



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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GENERAL NOTES

- All work shall be in conformance with all applicable codes including but not limited to those listed in "Project Data," and to include all the requirements of other agencies having jurisdiction.
- All work shall be done in accordance with AIA General Conditions Documents A-201, the edition attached to the Construction Contract.
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 - Mechanical Plans
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GENERAL CONSTRUCTION NOTES:

- PROVIDE SMOKE DETECTORS AT BEDROOMS AND HALLWAYS PER CALIFORNIA BUILDING CODE.
- AT ALL HABITABLE AREAS, RECEPTACLE OUTLETS ARE TO BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - AT 12" O.C. MAXIMUM AND WITHIN 6 FEET FROM END OF WALLS.
 - ANY WALL SPACE 2' OR MORE FEET WIDE.
 - AT EACH KITCHEN COUNTER SPACE WIDER THAN 12", AND LOCATED SUCH THAT NO POINT ALONG THE COUNTER WALL IS MORE THAN 24" FROM A RECEPTACLE.
 - IN ANY HALLWAY MORE THAN 10' IN LENGTH.
 - ADJACENT TO EACH BATHROOM BASIN LOCATION.
- GROUND FAULT CIRCUIT INTERRUPT (GFCI) OUTLETS SHALL BE INSTALLED IN REMODELED AREAS AT THE FOLLOWING LOCATIONS:
 - GARAGE
 - BATHROOMS
 - ALL KITCHEN COUNTERTOPS
 - ALL EXTERIOR RECEPTICLES
 - ALL UNFINISHED BASEMENT AREAS
 - WITHIN 6 FEET OF WET BAR SINKS
- KITCHEN SHALL BE SUPPLIED WITH AT LEAST 2 SEPARATE 20 AMPERE SMALL APPLIANCE CIRCUITS.
- LAUNDRY SHALL BE SUPPLIED WITH AT LEAST ONE 20 AMPERE CIRCUIT FOR LAUNDRY APPLIANCES.
- BATHROOM RECEPTICLE OUTLETS SHALL BE ON A DEDICATED 20 AMPERE CIRCUIT AND SEPARATED FROM BATHROOM LIGHTING CIRCUITRY.
- PROVIDE A MINIMUM 100 SQ. IN. MAKE-UP AIR GRILL TO SERVE DRYER.
- WALL COVERINGS IN SHOWERS AND SHOWER /TUB COMBINATION UNITS SHALL BE CERAMIC TILE TO A HEIGHT OF +70", OVER APPROVED MORTAR BED OR CEMENTITIOUS TILE UNDERLAYMENT BOARD OVER A VAPOR BARRIER.
- ALL MATERIALS OTHER THAN STRUCTURAL ELEMENTS IN TUB / SHOWER AREAS ARE TO BE MOISTURE RESISTANT.
- GLASS ENCLOSURE DOORS AND PANELS SHALL BE LABELED CATEGORY II, WITH ALL DOORS TO SHOWER SWINGING OUTWARD.
- NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1024 SQ. IN. OF FLOOR AREA AND ENCOMPASS A 30" DIA. CIRCLE.
- ALL SHOWER AND TUB / SHOWERS ARE TO BE PROVIDED WITH PRESSURE BALANCING OR THERMOSTATIC MIXING VALVE CONTROLS.
- ALL NEW PLUMBING FIXTURES SHALL BE LOW FLOW WATER SAVING PLUMBING DEVICES.
- ALL NEW HANDRAILS INSTALLED IN REMODELED AREAS SHALL COMPLY WITH THE FOLLOWING:
 - A CONTINUOUS HANDRAIL IS REQUIRED FOR STAIRWAYS WITH 4 OR MORE RISERS.
 - THE TOP OF THE HANDRAIL SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS.
 - INTERMEDIATE BALUSTERS ON OPEN SIDES OF STAIRS AND LANDINGS SHALL BE SPACED SO THAT A SPHERE OF 4" IN DIA. CANNOT PASS THROUGH
 - HANDRAIL ENDS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
 - HANDGRIP SURFACE SHALL BE 1-1/4" TO 1-1/2" IN CROSS SECTION OR A SHAPE THAT PROVIDES AN EQUIVALENT SMOOTH GRIPPING SURFACE.
 - HANDRAILS SHALL HAVE MINIMUM 1-1/2" CLEARANCE FROM ANY WALL SURFACE.
- A PROTECTIVE GUARDRAIL SHALL BE PROVIDED WITH A MINIMUM HEIGHT OF 36" AT ALL DECKS, PORCHES, BALCONIES, RAISED FLOORS (MORE THAN 30" ABOVE GRADE OR FLOOR BELOW) AND OPEN SIDES OF STAIRS AND LANDINGS. OPENINGS BETWEEN BALUSTERS SHALL BE SUCH THAT A SPHERE 4" IN DIA. CANNOT PASS THROUGH.
- EACH BATHROOM WITH A SHOWER OR BATH TUB MUST HAVE AT LEAST ONE LUMINARY WITH AN EFFICACY OF AT LEAST 40 LUMENS PER WATT (FLOURESCENT OR APPROVED EQUAL).
- PRIMARY LIGHTING AT KITCHEN (FIRST SWITCH) SHALL CONTROL A LUMINARY WITH AN EFFICACY OF AT LEAST 40 LUMENS PER WATT (FLOURESCENT FIXTURE OR APPROVED EQUAL).
- PROVIDE ATTIC VENTILATION AT PROPOSED WORK AS PER C.B.C..
- PROVIDE ATTIC ACCESS WITH A MIN. OPENING AREA OF 22" X 30" WHERE ATTIC HEIGHT 30" OR GREATER AS PER C.B.C..
- AT LEAST ONE WINDOW IN EACH SLEEPING ROOM SHALL HAVE A RESCUE WINDOW THAT COMPLIES WITH C.B.C.. EACH RESCUE WINDOW SHALL HAVE A MIN. NET CLEAR OPEN AREA OF 5.7 SQUARE FEET, WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A CLEAR OPENING WIDTH OF 20". SILL HEIGHTS SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
- SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
 - GLAZING IN EGRESS OR EGRESS DOORS
 - GLAZING IN DOORS AND ENCLOSURE FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATH TUBS, AND SHOWERS.
 - GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE.
 - GLAZING WHERE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQ. FT., EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS LESS THAN 36" ABOVE THE FLOOR, AND THERE IS ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.

PROJECT DESCRIPTION:

REMODEL EXISTING COTTAGE TO TWO-FAMILY RESIDENTIAL STRUCTURE. CONSTRUCTION OF NEW 4-STORY THREE FAMILY RESIDENTIAL STRUCTURE WITH BASEMENT ON SAME LOT, UNDER SEPERATE PERMIT.

PROJECT INFO:

BLOCK / LOT: 3580 / 035
(E) USE: R3 - SINGLE FAMILY
PROPOSED USE: R3 - TWO-FAMILY
ZONING: RM-1
HEIGHT LIMIT: 40-X
LOT: 31' X ~136'
LOT AREA: 4,242 SQ. FT.
CONSTRUCTION: TYPE V-A, FULLY SPRINKLERED

SHEET INDEX

ARCHITECTURAL

A0.1	INDEX, PROJECT INFO, NOTES
A1.0	PROPOSED AND EXISTING SITE PLANS
A1.1	EXISTING / DEMOLITION PLANS
A1.2	EXISTING ELEVATIONS
A1.3	EXISTING ELEVATIONS
A1.4	PROPOSED COTTAGE SECTION AND COTTAGE DEMOLITION CALCULATIONS
A2.1	PROPOSED FIRST, SECOND FLOOR AND ROOF PLANS
A3.1	PROPOSED ELEVATIONS

BUILDING CALCS.

NEW 3 UNIT RESIDENTIAL BUILDING:

GARAGE:	663 SQ.FT.
ENTRY / LOBBY - FIRST FLOOR:	320 SQ.FT.
ENTRY / LOBBY - SECOND FLOOR:	91 SQ.FT.
UNIT #1 - BASEMENT:	747 SQ.FT.
UNIT #1 - FIRST FLOOR:	658 SQ.FT.
UNIT #1 - TOTAL:	1,405 SQ.FT.

UNIT #2 - SECOND FLOOR:	792 SQ.FT.
UNIT #2 - THIRD FLOOR:	972 SQ.FT.
UNIT #2 - FOURTH FLOOR:	737 SQ.FT.
UNIT #2 - TOTAL:	2,501 SQ.FT.

UNIT #2 - SECOND FLOOR DECK:	150 SQ.FT.
UNIT #2 - THIRD FLOOR DECK:	87 SQ.FT.
UNIT #2 - FOURTH FLOOR DECK:	322 SQ.FT.
UNIT #2 - ROOF DECK:	302 SQ.FT.

UNIT #3 - SECOND FLOOR:	822 SQ.FT.
UNIT #3 - THIRD FLOOR:	746 SQ.FT.
UNIT #3 - FOURTH FLOOR:	750 SQ.FT.
UNIT #3 - TOTAL:	2,318 SQ.FT.

UNIT #3 - THIRD FLOOR DECK:	51 SQ.FT.
UNIT #3 - FOURTH FLOOR DECK:	104 SQ.FT.
UNIT #3 - ROOF DECK:	302 SQ.FT.

NEW 3 UNIT RESIDENTIAL BUILDING	
TOTAL AREA:	7,268 SQ.FT.

REMODELED COTTAGE BUILDING:	
EXISTING FIRST FLOOR:	1,075 SQ.FT.
EXISTING SECOND FLOOR:	1,140 SQ.FT.
TOTAL AREA:	2,215 SQ.FT.

UNIT #4 - FIRST FLOOR:	574 SQ.FT.
UNIT #4 - SECONDFLOOR:	487 SQ.FT.
UNIT #4 - TOTAL:	1,061 SQ.FT.

UNIT #5 - FIRST FLOOR:	574 SQ.FT.
UNIT #5 - SECONDFLOOR:	487 SQ.FT.
UNIT #5 - TOTAL:	1,061 SQ.FT.

NEW REMODELED COTTAGE	
TOTAL AREA:	2,122 SQ.FT.

PROJECT DIRECTORY:

ARCHITECTURAL DRAWINGS
Y.A. studio
2407 Harrison Street, suite 2
San Francisco, CA 94110
415.920.1839

OWNER
Matt Pendergast & Bill Young
265 Dorland Street
San Francisco, CA 94114
415.726.5002

APPLICABLE CODES:

2007 CALIFORNIA BUILDING CODE
W/ 2007 S.F.ADMENDMENTS
2007 CALIFORNIA FIRE CODE
W/ 2007 S.F.ADMENDMENTS
2007 CALIFORNIA PLUMBING CODE
W/ 2007 S.F.ADMENDMENTS
2007 CALIFORNIA ELECTRICAL
W/ 2007 S.F.ADMENDMENTS
2007 CALIFORNIA MECHANICAL CODE
W/ 2007 S.F.ADMENDMENTS
2007 S.F. HOUSING CODE
2005 CALIFORNIA ENERGY CODE
ALL OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS



SITE

3 - LOCATION MAP

SCALE: N/A



SITE

2 - SITE PHOTO

SCALE: N/A



1 - STREET PHOTO

SCALE: N/A

Y.A. studio

2407 Harrison Street, #2, San Francisco, CA 94110
office 415.920.1839 fax 415.920.1840
www.ya-studio.com

PROJECT: REMODEL OF (E) REAR YARD COTTAGE

NEW CONSTRUCTION - 4 STORIES + BASEMENT
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035
265 DORLAND STREET, SAN FRANCISCO, CA

PROJECT:

STAMP

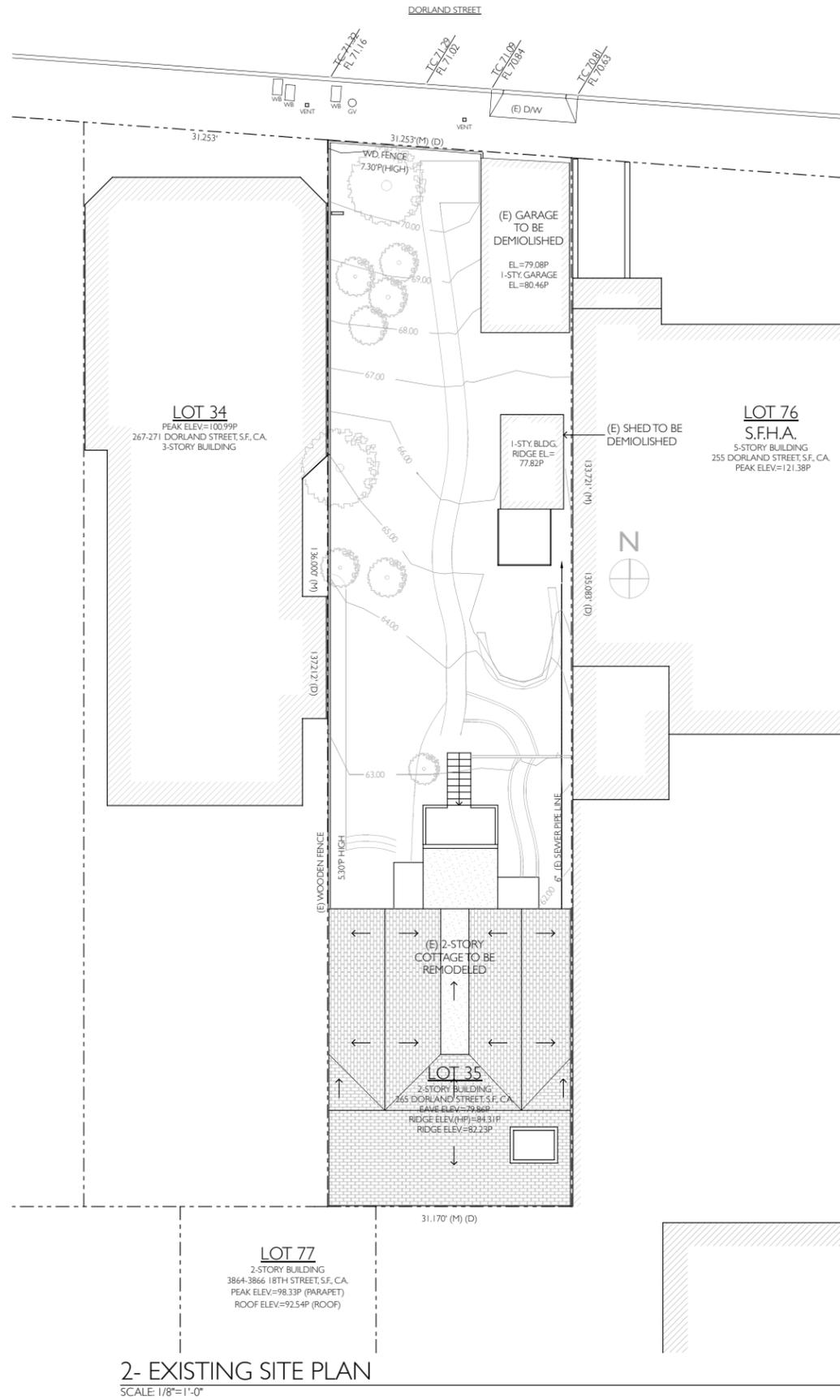
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INDEX, NOTES,
INFO

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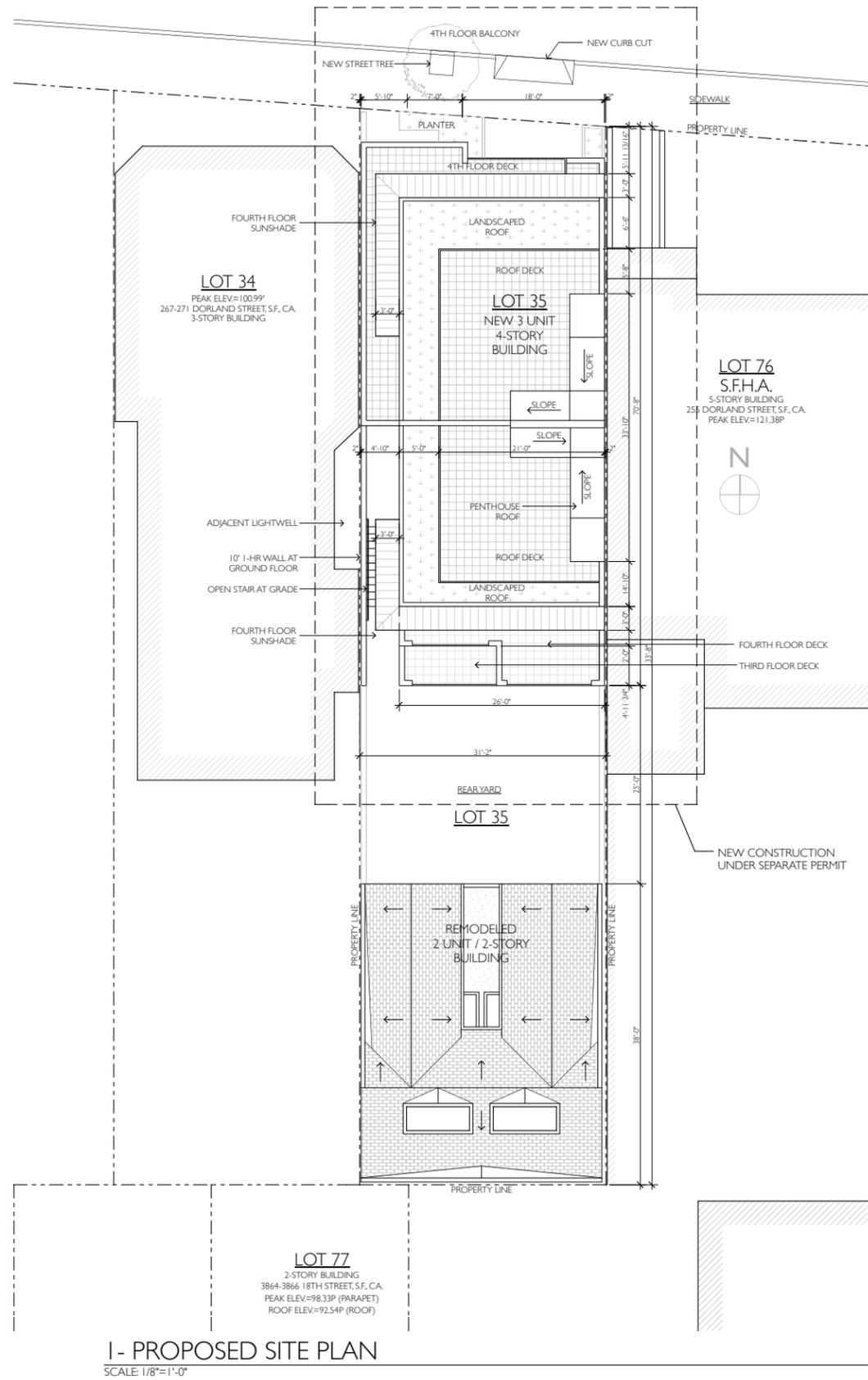
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DRAWN K.W.
CHECKED Y.A.
DATE 02.17.09

SHEET

A0.1



2- EXISTING SITE PLAN
SCALE: 1/8"=1'-0"



1- PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"



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A1.0

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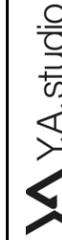
3- EXISTING FRONT ELEVATION AT COTTAGE
SCALE: 1/8"=1'-0"



2- EXISTING REAR ELEVATION
SCALE: 1/8"=1'-0"



1- EXISTING FRONT ELEVATION
SCALE: 1/8"=1'-0"



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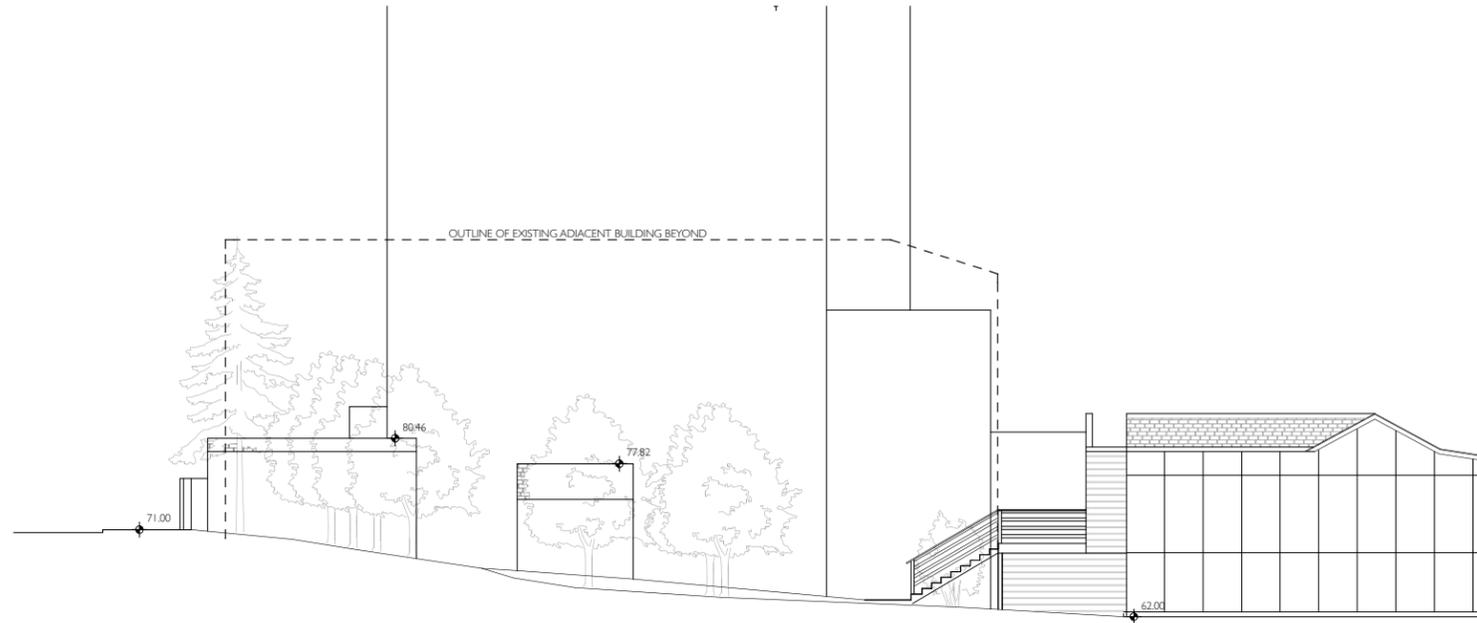
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EXISTING
ELEVATIONS

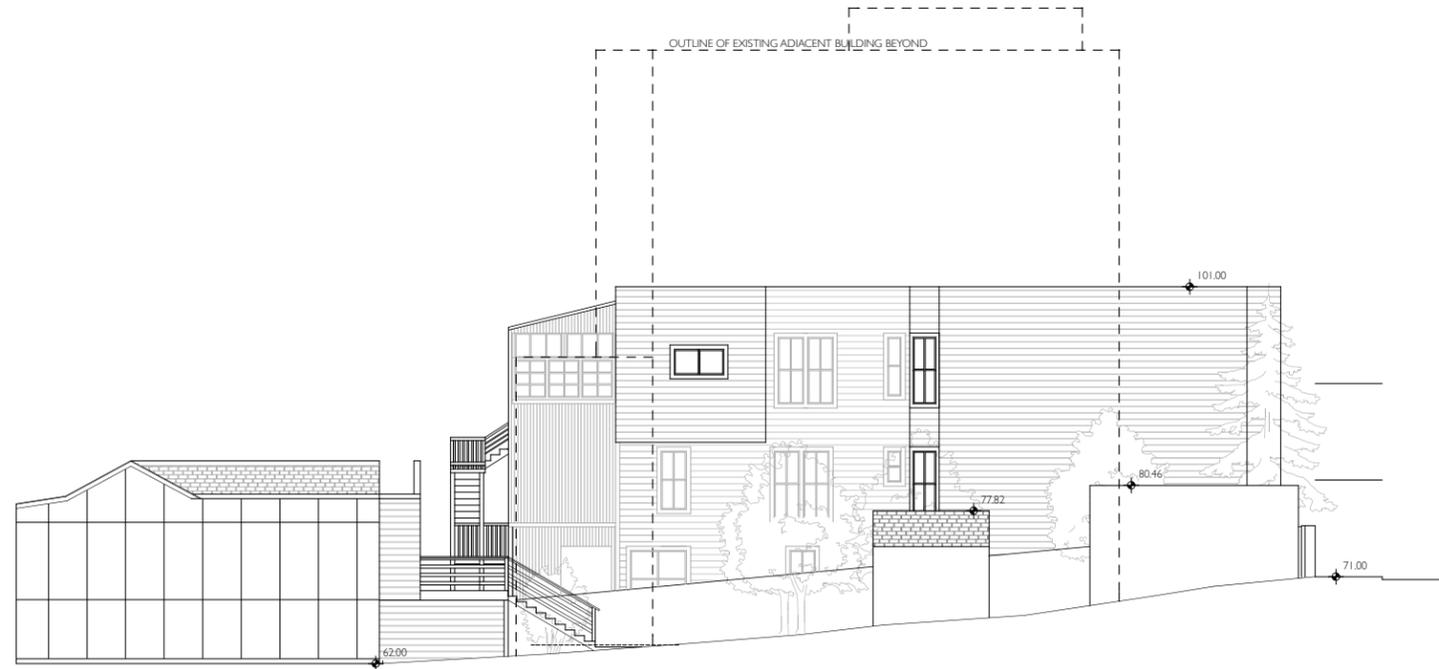
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A1.2



2- EXISTING SIDE ELEVATION
SCALE: 1/8"=1'-0"



1- EXISTING SIDE ELEVATION
SCALE: 1/8"=1'-0"



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TITLE
EXISTING SIDE ELEVATIONS

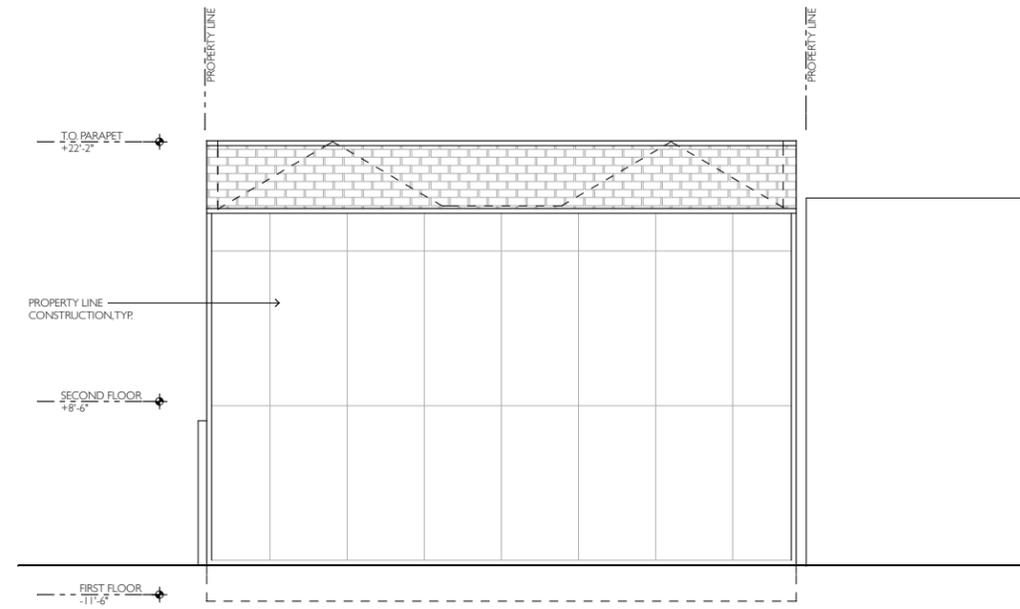
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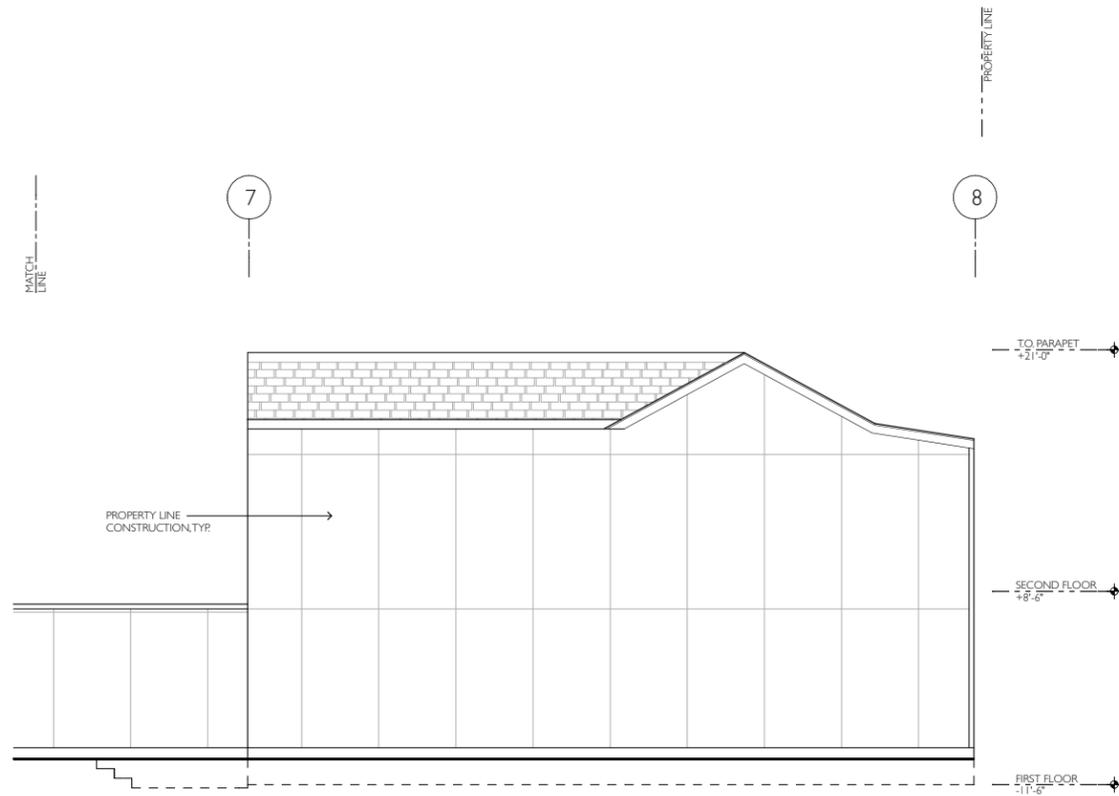
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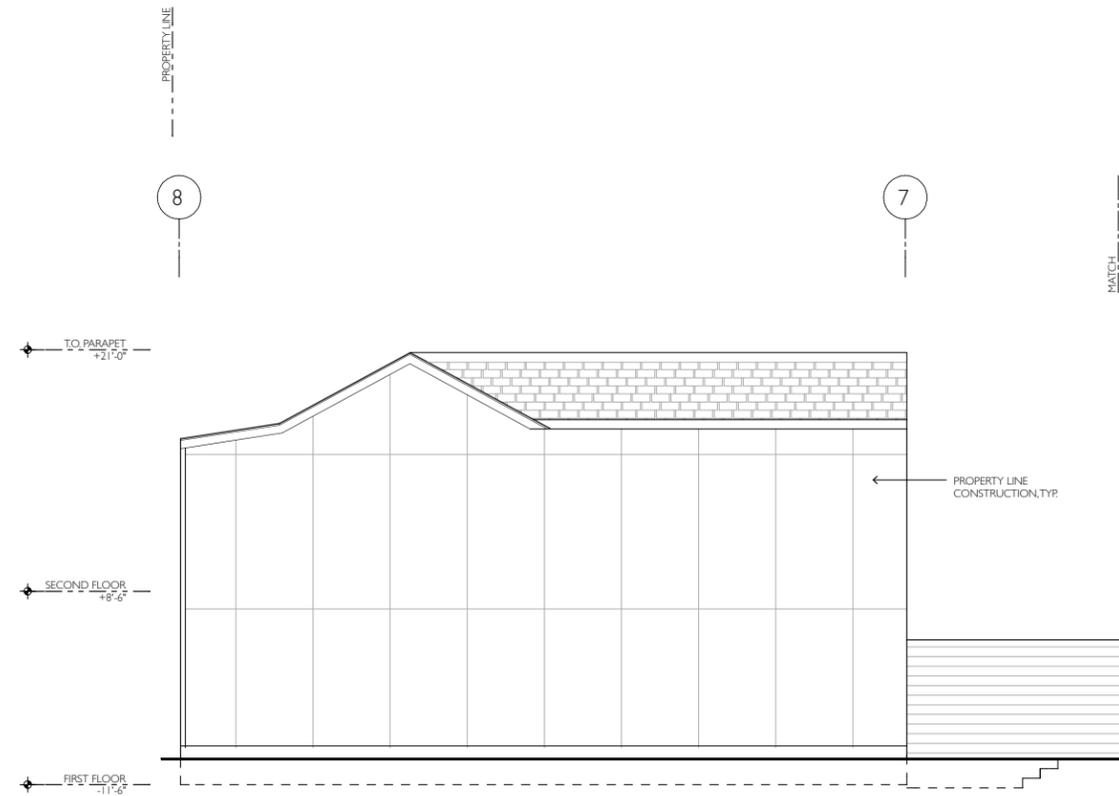
1- COTTAGE FRONT ELEVATION - NORTH
SCALE 1/4"=1'-0"



2- COTTAGE FRONT ELEVATION - SOUTH
SCALE 1/4"=1'-0"



3- COTTAGE FRONT ELEVATION - WEST
SCALE 1/4"=1'-0"



4- COTTAGE FRONT ELEVATION - EAST
SCALE 1/4"=1'-0"



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- ALL NEW HANDRAILS INSTALLED IN REMODELED AREAS SHALL COMPLY WITH THE FOLLOWING:
 - A CONTINUOUS HANDRAIL IS REQUIRED FOR STAIRWAYS WITH 4 OR MORE RISERS.
 - THE TOP OF THE HANDRAIL SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS.
 - INTERMEDIATE BALUSTERS ON OPEN SIDES OF STAIRS AND LANDINGS SHALL BE SPACED SO THAT A SPHERE OF 4" IN DIA. CANNOT PASS THROUGH
 - HANDRAIL ENDS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
 - HANDGRIP SURFACE SHALL BE 1-1/4" TO 1-1/2" IN CROSS SECTION OR A SHAPE THAT PROVIDES AN EQUIVALENT SMOOTH GRIPPING SURFACE.
 - HANDRAILS SHALL HAVE MINIMUM 1-1/2" CLEARANCE FROM ANY WALL SURFACE.
- A PROTECTIVE GUARDRAIL SHALL BE PROVIDED WITH A MINIMUM HEIGHT OF 36" AT ALL DECKS, PORCHES, BALCONIES, RAISED FLOORS (MORE THAN 30" ABOVE GRADE OR FLOOR BELOW) AND OPEN SIDES OF STAIRS AND LANDINGS. OPENINGS BETWEEN BALUSTERS SHALL BE SUCH THAT A SPHERE 4" IN DIA. CANNOT PASS THROUGH.
- EACH BATHROOM WITH A SHOWER OR BATHTUB MUST HAVE AT LEAST ONE LUMINARY WITH AN EFFICACY OF AT LEAST 40 LUMENS PER WATT (FLOURESCENT OR APPROVED EQUAL).
- PRIMARY LIGHTING AT KITCHEN (FIRST SWITCH) SHALL CONTROL A LUMINARY WITH AN EFFICACY OF AT LEAST 40 LUMENS PER WATT (FLOURESCENT FIXTURE OR APPROVED EQUAL).
- PROVIDE ATTIC VENTILATION AT PROPOSED WORK AS PER C.B.C..
- PROVIDE ATTIC ACCESS WITH A MIN. OPENING AREA OF 22" X 30" WHERE ATTIC HEIGHT 30" OR GREATER, AS PER C.B.C..
- AT LEAST ONE WINDOW IN EACH SLEEPING ROOM SHALL HAVE A RESCUE WINDOW THAT COMPLIES WITH C.B.C.. EACH RESCUE WINDOW SHALL HAVE A MIN. NET CLEAR OPEN AREA OF 5.7 SQUARE FEET, WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A CLEAR OPENING WIDTH OF 20". SILL HEIGHTS SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
- SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
 - GLAZING IN EGRESS OR EGRESS DOORS
 - GLAZING IN DOORS AND ENCLOSURE FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.
 - GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE.
 - GLAZING WHERE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQ. FT., EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS LESS THAN 36" ABOVE THE FLOOR, AND THERE IS ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.

PROJECT DESCRIPTION:

NEW 4-STORY THREE FAMILY RESIDENTIAL STRUCTURE WITH BASEMENT, REMODEL EXISTING COTTAGE TO TWO-FAMILY RESIDENTIAL STRUCTURE UNDER SEPARATE PERMIT.

PROJECT INFO:

BLOCK / LOT: 3580 / 035
 (E) USE: RESIDENTIAL
 PROPOSED USE: R2 - MULTI-FAMILY RESIDENTIAL
 ZONING: RM-1
 HEIGHT LIMIT: 40-X
 LOT: 31' X -136'
 LOT AREA: 4,242 SQ. FT.
 CONSTRUCTION: TYPEVA, FULLY SPRINKLERED

SHEET INDEX

ARCHITECTURAL
 A0.1 INDEX, PROJECT INFO, NOTES
 A1.0 1/16" SCALE SITE PLAN & RENDERINGS
 A1.0a PROPOSED AND EXISTING SITE PLAN
 A1.1 EXISTING FLOOR PLANS
 A1.2 EXISTING ELEVATIONS
 A1.3 EXISTING ELEVATIONS
 A2.1 PROPOSED BASEMENT AND FIRST FLOOR PLANS
 A2.2 PROPOSED SECOND AND THIRD FLOOR PLANS
 A2.3 PROPOSED FOURTH FLOOR AND PENTHOUSE PLANS
 A3.1 PROPOSED FRONT ELEVATION
 A3.2 PROPOSED REAR ELEVATION
 A3.3 PROPOSED EAST ELEVATION
 A3.4 PROPOSED WEST ELEVATION
 A3.5 PROPOSED SECTION

BUILDING CALCS.

NEW 3 UNIT RESIDENTIAL BUILDING:

GARAGE:	663
ENTRY / LOBBY - FIRST FLOOR:	320
ENTRY / LOBBY - SECOND FLOOR:	91

UNIT #1 - BASEMENT:	747
UNIT #1 - FIRST FLOOR:	658
UNIT #1 - TOTAL:	1,405

UNIT #2 - SECOND FLOOR:	792
UNIT #2 - THIRD FLOOR:	972
UNIT #2 - FOURTH FLOOR:	737
UNIT #2 - TOTAL:	2,501

UNIT #2 - SECOND FLOOR DECK:	150
UNIT #2 - THIRD FLOOR DECK:	87
UNIT #2 - FOURTH FLOOR DECK:	322
UNIT #2 - ROOF DECK:	302

UNIT #3 - SECOND FLOOR:	822
UNIT #3 - THIRD FLOOR:	746
UNIT #3 - FOURTH FLOOR:	750
UNIT #3 - TOTAL:	2,318

UNIT #3 - THIRD FLOOR DECK:	51
UNIT #3 - FOURTH FLOOR DECK:	104
UNIT #3 - ROOF DECK:	302

NEW 3 UNIT RESIDENTIAL BUILDING	
TOTAL AREA:	7,268

REMODELED COTTAGE BUILDING:	
EXISTING FIRST FLOOR:	1,075
EXISTING SECOND FLOOR:	1,140
TOTAL AREA:	2,215

UNIT #4 - FIRST FLOOR:	574
UNIT #4 - SECOND FLOOR:	487
UNIT #4 - TOTAL:	1,061

UNIT #5 - FIRST FLOOR:	574
UNIT #5 - SECOND FLOOR:	487
UNIT #5 - TOTAL:	1,061

NEW REMODELED COTTAGE	
TOTAL AREA:	2,122

PROJECT DIRECTORY:

ARCHITECTURAL DRAWINGS
 Y.A. studio
 2407 Harrison Street, suite 2
 San Francisco, CA 94110
 415.920.1839

OWNER
 Matt Pendergast & Bill Young
 265 Dorland Street
 San Francisco, CA 94114
 415.726.5002

APPLICABLE CODES:

2007 CALIFORNIA BUILDING CODE
 W/ 2007 S.F. ADMENDMENTS
 2007 CALIFORNIA FIRE CODE
 W/ 2007 S.F. ADMENDMENTS
 2007 CALIFORNIA PLUMBING CODE
 W/ 2007 S.F. ADMENDMENTS
 2007 CALIFORNIA ELECTRICAL
 W/ 2007 S.F. ADMENDMENTS
 2007 CALIFORNIA MECHANICAL CODE
 W/ 2007 S.F. ADMENDMENTS
 2007 S.F. HOUSING CODE
 2005 CALIFORNIA ENERGY CODE
 ALL OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS



3 - LOCATION MAP

SCALE: N/A



2 - SITE PHOTO

SCALE: N/A



1 - STREET PHOTO

SCALE: N/A

Y.A. studio

2407 Harrison Street #2, San Francisco, CA 94110
 office 415.920.1839 fax 415.920.1840
 www.ya-studio.com

PROJECT:
3 - NEW RESIDENTIAL CONDOS

NEW CONSTRUCTION - 4 STORIES + BASEMENT
 / REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035
 265 DORLAND STREET, SAN FRANCISCO, CA

STAMP

TITLE
**INDEX, NOTES,
 INFO**

REV.	PRINTING	DATE
1	SITE PERMIT	02.17.09
2	REV.SITE PERMIT	05.18.09

JOB NO. 08029 - DORLAND
 DRAWN K.W.
 CHECKED Y.A.
 DATE 05.18.09
 SHEET

A0.1



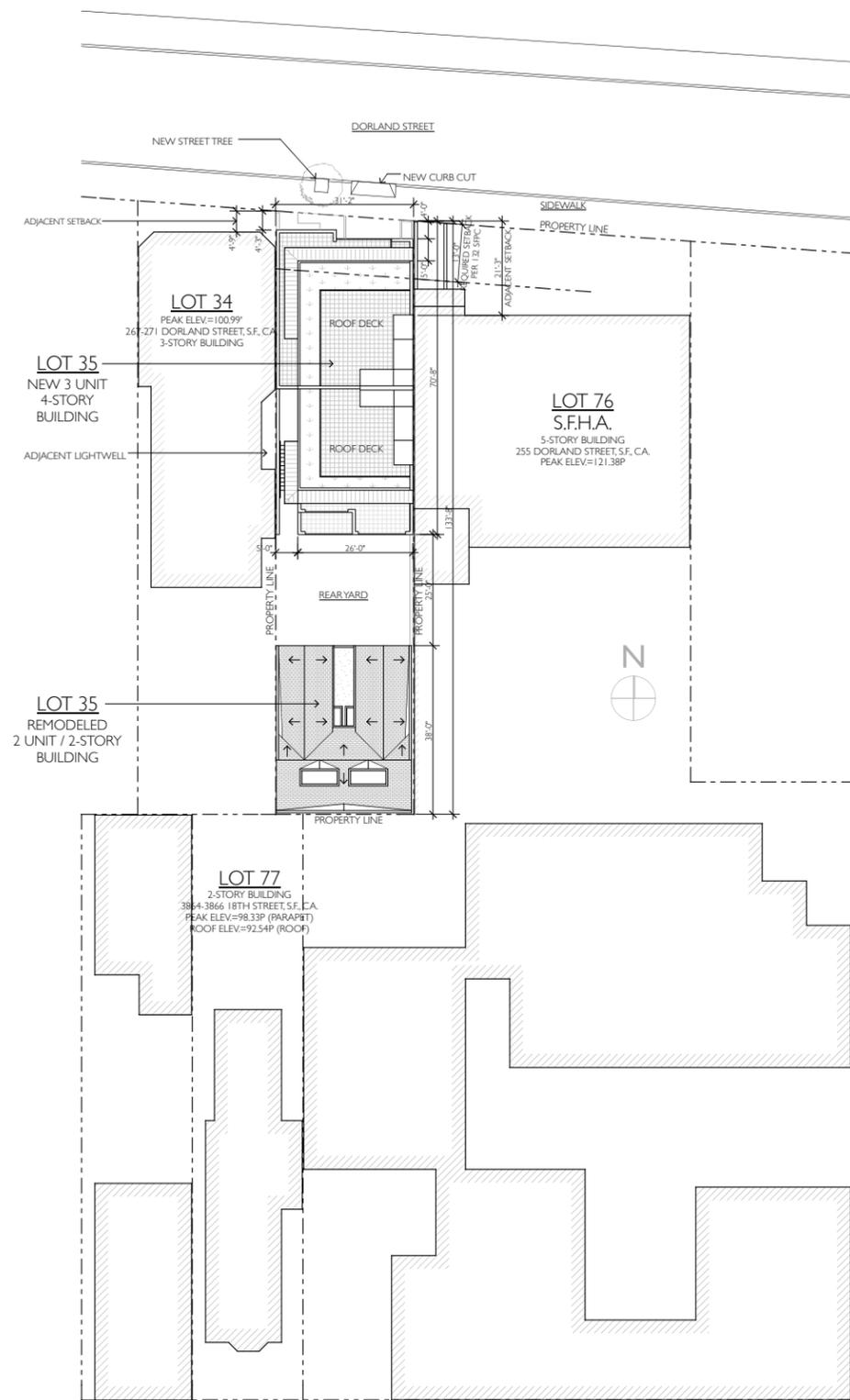
3 - PROPOSED STREET VIEW

SCALE: N/A



2 - PROPOSED STREET VIEW

SCALE: N/A



I - PROPOSED SITE PLAN

SCALE: 1/16"=1'-0"



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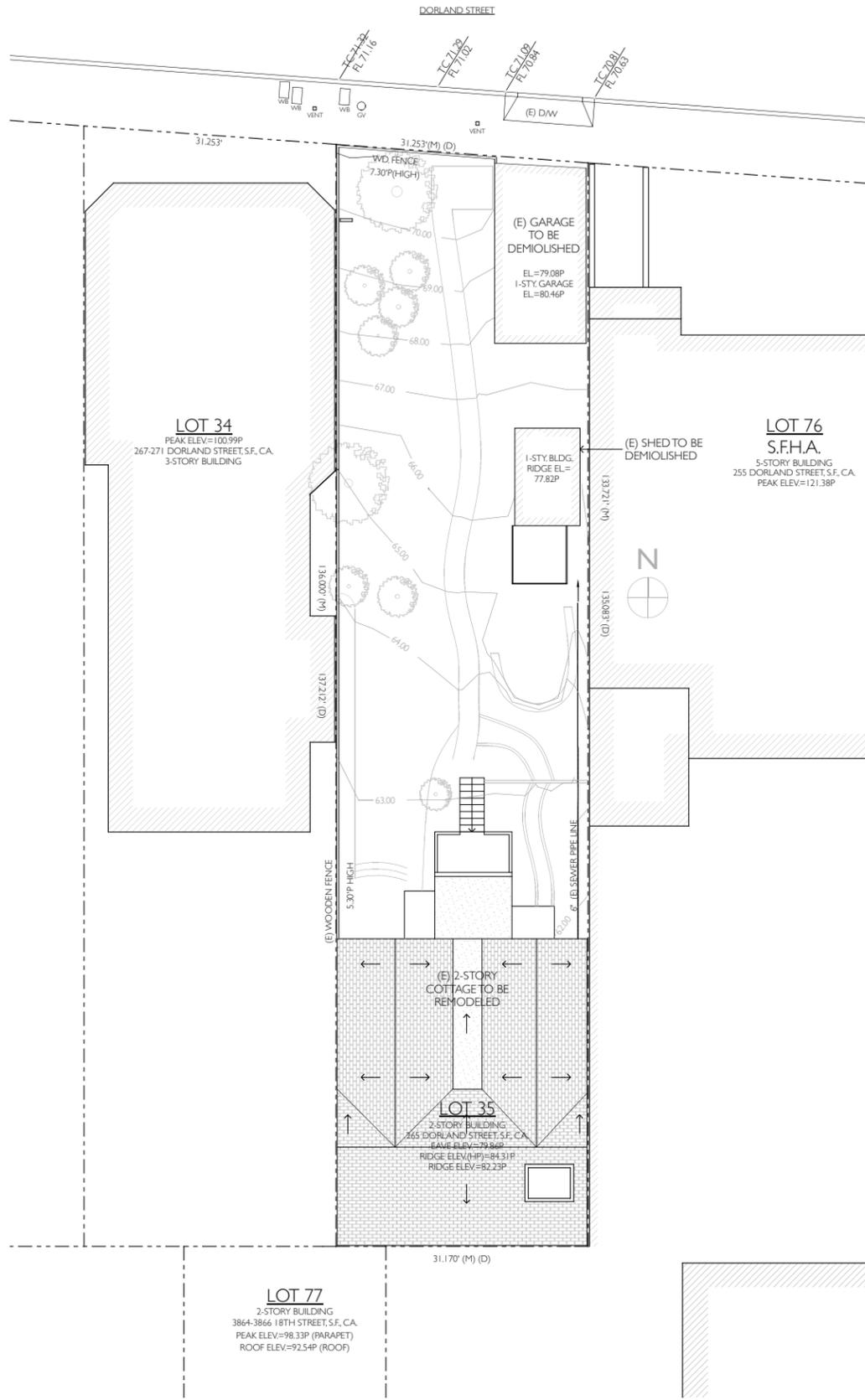
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**SITE PLAN
& RENDERINGS**

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SHEET

A1.0





3- EXISTING FRONT ELEVATION AT COTTAGE
SCALE: 1/8"=1'-0"



2- EXISTING REAR ELEVATION
SCALE: 1/8"=1'-0"



1- EXISTING FRONT ELEVATION
SCALE: 1/8"=1'-0"



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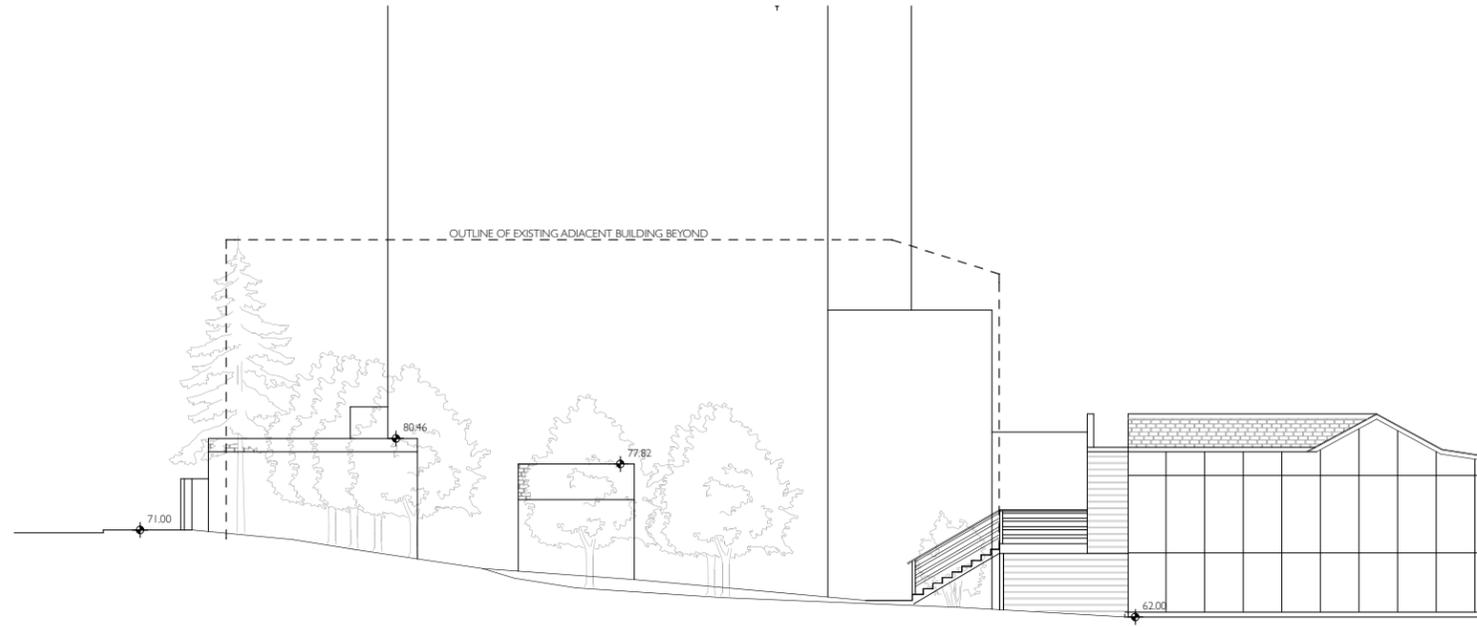
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TITLE
EXISTING
ELEVATIONS

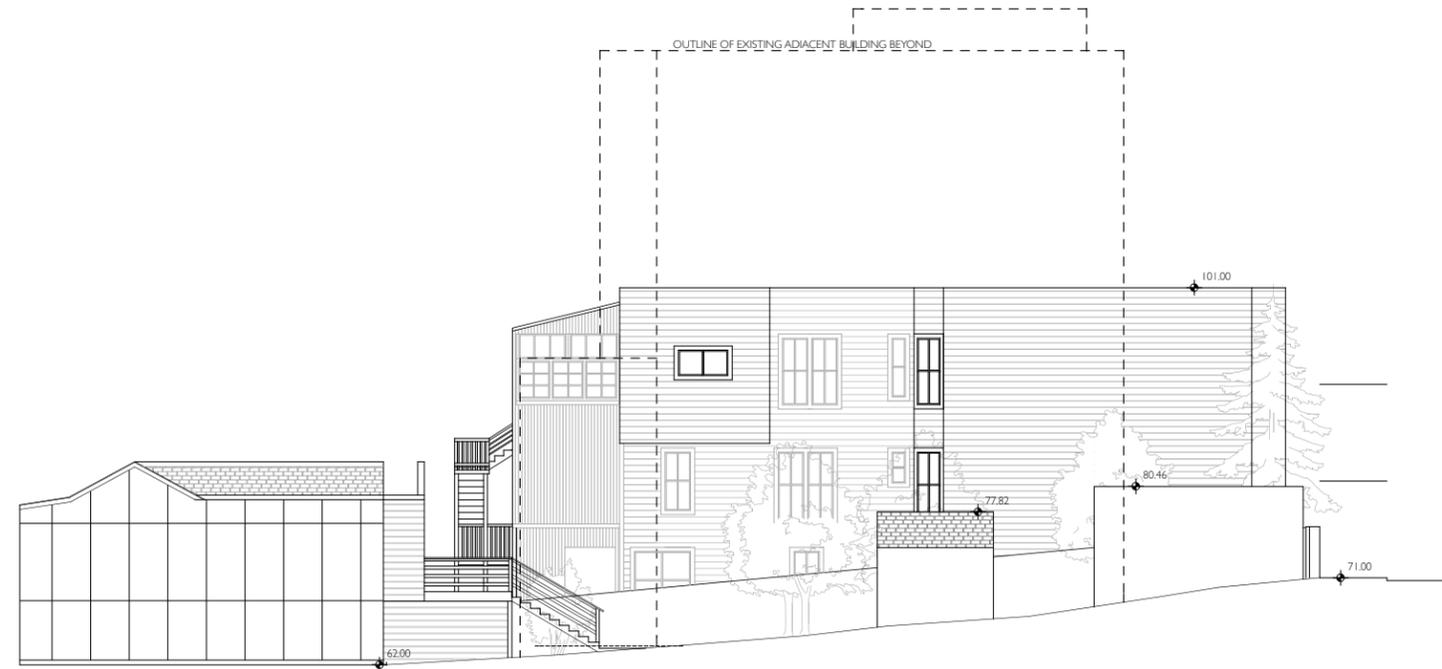
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A1.2



2- EXISTING SIDE ELEVATION
SCALE: 1/8"=1'-0"



1- EXISTING SIDE ELEVATION
SCALE: 1/8"=1'-0"



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EXISTING SIDE
ELEVATIONS

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SHEET	

A1.3



PROJECT: **3 - NEW RESIDENTIAL CONDOS**

NEW CONSTRUCTION - 4 STORIES + BASEMENT
 / REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035
 265 DORLAND STREET, SAN FRANCISCO, CA

STAMP

TITLE
FRONT ELEVATION - NORTH

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I- FRONT ELEVATION - NORTH
 SCALE: 1/4"=1'-0"



I - REAR ELEVATION - SOUTH
SCALE: 1/4"=1'-0"



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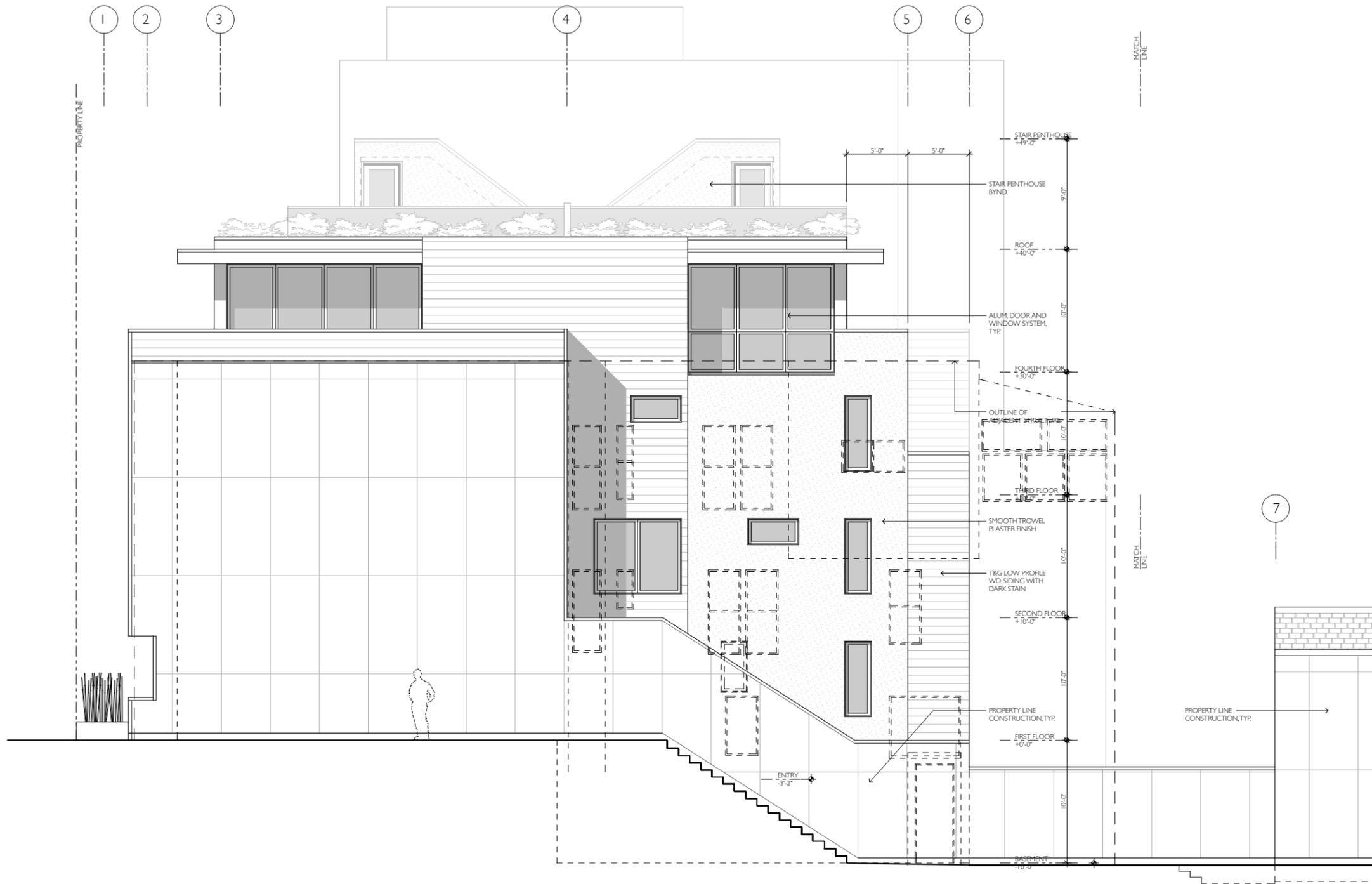
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TITLE
REAR ELEVATION - SOUTH

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SHEET	

A3.2



I - WEST ELEVATION
SCALE: 1/4"=1'-0"



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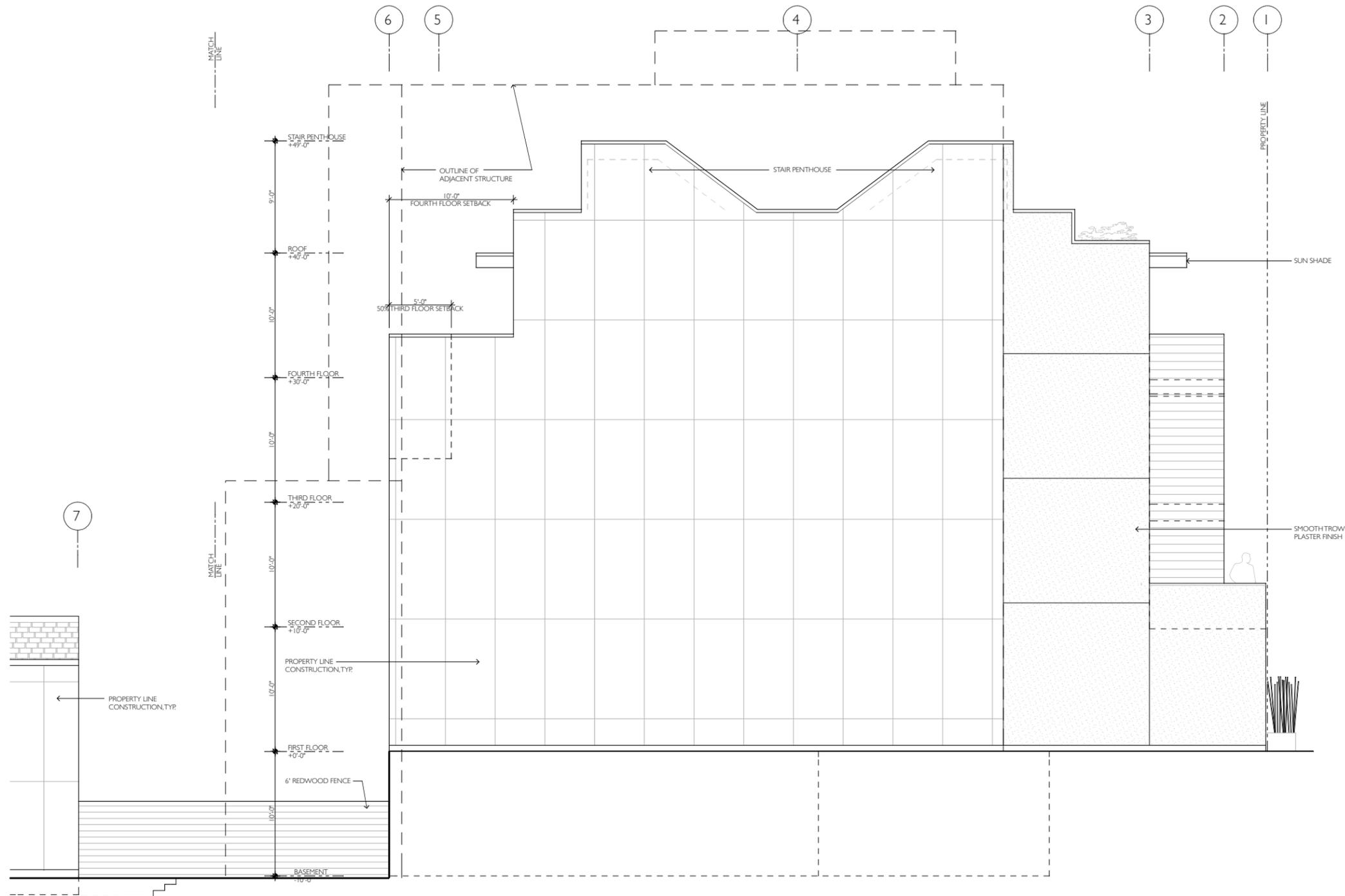
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WEST ELEVATION

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A3.3



I - EAST ELEVATION
SCALE: 1/4"=1'-0"



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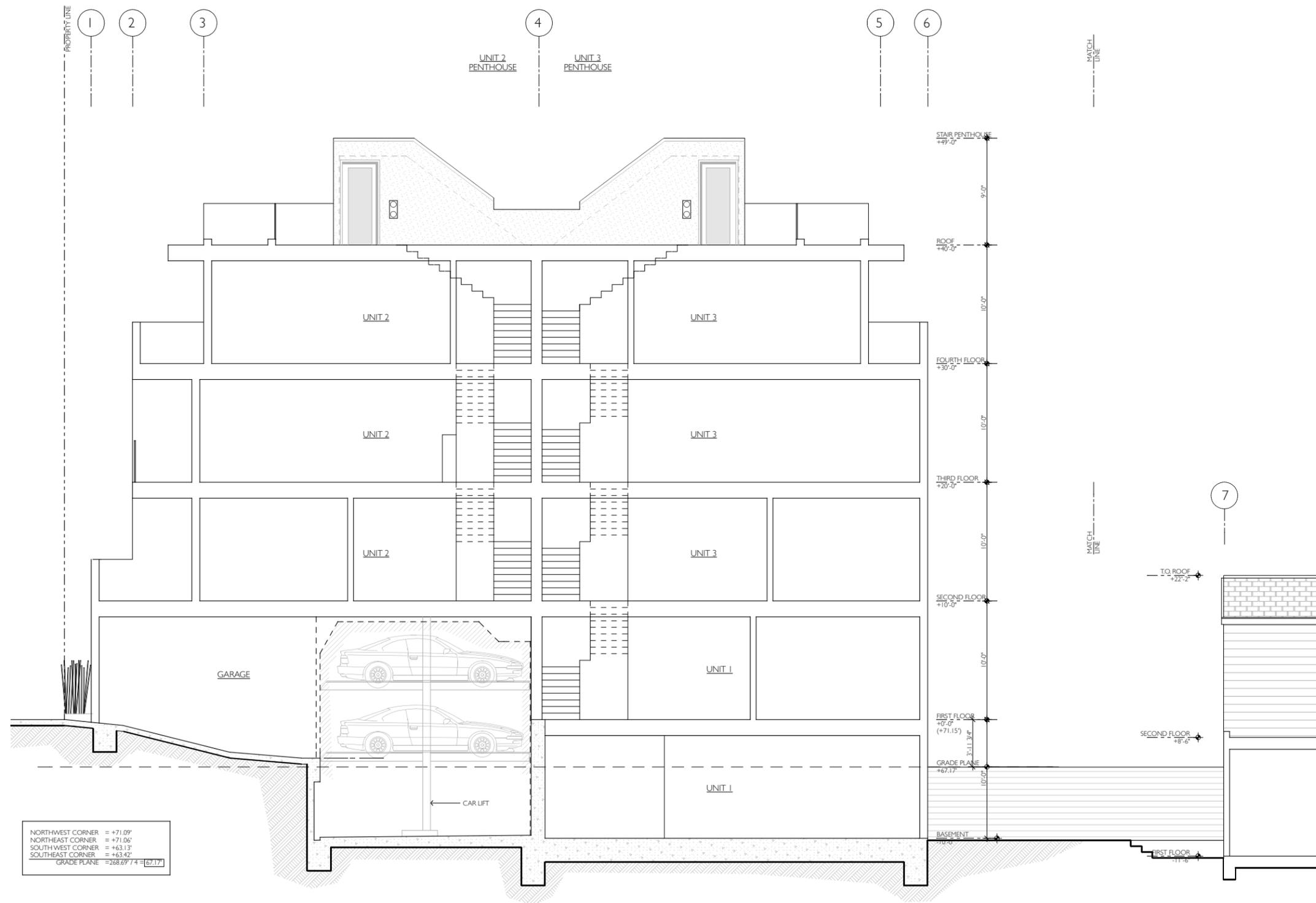
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A3.4



NORTHWEST CORNER = +71.09'
 NORTHEAST CORNER = +71.06'
 SOUTHWEST CORNER = +63.13'
 SOUTHEAST CORNER = +63.42'
 GRADE PLANE = 288.297 / 4 = 67.17

I - NORTH - SOUTH BUILDING SECTION A-A
 SCALE: 1/4"=1'-0"

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A3.5