



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

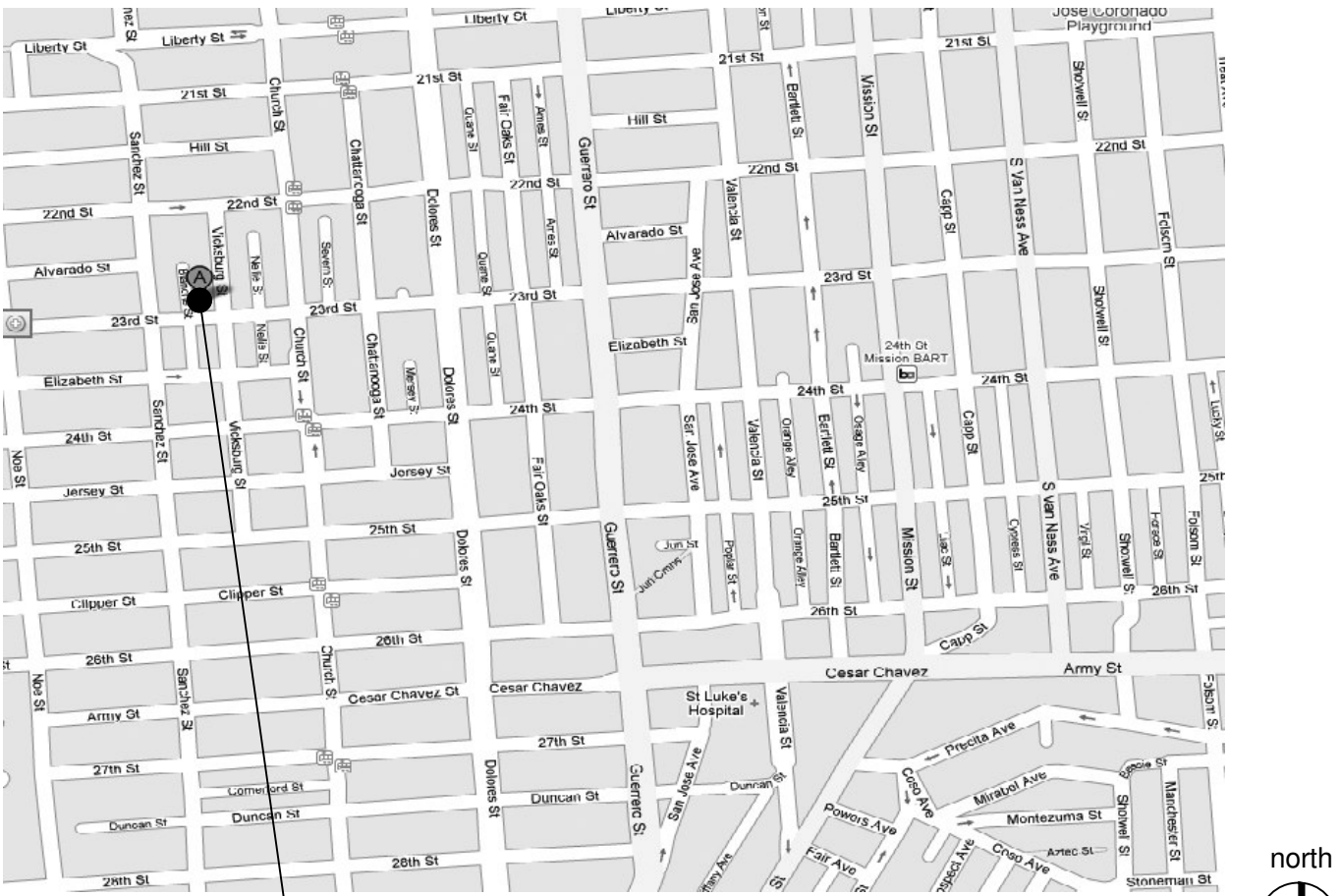
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CALEGARI RESIDENCE

3864 23rd. St. San Francisco, CA 94114



PROJECT SITE

VICINITY MAP

Build new two story addition at rear of house

- Remove the existing single story laundry room located at rear of the house at the second floor
- Create a new breakfast area at second floor
- Create a new bathroom and expand the existing bedroom at the third floor

CALIFORNIA BUILDING CODE: 2007 EDITION (IBC 2006)
CALIFORNIA MECHANICAL CODE: 2007 EDITION (2006 UMC)
CALIFORNIA PLUMBING CODE: 2007 EDITION (2006 UPC)
CALIFORNIA ELECTRICAL CODE: 2007 EDITION (2005 NEC)
CALIFORNIA FIRE CODE: 2007 EDITION (2006 IFC)
T-24 ENERGY REGULATIONS: 2005 EDITION

THIS PROJECT SHALL CONFORM TO ALL THE ABOVE
CODES AND ANY LOCAL AND STATE LAWS AND REGULATIONS
ADOPTED BY THE CITY OF SAN FRANCISCO, CA.

SCOPE OF WORK

APPLICABLE CODES

OWNER:
Jean-Claude and Ninive Calegari
3864 23rd. St.
San Francisco, CA 94114
415-310-9170

PROJECT ADDRESS:
3864 23rd. St.
San Francisco, CA 94114
Block/Lot: 3627 / 021

ARCHITECT:
Studio G+S
2223 5th St.,
Berkeley, CA 94710
Tel: 510-548-7448

ENGINEER:
Puns & Associates
Emmanuel Pun
477-1/2 4th Avenue
San Francisco CA 94118
415 221-3338

CONTACT INFO

ZONING:
RH-3 residential housing - 3 family

HEIGHT/BULK: 40-X (no bulk limit)

OCCUPANCY:
R3

PROPOSED CONSTRUCTION:
TYPE V-B

- A0 site plan, scope of work, vicinity map,
project data, sheet index, abbreviations
symbols, general notes
A1 existing floor plans, existing elevations
A2 proposed floor plans, building section
A3 existing and proposed elevations

SHEET INDEX

& @ perpen. # (e) (n) (r) a.f.f. acous. adj. alum. approx. arch. asph. bd. bldg. blk. blkg. bm. bot. b.p. b/w cab. cem. cer. cl. cig. clkg. clo. clr. col. comp. conc. constr. cont. det. d.f. dia. dim. dir. disp. d.w. dr. drw. drg. drgs. e. ea. el. elec. encl. eq. eqpt. ext. f. f.d.c.	and at perpendicular pound or number existing new renovated above finished floor acoustical adjacent/ adjustable aluminum approximate architectural asphalt board building block blocking beam bottom building paper between cabinet cement ceramic center line ceiling caulking closet clear column composition concrete construction continuous detail douglas fir diameter dimension direction disposal metal door drawer drawing drawings east each elevation electrical enclosure equal equipment exterior frosted fire dept. connection	fdn. fin. fl. flash. fluor. f.o.c. f.o.f. f.o.s. ft. ftg. furn. g.a. gal. g.s.m. gl. gnd. gr. gyp. bd. h.b. hdwd. h.f. horiz. hgt. i.d. insul. int. jlt. kit. lav. loc. lt. max. m.c. mech. memb. mfr. min. mir. misc. mid. mtl. n. nat. nec. neo. n.i.c. no. nom. n.t.s. o.a. o.c. o.d. opng. opp. pl. p.lam. plywd.	foundation finish floor flashing fluorescent face of concrete face of finish face of studs foot or feet footing furnace gauge gallon galvanized sheet metal glass ground grade gypsum board hose bibb hardwood hem fir horizontal height inside diameter (dia.) insulation interior joint kitchen lavatory location light maximum medicine cabinet mechanical membrane manufacturer minimum mirror miscellaneous mounted metal north natural necessary neoprene not in contract number nominal not to scale overall on center outside diameter (dim.) opening opposite property line plastic laminate plywood	pr. p.s. pt. p.t. ptd. r. r.a. ref. refr. rgtr. reinfr. req. rm. r.o. rwd. r.w.l. s. s.c. sched. sect. sh. shr. sim. s.mech. s.o. spec. sq. s.s.d. sst. std. stl. stor. struct. sym. t. t.b. tel. t. & g. thk. t.b.r. t.o. t.p.d. t.v. typ. unf. u.o.n. vert. v.g. v.i.f. w.h. w. w/ wd. w/o w.o. wp. wt.	pair plumbing stack point pressure treated painted riser return air reference refrigerator register reinforced required room rough opening redwood rain water leader south solid core schedule section shelf shower similar see mechanical drawings sash opening specification square see structural drawings stainless steel standard steel storage structure symmetrical tread or tempered towel bar telephone tongue & groove thick to be removed top of toilet paper dispenser television typical unfinished unless otherwise noted vertical vertical grain verify in field water heater west with wood without where occurs waterproof weight
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ABBREVIATIONS

	drawing #		WOOD FRAMING		FINISH WOOD
	DETAIL REFERENCE		METAL FRAMING		PLYWOOD
	section #		WOOD BLOCKING		GYPSUM BOARD
	SECTION REFERENCE		EXISTING WALL		CONCRETE
	drawing #		WALL TO BE REMOVED		BATT. INSULATION
	ELEVATION		NEW WALL		RIGID INSULATION
	view		COLD AIR RETURN		TILE OR CARPET
	sheet #		WARM AIR RETURN		SOIL
	REFERENCE GRID				GRAVEL
	DATUM OR WORK POINT				
	WINDOW TYPE				
	DOOR TYPE				
	SHEAR WALL TYPE				
	REVISIONS				

PROJECT DATA

SYMBOLS & LEGEND

STUDIO
G+S
ARCHITECTS
2 2 2 3 FIFTH ST.
BERKELEY, CA 94710
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CALEGARI RESIDENCE

3864 23rd. St.
San Francisco, CA 94114
Block/Lot: 3627 / 021

Sheet Contents:
Site Plan
Scope of Work
Vicinity Map
Sheet Index
Project Data
Symbols
Abbreviations
Applicable Codes
General Notes

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Project No:
09-01-168

Drawn By:
SSG

Checked By:
SSG, EWS

Scale:
as noted

Revisions:
Site Permit - 311 6-15-09
311 - 2nd submittal 8-4-09
Variance submittal 8-4-09

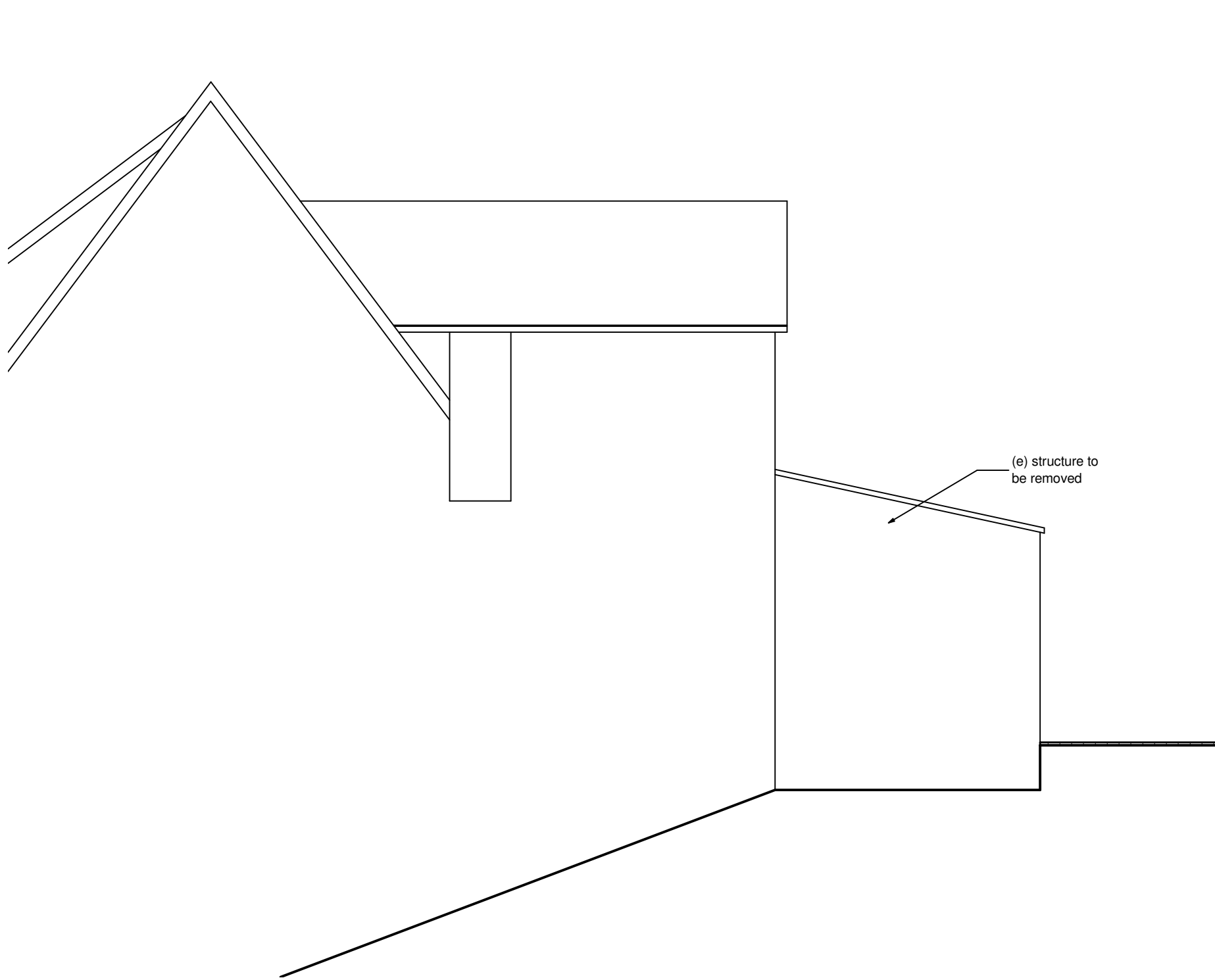
Sheet

A0

1 Existing Site Plan
Scale: 1/8" = 1'-0"

2 Proposed Site Plan
Scale: 1/8" = 1'-0"

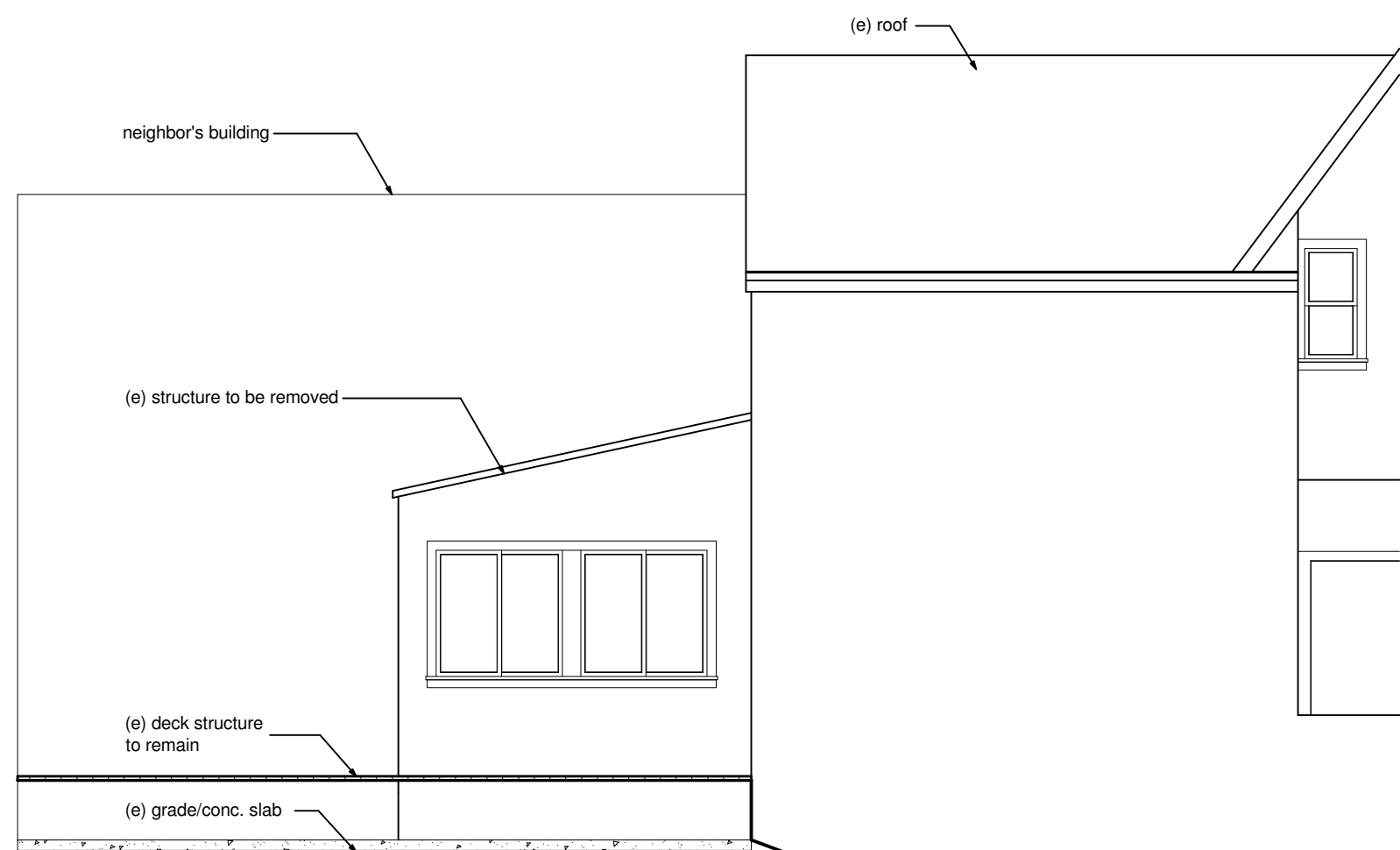
north



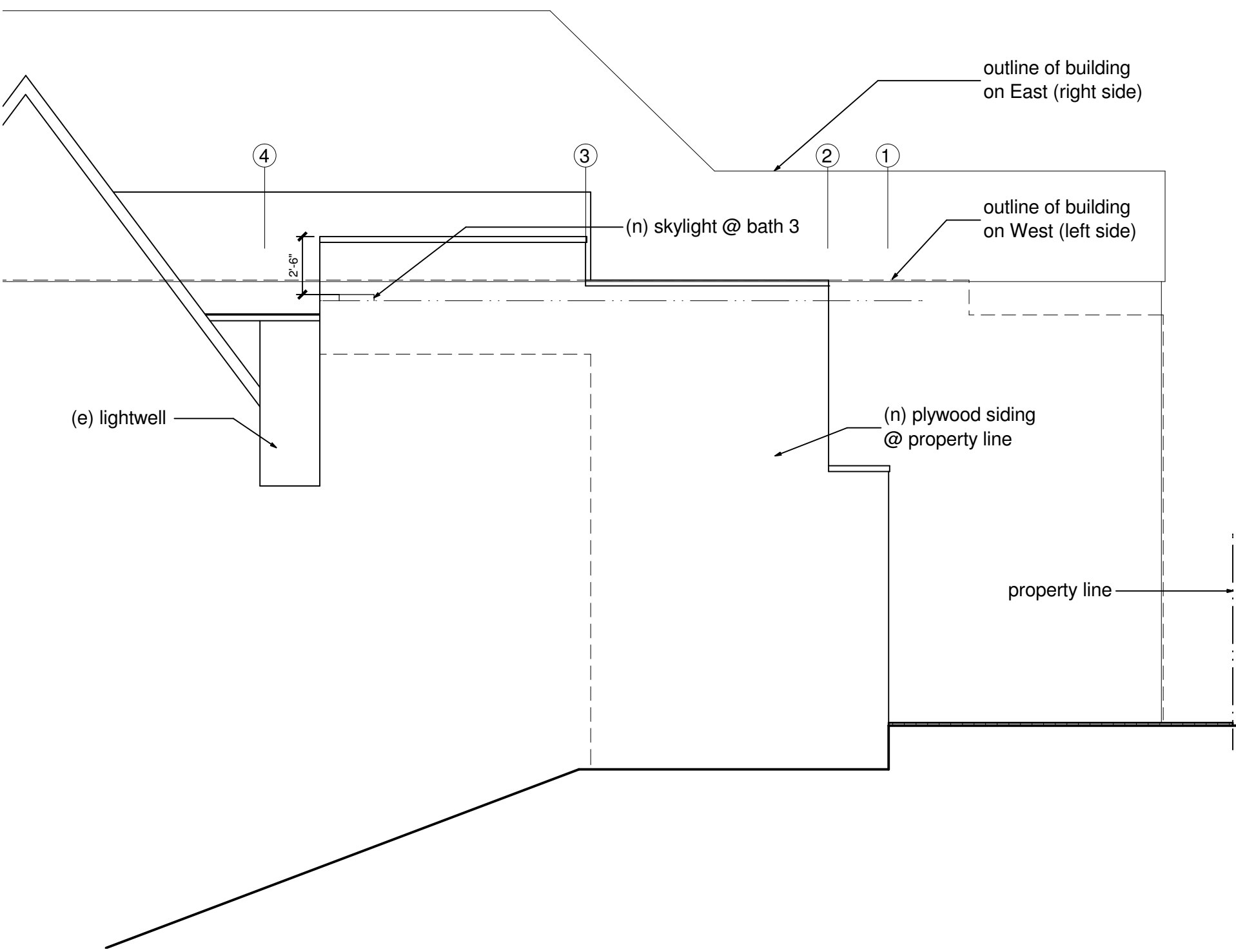
4 Existing East Elevation - right side



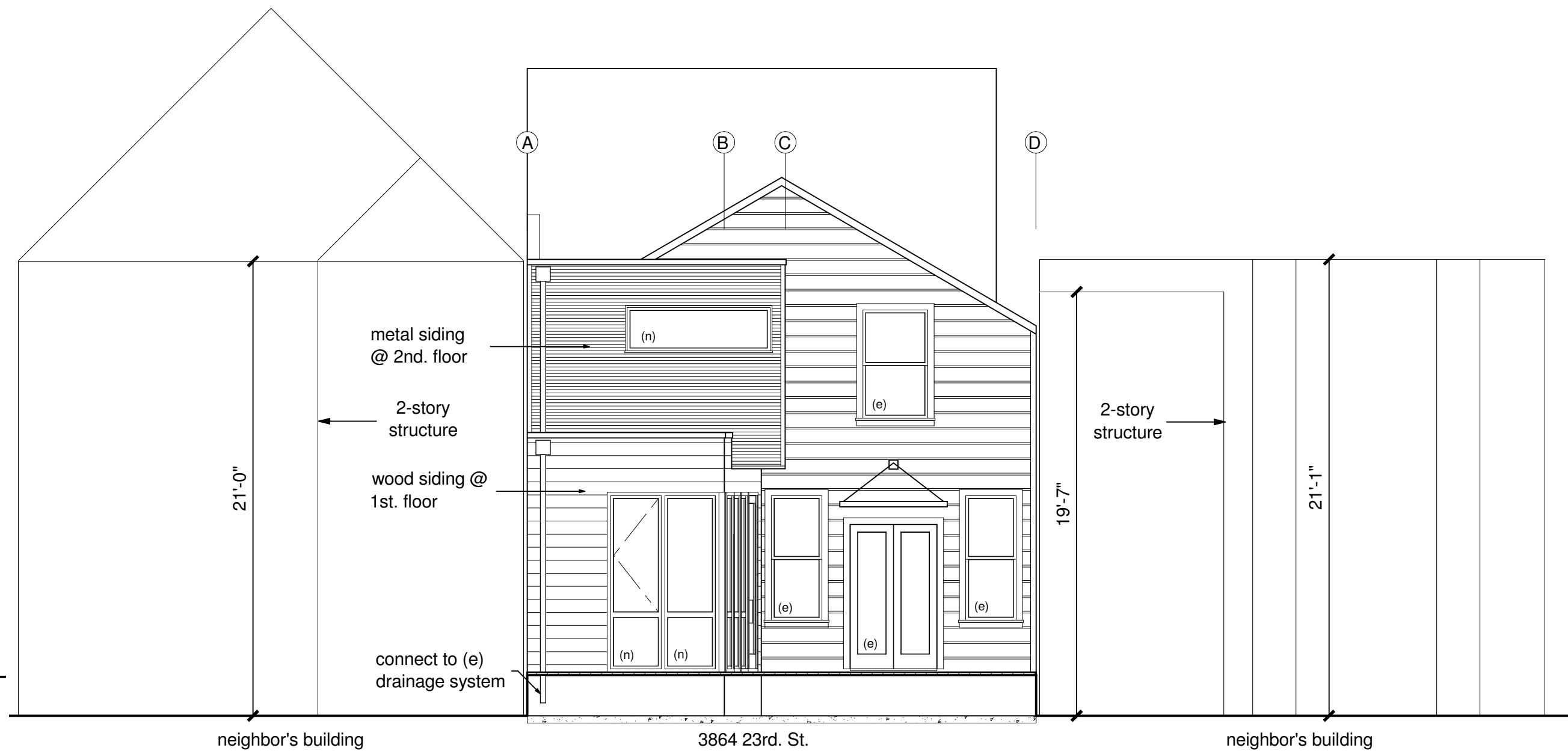
5 Existing North Elevation - rear



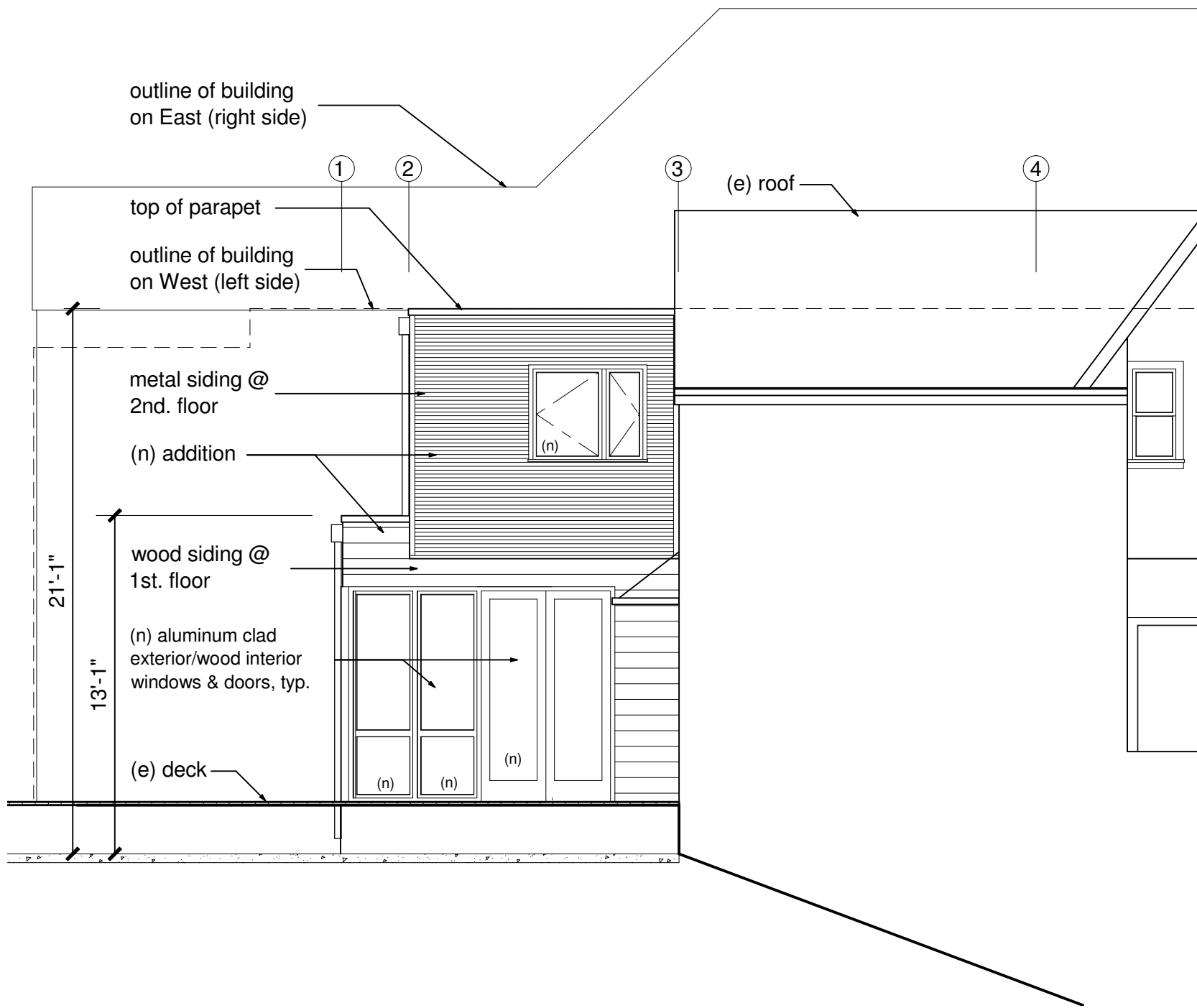
6 Existing West Elevation - left side



1 Proposed East Elevation - right side



2 Proposed North Elevation - rear



3 Proposed West Elevation - left side