



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

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GENERAL NOTES

1. THIS GENERAL NOTES APPLY UNLESS SPECIFICALLY NOTED OTHERWISE.
2. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM WITH REQUIREMENTS OF THE 2007 CALIFORNIA BUILDING, FIRE AND PLUMBING, 2007 ELECTRICAL AND MECHANICAL CODE ALONG WITH ALL APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.
3. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE. COORDINATE DIMENSIONS, OPENINGS AND EMBEDDED ITEMS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOT ALL ITEMS ARE INDICATED ON STRUCTURAL DRAWINGS. NOTIFY OWNER, DESIGNER OF DISCREPANCIES AND DO NOT PROCEED WITH AFFECTED WORK UNTIL THEY ARE RESOLVED.
4. THE CONTRACTOR SHALL PROVIDE ADEQUATE AND PROPER SHORING AND BRACING TO MAINTAIN SAFE CONDITIONS AT ALL TIMES UNTIL STRUCTURAL ELEMENTS ARE PERMANENTLY ATTACHED. DRAWINGS INDICATE STRUCTURE IN FINAL FROM CAPABLE OF SUPPORTING DESIGN LOADINGS.
5. DO NOT SCALE DRAWING, USE WRITTEN DIMENSION, WHERE NO DIMENSION IS PROVIDED, CONSULT THE DESIGNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
6. ALL DETAILS SHALL BE CONSIDERED TYPICAL INCORPORATE INTO PROJECT AT APPROPRIATE LOCATIONS WHETHER SPECIFICALLY INDICATED OR NOT.
7. THE CONTRACTOR SHALL COORDINATE HIS WORK SCHEDULE AND ACCESS TO THE JOB SITE WITH THE OWNER.
8. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

CONCRETE:

1. CONCRETE FOR FOOTINGS AND SLAB SHALL HAVE MIN. ULTIMATE COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS.
2. REINFORCING STEEL SHALL BE ASTM A615, DEFORMED BARS.
 - * #3 AND #4 --GRADE 40
 - * #5 OR LARGER --GRADE 60
3. REBAR SHALL BE LAP AT SPLICE LOCATION AT 48 DIA OF REBAR MIN.
EXAMPLE #3-18" MIN, #4-24" MIN, #5-30" MIN.
4. EPOXY FOR INSTALLATION OF REBAR DOWELS, ANCHOR BOLTS AND HOLD DOWNS IN EXISTING CONCRETE SHALL BE SIMPSON SET, HIGH STRENGTH EPOXY.

WOOD FRAMING:

ALL NEW LUMBERS ARE TO BE DOUGLAS FIR LARC, UNLESS NOTED OTHERWISE.
ROOF RAFTERS, FLOOR JOISTS AND GIRDERS TO BE STRUCTURAL NO. 2 GRADE, E=1,600,000 PSI OR APPROVED EQUAL.
STUDS ARE TO BE STUD CONSTRUCTION GRADE E=1,400,000 PSI OR APPROVED EQUAL.

DESIGN SUMMARY

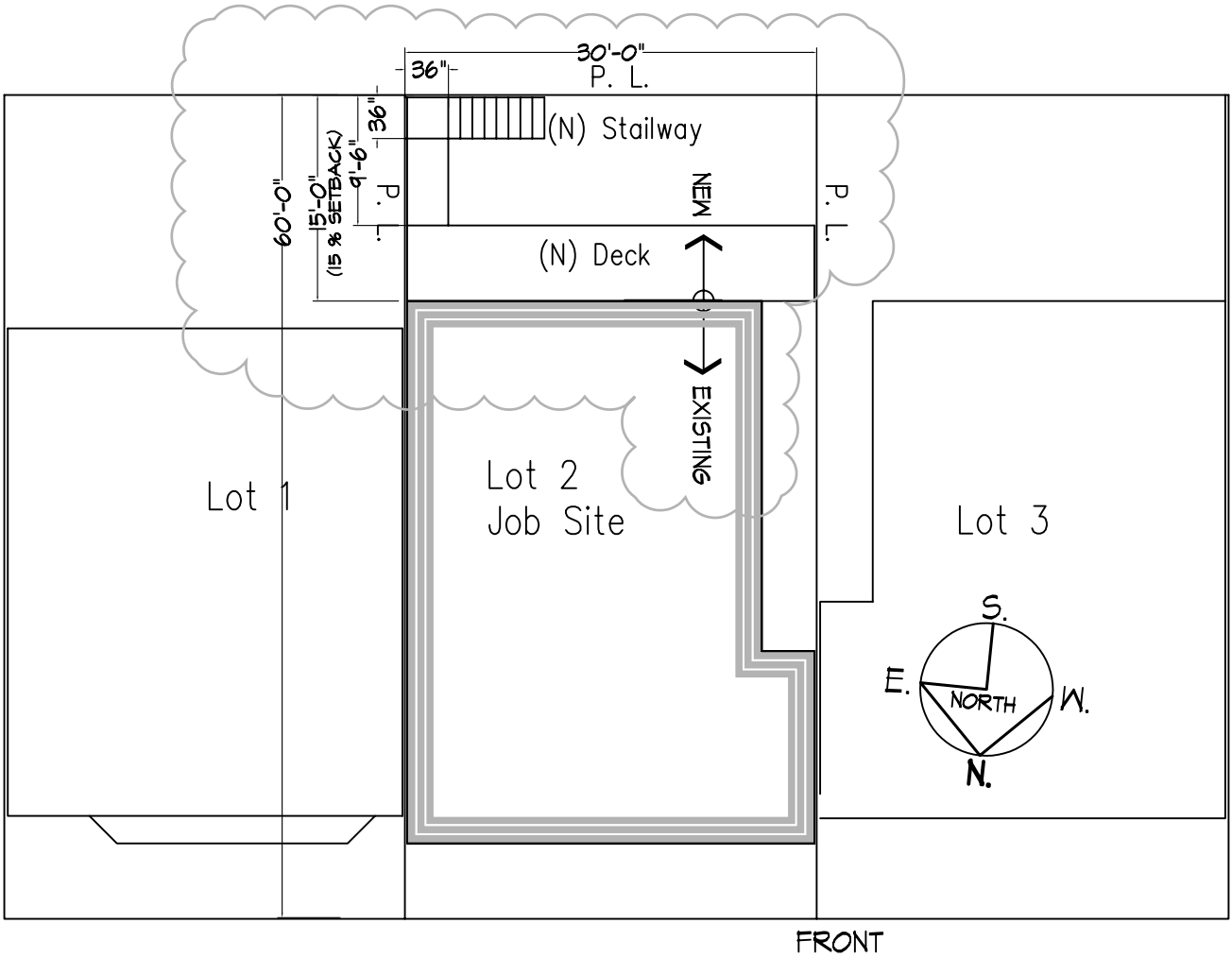
- A. Zone : RH-I
- B. Proposed use: 1 Dwelling units
- C. Lot Area: 25 x 100 = 2500 Sq.Ft.
- D. Set back : Front 0 Ft 0 (%)
(BY CODE) Side 0 Ft 0 (%)
Rear 15 Ft 25 (%) (BY CODE)
- E. Set back : Front 0 Ft 0 (%)
VARIANCE Side 0 Ft 0 (%)
Rear 0 Ft 0 (%) VARIANCE

SCOPE OF WORK :

- TO COMPLY WITH (COMPLAN# 200914693)
1. Rebuild Rear Deck and Stairway.
(FOR SHORT VARIANCE)

INDEX :

- A-1 Tital Sheet, Scope of Work, Plot Plan.
A-2 Existing 1st FL Plan and New 1st FL Plan
A-3 Existing 2nd FL Plan and New 2nd FL Plan
A-4 Elevations



PLOT PLAN NOT TO SCALE

NOTES : THIS DRAWING IS COPYRIGHT. CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE WORKED FROM. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.

TOYO COMPANY
東洋建築公司
ARCHITECTURAL DRAFTING



CLEMENT YEN AGENT
1380 BUSH STREET,
SAN FRANCISCO, CA 94109
PHONE: (415) 885-0628, FAX: (415) 901-4882
E-MAIL: toyo6668@gmail.com

REBUILD REAR STAIRWAY AT
1036 SILLIMAN ST. S.F.
, CA 94134 (BLK: 5914 / LOT: 006)
Mrs. Josie Sison
Phone : (415) 507-9654
E-Mail: joseta_sison@sbcglobal.net

EXISTING GROUND FLOOR PLAN

DRAWN:
CHECKED:
DATE: 07-30-09
SCALE: AS SHOWN
JOB NO.:
SHEET/FILE:

A-1

OF / SHEETS.

2009.0807.44085



OF / SHEETS.

A-4

SHEET/FILE:

JOB NO.:

SCALE: AS SHOWN

DATE: 07-30-09

CHECKED:

DRAWN:

ELEVATIONS

**REBUILD REAR STAIRWAY AT
036 SILLIMAN ST. S.F.
, CA94134 (BLK: 5114 /LOT: 006)**
Mrs. Josie Sison
Phone : (415)587-9654
E-Mail: josefa_sison@scglobal.net



TOYO COMPANY
東洋建築公司
ARCHITECTURAL DRAFTING

CLEMENT YEN AGENT
1101 H STREET,
SAN FRANCISCO, CA 94109
3-0626, FAX: (415) 401-4882
cyc@comcast.net

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