



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 28, 2009**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	619 Noriega Street	Case No.:	2009.0059V
Cross Street(s):	14th Avenue & Selma Way	Building Permit:	2009.01.06.9599
Block /Lot No.:	2036B/004	Applicant/Agent:	Miner G. Lowe
Zoning District(s):	RH-1 / 40-X	Telephone:	(415) 566-5892
Area Plan:	N/A	E-Mail:	minerhi@sbcglobal.net

PROJECT DESCRIPTION

The proposal is to construct a detached rear deck setback approximately 5 feet away from the rear property line and located within the required rear yard area. The proposed rear deck is approximately 11 feet wide, 10.5 feet deep, and has maximum height of 9.5 feet above grade.

PER SECTION 134 OF THE PLANNING CODE the subject property maintains a rear setback of approximately 25 feet. The proposed detached deck structure will encroach completely within the required rear setback area; therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING USE	Single-Family Dwelling	No Change
BUILDING DEPTH OF EXISTING BLDG.	61 feet, 6 inches	No Change
REAR YARD FROM EXISTING BLDG.	38 feet, 6 inches	No Change
HEIGHT OF PROPOSED DECK.....	Not Applicable	9 feet, 6 inches above grade (max.)
NUMBER OF STORIES OF EXISTING BLDG.	2	No Change
NUMBER OF DWELLING UNITS	1	No Change
NUMBER OF OFF-STREET PARKING SPACES	At least 1	No Change

ENVIRONMENTAL REVIEW

Department staff has made a preliminary determination that the project is Categorically Exempt from California Environmental Quality Act (CEQA) Review.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Adrian C. Putra** Telephone: **(415) 575-9079** E-Mail: [**adrian.putra@sfgov.org**](mailto:adrian.putra@sfgov.org)

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: [**http://www.sfgov.org/site/uploadedfiles/planning/Public_Records/Variances/2009.0059V.pdf**](http://www.sfgov.org/site/uploadedfiles/planning/Public_Records/Variances/2009.0059V.pdf)

中文詢問請電: **415.558.5956**

Para información en Español llamar al: **415.558.5952**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **This notice was issued on September 10, 2009 and expired on October 10, 2009.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

STRUCTURAL NOTES:

MATERIAL

- Material such as lumber, steel or metal exposed to grade, weather, or in any corrosive environment shall be corrosive resistant. (i.e. Wood in contact with concrete/soil. Pressure-treated, or naturally resistive to termites such as redwood. Composite exterior wood products such as Composite Decking from TREX/ARL).
- Wood/metal exposed to weather or in corrosive environments: Encased within weather-tight plastic/fiber glass/stucco/ceramic tile/brick veneer covering (such as column facades), or painted with Min 2 coats of paint. Prime (for metal) shall be rust-resistant primer and finish, exterior grade.
- Metals exposed to weather or in corrosive environments: Electroplated, galvanized, corrosion resistive alloy/materials coatings, etc.
- Structural members in fire rated construction or subjected to the risk of fire damaged shall be:
 - Fire-retardant treated lumber & plywood interior & exterior grades, such as: Fire-Guard & Exterior Fire X from Hoover Treated Wood Products Inc.
 - CONCRETE/SOL.
- Concrete mix shall be Min 2,500 PSI or better @ 28 days. Typ: "N" Max sizes aggregates and Max slump of 4" when placed. Water-cement ratio of 0.45 and Type V cement unless a soil report recommends per design.
- Soil shall be assumed Type SD, UDN per soil report.
 - Set w/soil pressure: 1000 PSI's so s 1,500 PSI (CL-UDL) Typ.
 - 100 PSI (ft of depth) lateral bearing pressure per ft of depth.
 - 0.75 coefficient of lateral sliding.
- All details shall be in conformance with the most recent edition of "ACI Detailing Manual".
- Concrete slabs shall be Min 3 1/2" thick (CBC 1900 4.4)
 - Reinforced concrete slabs under normal general conditions, w/curtain mesh #6"x6" #10@10, E.W.W.M. such as: on patio landing, walkway, etc. shall not be less than 3 1/2" thick (CBC 1900 4.4 UDN).

STEEL

- Wire mesh in concrete slabs shall conform to ASTM A185. Wire mesh shall be 6"x6", #10@10, TYP.

CARPENTRY

- Wood design shall comply with CBC Chapter 23 and be based on the 2001 NDS (National Design Specifications for wood construction) Edition. The following is for general reference in case if not specified on the plan or has no detailing.
 - Floor/ceiling/joinery: shall be minimum 2X DF#2 or better, UDN.
 - 4x beam or larger: DF#1, UDN.
 - 4x post or larger: less than 10 FT high shall be DF#2, 10' or higher: DF#1.
 - Mud sill or in contact with concrete, exposed to weather: DF#1, mud sill under shear wall w/shear 2x50 PLF for under 3 stories building shall be no less than 3X nominal thickness.
 - 2x blockings shall be DF#2. Fire block/draft stop may be 2X of any lumber grade.

RESIDENTIAL GENERAL NOTES:

- All works shall comply with the City's Ordinances and the City currently adopted California Codes 2007: CBC, CPC/IPC, CMC/IMC, 2006 CEC/NEC and TITLE 24.
- Prior to starting work, contractors (general and all subcontractors) shall visit the site and the surrounding field check i.e. any public utility would in conflict with proposed earthwork, sizes, location and clearance of all appliances/facilities/existing building, etc.) Contractor shall inform the designer if there is any discrepancy that requires the Architect or Design Engineer to solve/handle the problems.
 - Prior to digging, contractor shall verify all existing conditions and location of all public utilities. Call USA for approximate utility location markings (1-800-227-2600). Locations shown on the plans are approximate and for general information only, it is the sole responsibility of the contractor to verify existence of and protect all existing surface and underground facilities and to bare the expense for the repair of such facilities.
 - Determine the exact scope of work, method of operation, the time in which the work shall be performed and must be approved by the owner/landlord and verify all existing conditions with the designed plans, if there exists any discrepancies or conditions different from those indicated on the plans, notify the designer/architect for further instruction before proceeding the work.
- Contractors are responsible for their works, such as: order and means of construction, safety measures and all temporary bracing, erection, etc. during construction.
- Provide special inspections for all items as required by CBC and Local Code Authority.
- The general contractor shall maintain the job site in a clean and orderly condition free of debris and litter and shall provide portable toilets and temporary power pole when and where needed. Each subcontractor immediately upon completion of his/her work shall remove all trash and debris as a result of his/her operation.
- UDN (unless otherwise noted), all TYP DET (Typical Details) shall be used where applicable. All details shall be considered typical at similar conditions. All layout plans/schematic plans shown such as: Electrical, plumbing, HVAC/mechanical system are schematic only, contractors shall be responsible for the system design and the installation of equipments per manufacturers' instructions and conforming to the related codes and TITLE 24.
- Shop details/drawing with erection and placing diagram shall be submitted to and approved by the architect/engineer before fabrication.

ARCHITECTURAL NOTES:

STAIRS, HAND RAIL & GUARD RAIL

- Provide interior/exterior stairway.
 - Max rise of 7-3/4" and Min run (tread) of 10" (CBC 1003.3)
 - Min width of 36" (CBC 1003.3.2)
 - Min head room of 6' 8" (CBC 1003.3.3.4)
 - Min stringer (See Stairs Details).
 - Wall & ceiling of enclosed space under stairway shall be of 1 hr fire resistive construction on enclosed side.
 - For stair stringer anchored onto unheated stud wall, provide 2x fire blocks along stringer and wall studs. (CBC 1003.3.3.9)
 - Interior decks, balconies and stairways sealed underneath shall be water proofed. Materials and nailing/anchoring shall be decay/corrosive proof. (CBC 1402.3)
 - Prefabricated winding stairway, circular stairway and spiral stairways shall be in compliance with CBC 1003.3.3.8. Spiral stairs column base connection details shall be deferred submittal by the manufacturer.
 - The required width shall be provide at a point not more than 12" away from the side of the stairway where the treads are narrower but in no case shall the width of run be less than 36".
 - Spiral stairway shall not be served as required exit for area > 400 SF (CBC 1003.3.3.3)
 - Provide 36" high protective guard rail for decks, balconies and raised floor more than 30" above grade or floor below, and open side(s) of stair landings. (CBC 509)
 - Openings between balusters/rails shall be no more than 4".
 - Opening at bottom of rails (Between bottom rail and landing or treads) shall be no more than 6".
 - For handrails:
 - Continuous handrail for stairway with 4 or more risers.
 - Handrail shall be 34" to 38" above the nosing of treads.
 - Intermediate balusters spaced no more than 4" OC on open side(s).
 - The handgrip portion of handrail shall not be less than 1 1/4" Ø or more than 2" Ø in cross section dimension (CBC 1003.3.3.6)
 - Handrail system to support 200 lbs force per Table 16-B.

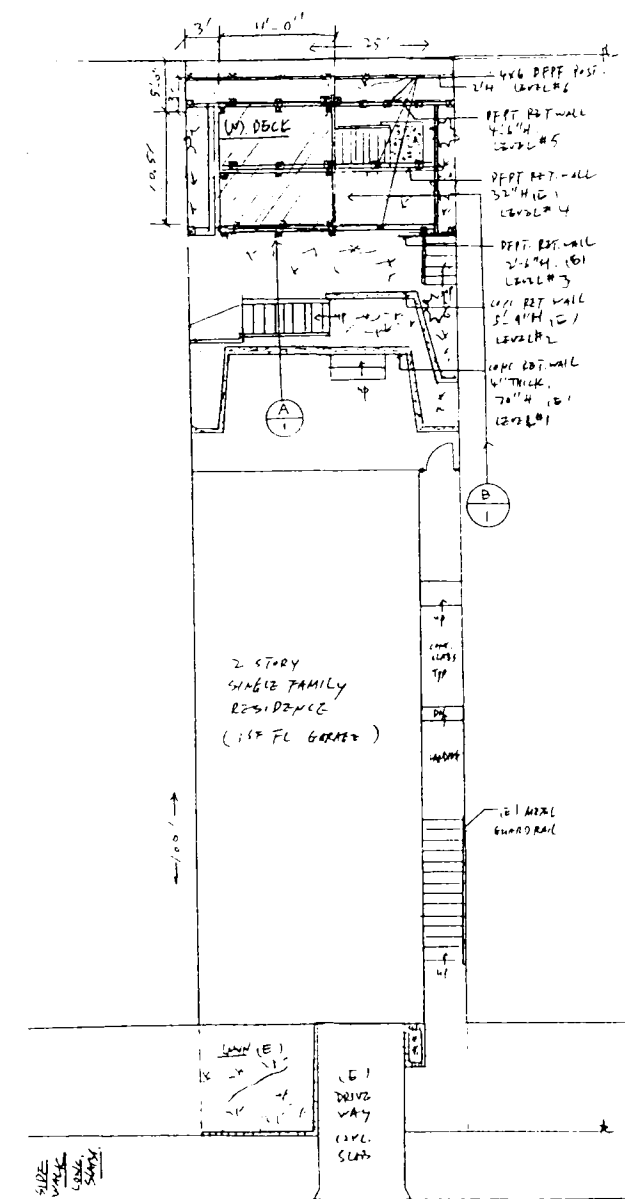
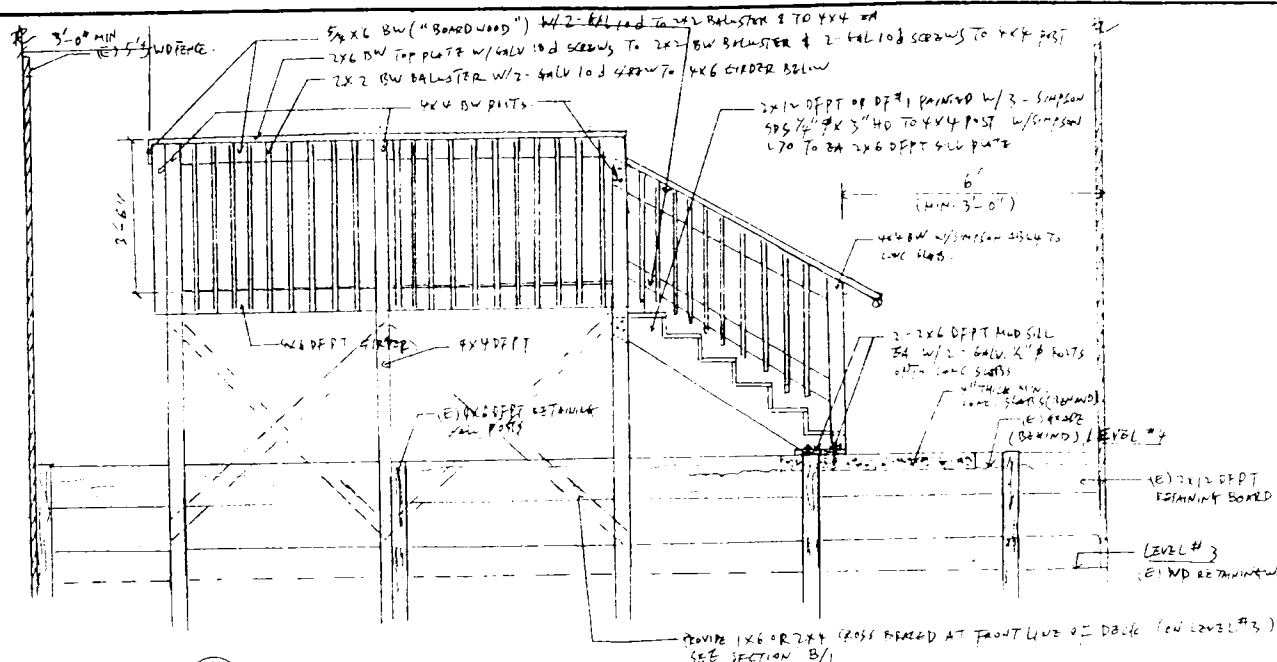
RESIDENTIAL REMODELING/REPAIRS NOTES:

Special notes:

- All lumbars exposed to weather shall be either pressure-treated (DFPT) or painted (Min 2 coats: prime and finish, exterior grade).
- All metal exposed to weather (such as: nails, hanger, etc) shall be corrosive resistive: Galvanized.
- Deck guard rail shall be prefabricated "Boardwalk" (PVC wood composite) modules w/anchoring hardware, Contractor shall follow manufacturer's instruction.
- Deck floor sheathing shall also be "Boardwalk" 2X6 w/anchoring package (HFS screws, HFS clip, etc), installed per manufacturer's manual (with 1/8" gap).
- In group R Occupancies: when the valuation of repair/remodeling exceeds \$1,000 and a permit is required, contractor shall verify the existence/effectiveness/installation of smoke detectors (CBC 310.91.2) in:
 - Centrally located in corridor or area leading to sleeping area, and inside each sleeping room.
 - On ceiling of upper level proximity to the stairway when sleeping area are on an upper level.
 - On each floor level and basement.
 - In the adjacent room or area where the ceiling height exceeds that of the hallway by 24" or more. (310.91.4)
- Hardwired w/battery backup for new construction and battery operated only for existing area in a repair/remodeling projects.

LEGEND:

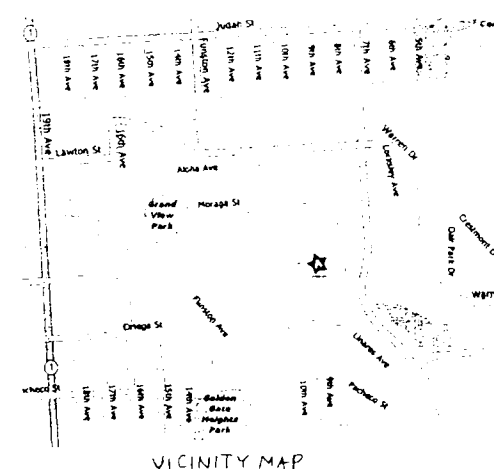
- EXISTING 4X6 DFPT POST OF WOOD RETAINING WALL
- PROPOSED 4X4 DFPT POST OF (N) DECK
- === 2X12 DFPT WOOD RETAINING BOARDING (E)
- (E) CONC. RET. WALL



169 NORIEGA

PLOT - PLAN
SCALE: 1/8" = 1' 0"

169 Noriega St
San Francisco, CA 94122-4716



PROJECT ADDRESS: Noriega
SF, CA 94122
OWNER: MR & MRS Miner
TEL: 415-566-5892
DESIGNER: DAVID, GENE AND ASSOCIATES
P.O. BOX 31824, OAKLAND, CA 94604
TEL: (510) 703-8197

PERSON TO CONTACT: David or Gene @ Tel: 510-703-8197

APN: /R3, Single family residence

ZONING/OCCUPANCY: /R3, Single family residence

TYPE OF CONSTRUCTION: V.

LOT SIZE: 100'X25'

DESCRIPTION	EXISTING	PROPOSED	TOTAL	ALLOWED	REMARKS
ACCESSORY BLDG					
EXT WOOD DECK		11'X10.5' = 115.5 SF			Build a deck (116 SF) at the rear of the Bldg
DECK SETBACK:					
FRONT	NA				Proposed deck front is 22.5' from rear of building
R/L SIDE	3'11"				
REAR	5'				

SCOPE OF WORK:
Build a wooden deck (11'X10.5' = 115.5 SF) at the rear of the lot

DATA

DAVID, GENE & ASSOCIATES PO BOX 31824, OAKLAND, CA 94602
TEL: 510-703-8197

APPROVED BY: MR & MRS Miner's REAR DECK

DATE: 6/1/07 NORIEGA

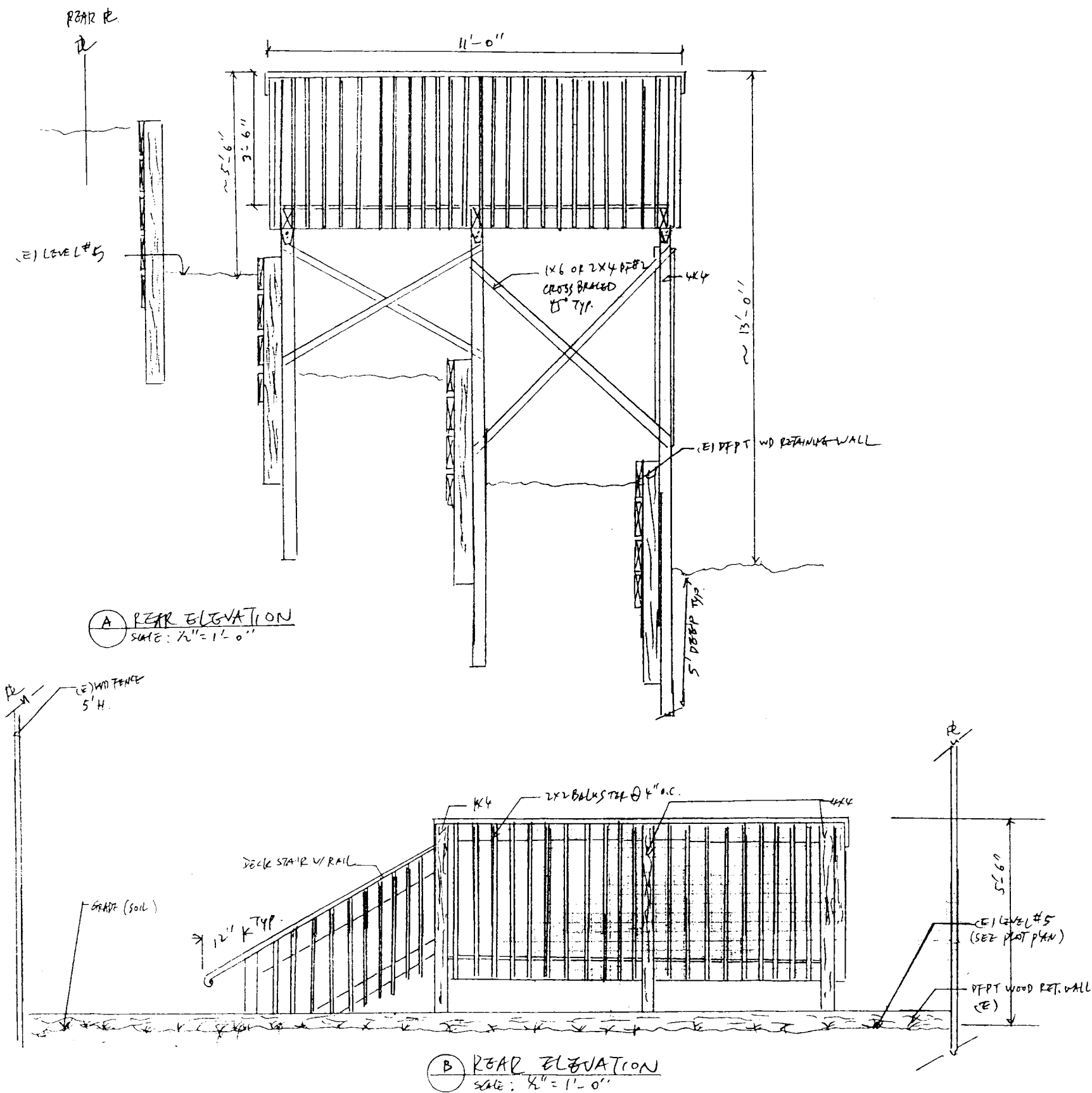
SF, CA

DESIGNED BY: DAVID, GENE & ASSOCIATES

REVIEWED BY: DAVID, GENE & ASSOCIATES

DATE: 6/1/07

SCALE: 1/8" = 1' 0"



DAVID, GENE & ASSOCIATES PO BOX#31824 OAKLAND, CA 94604		
TEL: 510-703-8197		
SCALE:	APPROVED BY:	DRAWN BY:
DATE:		REVISED:
MR & MRS MINOR'S REAR DECK		
619 169 NORIA ST		
SF CA		DRAWING NUMBER
		2