYPSPUM	NTS	NOT TO SCALE	STOR	STORAGE
CEM	CEMENT			OA	OVERALL	STRUC	STRUCTURAL
CER	CERAMIC			OBS	OBSURE	SYM	SYMMETRICAL
CLG	CEILING	HB	HOSE BIBB	O.C.	ON CENTER		
CLR	CLEAR	HC	HOLLOW CORE	O.D.	OUTSIDE DIAMETER	TB	TOWEL BAR
CLO	CLOSET	HDWD	HARDWOOD	OFF	OFFICE	TC	TOP OF CURB
COL	COLUMN	HM	HOLLOW METAL	OPP	OPPOSITE	TEL	TELEPHONE
CONSTR	CONSTRUCTION	HORIZ	HORIZONTAL			TER	TERRAZZO
CONT	CONTINUOUS	HR	HOUR	PL	PLATE	T/G	TONGUE & GROOVE
CTR	CENTER	HT	HEIGHT	PLAS	PLASTER	T/C	TRASH COMPACTOR
		HTR	HEATER	PLYWD	PLYWOOD	TYP.	TYPICAL
				PR	PAIR		
				PT	POINT	UNF.	UNFINISHED
DBL	DOUBLE					UON	UNLESS OTHERWISE NOTED
D.F.	DRINKING FOUNTAIN	ID	INSIDE DIAMETER	Q.T.	QUARRY TILE	VERT	VERTICAL
DET	DETAIL	INSUL	INSULATION				
DIM	DIMENSION	INT	INTERIOR				
DIA	DIAMETER			R	RISER	W	WEST
DISP	DISPENSER			RAD	RADIUS	W/	WITH
DN	DOWN	JT	JOINT	RD	ROOF DRAIN	WD	WOOD
DR	DOOR			REF	REFERENCE	W/O	WITHOUT
DWR	DRAWER	KIT	KITCHEN	REFR	REFRIGERATOR	WP	WATERPROOF
DS	DOWNSPOUT			REINF	REINFORCED	WSC	WAINSCOT
DWG	DRAWING	LAM	LAMINATE	REQ'D	REQUIRED	WT	WEIGHT
		LAV	LAVATORY	RESIL	RESILIENT	W/H	WATER HEATER
E	EAST	LT	LIGHT	RM	ROOM	WDW	WINDOW
EA	EACH			RO	ROUGH OPENING		
EL	ELEVATION			RWD	REDWOOD		
ELEC	ELECTRICAL			RWL	RAIN WATER LEADER		
EQ	EQUAL						
EQUIP	EQUIPMENT						
EXIST	EXISTING						
EXP	EXPANSION						
EXT	EXTERIOR						

PROJECT DATA:

OWNER: JIMMIE M. JOHNSON 1195 TRUST
ADDRESS: 4465-4467 24TH. STREET
SAN FRANCISCO, CA. 94114
LOT : 042 BLOCK : 0304
ZONING: RM-1
TYPE OF CONSTR: 5B
NO. OF STORIES: 3 STORY
NO. OF BASEMENTS: 0
PRESENT USE: 2-UNIT RESIDENTIAL
PROPOSED USE: 3-UNIT RESIDENTIAL

APPLICABLE CODES:

JURISDICTION: CITY & COUNTY OF SAN FRANCISCO
BUILDING CODE:
2007 CALIFORNIA BUILDING CODE ADMENDMENTS
2007 CALIFORNIA MECHANICAL CODE
2007 CALIFORNIA ELECTRICAL CODE
2007 CALIFORNIA PLUMBING CODE
2007 CALIFORNIA ENERGY CODE
2007 CALIFORNIA FIRE CODE & ALL RELATED
2007 SAN FRANCISCO MUNICIPAL CODE ORDINANCES

DRAWINGS

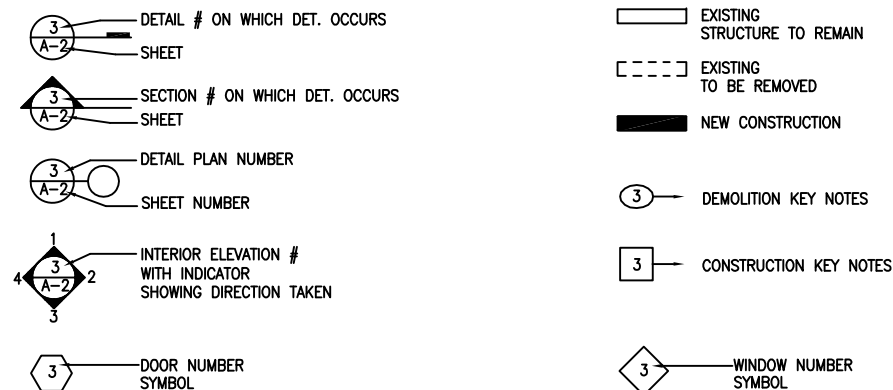
ARCHITECTURAL

A0.0 COVER SHEET, PROJECT DATA & SITE PLAN
A2.0 EXISTING & PROPOSED 1ST./2ND./3RD. FLOOR PLANS
A3.0 NORTH/SOUTH/EAST/WEST ELEVATIONS

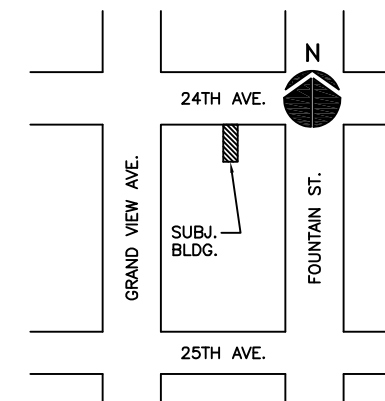
SCOPE OF WORK

TO CONVERT BUILDING FROM (2) UNITS TO (3) UNITS. LEGALIZE 3RD. UNIT @ GROUND FLOOR.

LEGEND



VICINITY MAP



AHMAD LARIZADEH

70 - 13TH. STREET
SAN FRANCISCO, CA. 94103

TEL: (415) 621-4330
FAX: (415) 621-4330

E-MAIL: BANAINC@ATT.NET

CONSULTANT

PROJECT TITLE

ADDING 1-DWELLING
UNIT TO (E) 2-UNIT
RES. BLDG.

4465-4467 24TH. STREET
SAN FRANCISCO, CA.
94114

NO. DATE REVISIONS

DRAWN

CHECK1 A. LARIZADEH

CHECK2

FILE

4465-4467 24TH. ST.

PROJ.

FACILITY

RESIDENTIAL

DESIGNER

AHMAD LARIZADEH

SEPTEMBER 3, 2009

SCALE AS NOTED

DRAWING TITLE

COVER SHEET, PLOT PLAN

& PROJECT DATA

SHEET NO.

A0.0

Sheet ____ of ____ sheets.



AHMAD LARIZADEH

70 - 13TH, STREET
SAN FRANCISCO, CA, 94103

TEL: (415) 621-4330
FAX: (415) 621-4330

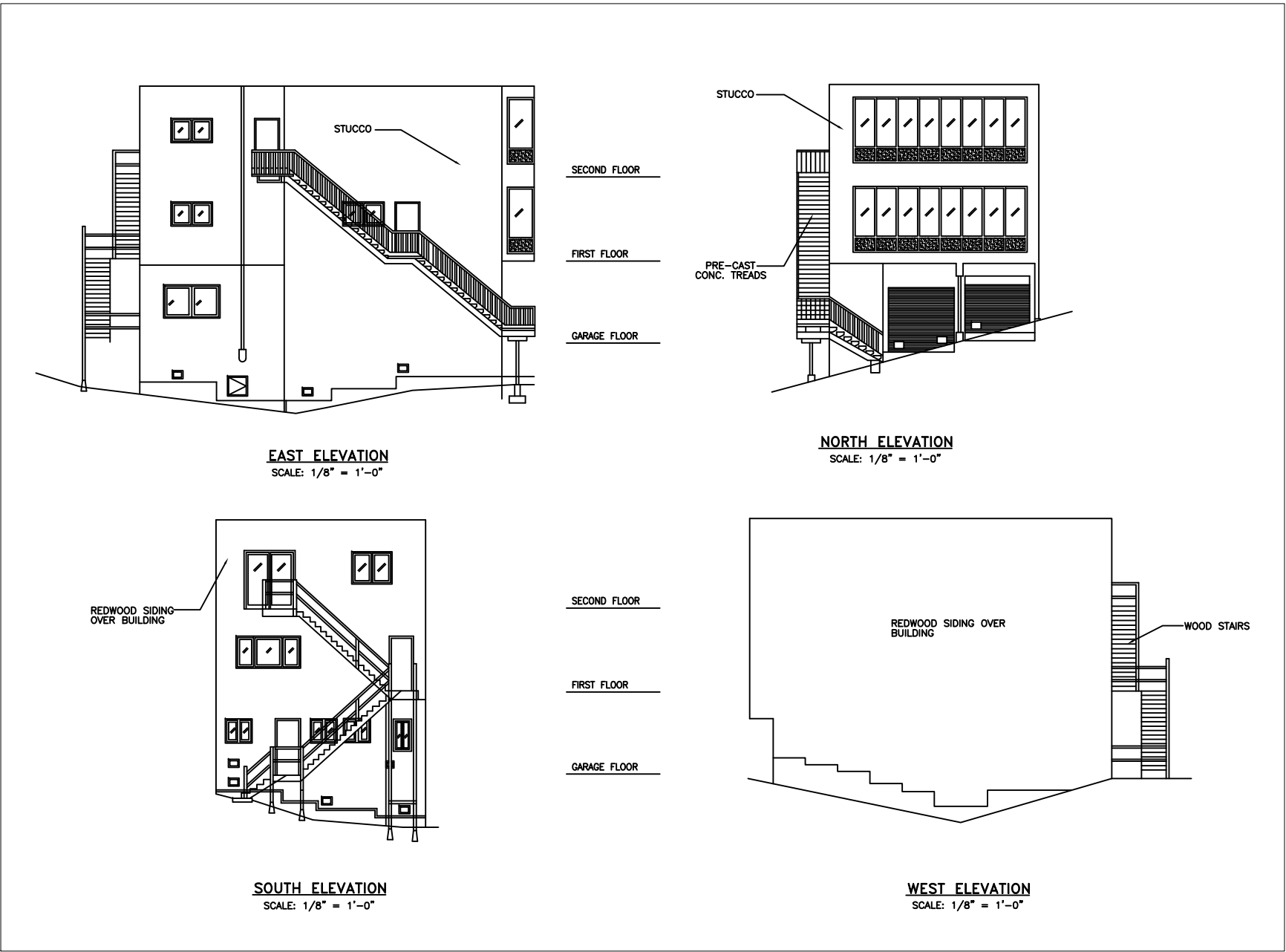
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ADDING 1-DWELLING
UNIT TO (E) 2-UNIT
RES. BLDG.

4465-4467 24TH. STREET
SAN FRANCISCO, CA.
94114



NO.	DATE	REVISIONS
DRAWN		
CHECK1		
CHECK2		
FILE		
PROJ.		
FACILITY		
DESIGNER		
AHMAD LARIZADEH	SEPTEMBER 3, 2009	

SCALE AS NOTED
0 1 2 3 4 5 6 7 8 9 10

DRAWING TITLE
EXTERIOR ELEVATIONS:
NORTH/SOUTH/EAST/WEST

SHEET NO.
A3.0
Sheet ____ of ____ sheets.